



**TOWN OF ABINGDON, VIRGINIA  
HISTORIC PRESERVATION REVIEW BOARD MEETING  
WEDNESDAY, JULY 3, 2024 – 5:30 P.M.  
REGULAR MEETING  
COUNCIL CHAMBERS MUNICIPAL BUILDING,  
133 W. MAIN STREET  
CONTACT: GABRIEL CRISTOFARI  
email: [gcristofari@abingdon-va.gov](mailto:gcristofari@abingdon-va.gov) Phone: 276-628-3167**

Welcome to the Town of Abingdon’s Historic Preservation Review Board Regular Meeting. This is a citizen Board, appointed by the Town Council, to interpret and uphold Abingdon’s Historic Preservation Ordinance, which is Chapter 44, Section 2-4 of the Abingdon Zoning Ordinance that protects the Historic District of Abingdon which has been designated the Old and Historic District along with all its contributing resources, including buildings, structures, and sites from negative encroachment resulting from inappropriate construction, design, alterations, or demolitions. Our review process is guided by our Design Review Guidelines, which are based on the United States Secretary of Interior’s Standards for Rehabilitation.

Our aim on this Board is to provide a positive bridge between the design review process and property owners seeking to make changes, working together through the natural partnership that exists between us for mutual good. The result will be to ensure Abingdon’s Historic District continues as a valuable asset and one that makes Abingdon a good place to live, work, and visit.

We appreciate your interest, and we encourage public participation in our meeting. Your comments are important to our decision making process. Anyone addressing the Board will approach the podium, identify your first and last name and give your complete mailing address.

- A. WELCOME – Betsy White, Chair**
- B. ROLL CALL – Mayana Rice, Assistant Town Manager**
- C. APPROVAL OF MINUTES**
  - 1. June 5, 2024 – Regular Meeting**

**D. CERTIFICATE OF APPROPRIATENESS**

1. *Certificate of Appropriateness – Andrew Neese; 174 E. Main Street, Abingdon, VA 24210. Applicant. Certificate of Appropriateness to relocate signage. Located at 201 E. Main Street (Tax Map 013-1-64).*

**A. Staff report**

**B. Applicant presentation**

**C. Public comment concerning item**

**D. HPRB discussion and decision**

2. *Certificate of Appropriateness – Martin Alloy; 131 E. Main Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for the allowance of an unapproved railing. Located at 131 E. Main Street, Abingdon, VA 24210. (Tax Map 012-1-91)*

**A. Staff report**

**B. Applicant presentation**

**C. Public comment concerning item**

**D. HPRB discussion and decision**

3. *Certificate of Appropriateness. – Kenny & Doris Shuman; 164 W. Valley Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for exterior change. Located at 164 W. Valley Street, Abingdon, VA 24210. (Tax Map 012-1-61).*

**A. Staff report**

**B. Applicant presentation**

**C. Public comment concerning item**

**D. HPRB discussion and decision**



4. ***Certificate of Appropriateness*** – Jennifer Sumner of M&M Signs Inc; 1465 Ladonia Church Road, Mt. Airy, NC 27030. Applicant. Patrick Callebs; 201 W. Main Street. Abingdon, VA 24210. Owner. Certificate of Appropriateness for signage. Located at 201 W. Main Street, Abingdon, VA 24210. (Tax Map 012-1-73).

**A. Staff report**

**B. Applicant presentation**

**C. Public comment concerning item**

**D. HPRB discussion and decision**

5. ***Certificate of Appropriateness*** – Trystan Martin; 190 E. Main Street, Abingdon, VA 24210. Applicant. Jerome Maddock; 223 King Street NW, Abingdon, VA 24210. Owner. Certificate of Appropriateness for enclosure and exterior changes. Located at 223 King Street NW, Abingdon, VA 24210. (Tax Map 011-5-113).

**A. Staff report**

**B. Applicant presentation**

**C. Public comment concerning item**

**D. HPRB discussion and decision**

6. ***Certificate of Appropriateness*** – Twin Enterprises; 1515 2<sup>nd</sup> Street, Richlands, VA 24261, Applicant. Jon & Kathy Treadway, 255 W. Valley Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for exterior changes. Located at 255 W. Valley Street, Abingdon, VA 24210. (Tax Map 011-5-105).

**A. Staff report**

**B. Applicant presentation**

**C. Public comment concerning item**

**D. HPRB discussion and decision**

**A. PUBLIC COMMENTS**

**B. OLD BUSINESS/MATTERS NOT ON THE AGENDA**

- **Discussion concerning 108 E. Main Street, Inappropriate roof cladding installed on front porch.**
- **COA Waiver – 117 W. Valley Street (Brick Chimney & Front Porch Steps Repair)**
- **COA Waiver – 158 W. Valley Street (Rear Porch Steps Repair)**

**C. ADJOURNMENT**

**TOWN OF ABINGDON  
HISTORIC PRESERVATION REVIEW BOARD  
REGULAR MEETING  
WEDNESDAY, JUNE 5, 2024 – 5:30 P.M.  
COUNCIL CHAMBERS– MUNICIPAL BUILDING**

A regular meeting of the Historic Preservation Review Board was held on Wednesday, June 5, 2024, at 5:30 pm in the Council Chambers in the Municipal Building.

**A. WELCOME BY– Mrs. Betsy White, Chair**

**B. ROLL CALL – Mr. Gabriel Cristofari, Senior Planner/GIS**

Members of the Board Present:      **Mr. Dwayne Anderson  
Mr. Brooke Bunn  
Mrs. Betsy White  
Mrs. Kristi Hartshorn  
Mr. Peyton Boyd**

**Members Absent: None**

**Comprising a quorum of the Board – Yes**

Administrative Town Staff:              Mrs. Mayana Rice, Assistant Town Manager  
Mr. Gabriel Cristofari, Senior Planner/GIS  
Mrs. Jamie Barker, Planning Tech

**C. APPROVAL OF MINUTES**

- **May 1, 2024 - Regular Meeting (VIDEO 6:21 – 7:00)**

**On a motion by Mr. Anderson, seconded by Mrs. Bunn, the board voted to approve the May 1, 2024, meeting minutes as presented.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

**D. CERTIFICATE OF APPROPRIATENESS**

- 1. Certificate of Appropriateness – William P. Truhlik; 344 Gibson Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for construction of a retaining wall. Located at 344 Gibson Street, Abingdon, VA 24210 (Tax Map 021-2-5) (VIDEO 7:01 – 11:18)*

The applicant proposes to construct a 45 ft. long x 8 in. wide x 32 in. tall CMU retaining wall with an earthen tone random ashlar stone veneer located on the west side of the lot. A Portland cement-based mortar will be used as the adhesive. Running along the top of the proposed CMU random ashlar stone veneered retaining wall will be a landscaped area consisting of flowers, shrubs, and mulch. The parking area partially enclosed by the proposed CMU random ashlar stone veneered retaining wall will consist of brown pea gravel.

When conducting research staff found the lot and its built primary and secondary resources are not located any of the Department of Historic Resources (DHR) Historic Districts designated within the Town of Abingdon, VA. Gibson Street was not a recorded area on any of the available Sanborn Fire Insurance Maps (December 1885, November 1891, July 1897, November 1902, February 1908, March 1913, June 1922, and October 1928). Nancy C. King provides no information concerning the building in Places in Time Volumes I, II, or III.

However, the Washington County Land Card for the property stated the building was constructed in 1950. None of the primary or secondary resources on this lot are contributing.

Charlene Truhlik (Applicant/Owner) stated that they needed a driveway and room for more than one vehicle, they had also had a problem with the Post Office not delivering packages because the carrier could not turn around in their driveway. This is why they decided to widen the driveway.

Mrs. White (HPRB) asked if it was on the side of the house. Mrs. Truhlik responded that it was.

**On a motion by Mr. Anderson, seconded by Mr. Boyd, the board voted to approve the COA as presented.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

**2. Certificate of Appropriateness – Daniel Swanson; 15514 Branch Street, Abingdon, VA 24210. Applicant. Vickie Wampler; 151 N. Church Street, Abingdon, Va 24210. Owner. Certificate of Appropriateness for primary and secondary porch railing replacement. Located at 151 N. Church Street, Abingdon, VA 24210 (Tax Map 012-1-51)) (Video 11:22 – 21:11)**

The applicant proposes to replace the existing untreated wooden primary (East elevation) and secondary (South elevation) porch landing and stair railings painted white. The applicant has selected two options for the HPRB to review.

Staff inspected the railing and found most of the existing wooden balustrade or railing was fabricated from untreated wood. The untreated wood used is rotting or saturated with water due to direct environmental exposure. Today, untreated wood is much more porous than wood used in the 1700's, 1800's, and even the early 1900's thus resulting in the untreated wood rotting immediately once exposed to environmental phenomena.

Both options proposed would closely match the existing untreated wooden railings painted white in design and partially appearance concerning finished color. However, the material would be changing from untreated wood, wood being a traditional building material to a plastic composite material. In terms of design and appearance, the top rail, bottom rail, and newel posts based on the options provide a similar or exact match to existing. However, the balusters or pickets would change from round turned pickets to traditional square pickets.

The first option, Deckorators Classic is an 8 ft. x 2 ¾ in. x 3 ft. prefinished white composite deck and rail kit. The second option, Trex Transcend is a 67 ½ in. x 3. ¼ in. x 36 in. prefinished white composite deck and rail kit. Between the two options Trex Transcend would have a textured appearance simulating wood grain whereas Deckorators Classic would have a smoother appearance more akin to plastic.

When comparing the proposed plastic composite railing options provided to the existing primary and secondary wooden porch columns, the material would not match. According to the Design Guidelines. New Residential Construction of Secondary Buildings, such as Garages, Sheds and Other Outbuildings, traditional materials should be used if in the public view.

Trex as a building material has only been allowed as decking for non-historic or modern porches or decks when not readily seen from a public right-of-way, or when not directly connected to an existing historic porch or deck. Treated wood painted or prefinished metal balustrades or railings of a simple traditional design have typically been approved for non-historic or modern porches or decks.

Mrs. White (HPRB) asked for clarification that it was the railings and not the spindles that are being replaced. Daniel Swanson (Owner/Applicant) stated that they would need to replace the entire railing, but not the columns that support the roof over the front door. Mr. Swanson then stated that they had constructed the handrail out of all wood components with a couple of coats of paint. There are now some problems with a gap under the handrail that is too high, it should have been lower. The second problem is that the wood is not holding up to weathering since they were installed in November of 2022. The applicant is now requesting to replace the rails completely with a material

that would withstand weathering better as well as lowering the railing so that it complies.

Mrs. Hartshorn (HPRB) expressed a preference for the Trax product that looks more like wood than the Deckorators Classic product that looks more like plastic. Mr. Swanson stated that the Deckorators Classic product is a vinyl composite material that is less expensive and easier to work with. He also said that the Trax product is aluminum but is different in construction. He also clarified that while the example picture showed some of the material in a brown color, what would be installed would be all white with a wood texture if they use the Trex material.

Mrs. White asked which product the applicant would prefer. Mr. Swanson stated that he would prefer the Deckorators Classic product because it is easier to work with and less expensive but is open to either option.

Mrs. White stated that natural materials is are usually required in the Historical District, and while this specific house is a newer build house the board would prefer something that looks more like original materials such as the Trex option, that looks more like wood.

Mr. Boyd (HPRB) asked about the top rail on the Trex product, if it was a molded shape or just a square like the bottom. Mr. Swanson stated that they both would be a square shape as it is a pre-built product from Lowes.

Mrs. White asked if the new balusters would be square versus the current turned balusters. Mr. Swanson affirmed that they would be squared that would match another house close by.

**On a motion by Mrs. Hartshorn, seconded by Mr. Anderson, the board voted to approve the COA using the second option, the Trex version, as presented.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

- 3. Certificate of Appropriateness – Andrew Neese; 174 E. Main Street, Abingdon, VA 24210. Applicant. Certificate of Appropriateness for automatic fence installation, demolition and signage. Location at 201 E. Main Street, Abingdon, VA 24210. (Tax Map 013-1-64). (VIDEO 21:15 - 59:01)*

## **Section 1**

Andrew Neese (applicant/owner) had originally submitted three different options for window signage but stated at the start of the staff report that that option A and Option C would no longer be needed. Only the sign from option B with the sign on the transom located above the door would need

to be considered. Mr. Cristofari (Staff) clarified that the sign did need to be white lettering only and not frosted as some of the examples submitted had shown.

Mr. Boyd (HPRB) asked if the only sign would be on the transom as shown in the photo given as an example. Mr. Neese confirmed that would be the desired sign location. Mrs. White (HPRB) asked about the size of the sign and if it would be within guidelines. Mr. Cristofari stated that it would need to be 4 square feet in size. Mrs. Hartshorn (HPRB) asked if the sign would be vinyl letters or painted on. Mr. Neese stated that they would not be a product that could be easily removed, the letters would be professionally stenciled in.

Mr. Cristofari stated that the transom sign would be over the door that led directly to the business, were as other option led into the lobby. Mrs. Hartshorn asked to clarify the size of the sign. Mr. Cristofari stated that the size of 4 square feet would need to be in the motion.

**On a motion by Mrs. Hartshorn, seconded by Mrs. Bunn, the board voted to approve section 1 signage part of the COA, approving option 3 of a traditional stenciled sign over the transom of the front door of the business specifying that the size of the sign conforms to guidelines, in white.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

## **Section 2**

Option A: A prefinished black fence no higher than 4 ft. to 6 ft. tall either fabricated from all aluminum or part aluminum and part wood. Length will be close to 100 ft. across the front of the parking lot. Gate to have an operator located inside the parking lot not on the outside if possible, sliding the gate toward E. Valley Street. The fence will have a key code for the front entrance so tenants can punch in their number for access.

Option B: An operator gate that is made of black aluminum and has wood panel fencing, no higher than 6 ft. tall on either side of the apron extending all the way to each property line. Close to 100 ft. in length. For both option A and option B, the height of the fence can only be 4 ft. tall. No power automated gates or fences exist in the Old & Historic District. However, the power automated gate/fence is designed to appear as a metal fence like those seen throughout the Old & Historic District. A power operated gate at this location is required to slide and not swing open because of the gate/fence proximity to the public sidewalk. The mechanical system operating the gate would be placed on the interior of the gate/fence and partially screened from public view.

Mr. Neese did present an example of a smaller gate that might be a better option. As well as a wooden

fence to surround the parking lot that would go with option B and the metal gate. Going with the wood fence you are more cost effective than having an entirely metal fence all the way around.

Mrs. Hartshorn asked where the dumpsters are currently located and if that would be a problem after putting in the fence. Mr. Neese answered that they are in the back of the parking lot, and they did not know yet if the gate would be a problem with trash collection. The only problem that is foreseen would be if someone forgets to open the gate when the truck backs out. Mr. Neese also stated that they could give the driver of the truck a garage door opener so they would always have access.

Mrs. Hartshorn asked for clarification on where the fence and gate would be located. A photo was pulled from Google maps showing a street view of the parking lot off Court St. Mr. Neese described where the fence would lay, and Mr. Cristofari demonstrated with the cursor. Mr. Neese stated that the plan is for the fence to go all the way to the end of the property line. They would also like to have a place for tenants to enter and exit the parking lot to the sidewalk. Currently there isn't a good way to keep the public from parking in the lot, and having a private parking lot is a part is a perk of being a tenant of the Summer's building.

Mrs. Hartshorn asked if they had considered just doing a gate and not including the long wall. Mr. Neese stated that they had considered that option. Mrs. White asked about the height of the proposed fence, which could be between six and four feet. She wanted to know if the applicant would only want the solid wood fence versus the wrought iron fence that doesn't obstruct the view as much. Mr. Neese asked if a picket fence would be preferred, a wooden picket fence would be an option to consider. Mr. Neese also clarified that there needs to be something on the side of the gate to help to hide the mechanism used to support the gate as it slides open and closed. Without a fence to the side of the gate that mechanism would be very visible and would not look appealing.

Mrs. Hartshorn asked if the gate could not open into the parking lot instead of sliding. Mr. Neese stated that it would hit the cars and block parking spots. Mrs. Hartshorn stated that the mechanism for the slide would not fit into the historical district. Mr. Neese stated that a barrier fence around the parking lot would help to tie everything together.

Mrs. White stated that having a solid fence would block off the view of other historical buildings in the area, but a picket fence would still allow visibility, especially if it was kept at four feet. Mrs. Rice (Staff) stated that if they did go with a wooden picket fence then painting it black would help it blend in with the gate that is proposed. Mr. Neese stated that would have no problem painting it black.

Mr. Geisler requested to make a public comment that according to the guidelines state that solid board fences are not allowed. If the gate is approved, it could also open this option up for other locations in the historic district. Mr. Geisler also stated that having coverage on the sides of the gate would be more visually appealing. He also wanted clarification of the material the gate would be constructed of. Mr. Neese stated that it would not be actual wrought iron because the weight would cause the mechanism to break constantly. It will be made to look like wrought iron but be a lighter material. The idea of having fencing to the sides of the gate was to be able to hide the mechanism. Mrs. Rice brought up that code and also stated that traditional plantings such as hedges and shrubs are acceptable alternatives for fencing in the Historical District. Mrs. White asked if there would be



a pillar or marker at the end of the gate to hide the mechanism to open the gate. Mr. Neese stated that his original idea was to have a picket fence. Mrs. Hartshorn stated that she had not seen a black picket fence and that they are usually white. Mrs. Rice clarified that having a metal fence that would match the gate in aesthetics then having hedges in front to screen the fence would look appropriate.

Mrs. Hartshorn requested that they look at the gate currently installed at the Martha Washington Inn to get an idea of what has already been installed. The landscaping and bushes help to block the view of the mechanism the opens and closes the Martha's current gate. Mrs. Hartshorn also wanted to know if there would be just a code box or if a device like a garage door opener could be used to gain access to the parking lot. Mr. Neese stated that is possible and tenets could purchase them as needed.

Mr. Neese asked if a hedge along Court St instead of a fence would be an acceptable option. It was agreed that this would be an acceptable option, with Mrs. Bunn clarifying that it would just be a hedge and a metal gate, there wouldn't be a metal fence behind the hedge, and Mr. Neese agreed. Mr. Boyd pointed out that Court Street slopes and that getting a fence that looked level with the parking lot and the road would be difficult, and a hedge could be trimmed in different ways to match the slope. Mr. Neese agreed and stated that this was an issue they had looked at when looking to put in a fence.

The board did ask for clarification on the height of the hedge which was decided to be no more than 4 feet high to not obstruct the view of neighboring houses. Mr. Boyd asked if the gate would have a rounded top or be flat across. Mr. Neese showed on the example given that the gate he prefers would be straight across on the top, without a curve. Mrs. Hartshorn asked if the gate would be black or a matte black, and Mr. Anderson stated it should just be black.

**On a motion by Mr. Anderson, seconded by Mrs. Hartshorn, the board voted to approve section 2, the gate and fence part of the COA, for an 18 ft. long x 4 ft. high flat top aluminum prefinished black gate as presented. Adjoining on either side of the gate facing N. Court Street are hedges no more than 4 ft. high. The gate's control box should be located on the interior to be shielded by hedges no more than 4 ft. high.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

Mrs. Rice asked if they would be changing the surface of the parking lot moving forward or adding more gravel. Mr. Neese stated that they had recently added more gravel.

### **Section 3**

Remove a wood framed shed that is fully surrounded by dying trees. The applicant seeks to take the

wood framed shed that is already falling apart so they can cut the trees on that section of the parking lot. According to the applicant the wood framed shed sits between multiple trees that are halfway dead.

Upon conducting a site visit, staff found the existing wood framed shed in a state of disrepair. Structurally the existing wood framed shed appears to be structurally compromised. Specifically, the existing wood framed shed leans drastically to the East. Nearly the entire existing wood framed shed is covered with various forms of bio-growth. Based on the Sanborn Fire Insurance Maps, the existing wood framed shed does not appear in either 1885, 1891, 1897 or 1902. However, in 1908, 1913, and 1922. 1928 Sanborn Fire Insurance Map showed no change. A one-story wood framed auxiliary building wood can be seen in the approximate area of the existing wood framed shed. Staff cannot determine if the one-story wood framed shed is the existing wood framed shed.

According to the Department of Historic Resources (DHR) VCRIS database, the existing wooden framed shed is not recorded as a primary or secondary resource.

Mr. Cristofari stated that the lot had changed a lot over the years and that there used to be a house in the lot at some point in the past but no longer existed. The current shed does not appear to be historic in nature, and the structure appears to be compromised.

**On a motion by Mrs. Bunn seconded by Mr. Anderson, the board voted to approve the demolition of the wood framed shed as presented.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

- 4. *Certificate of Appropriateness* – Glenn A. Harrison; 146 Crestview Drive, Abingdon, VA 24210. Owner. Certificate of Appropriateness for exterior changes. Location at 212 E. Valley Street, Abingdon, VA 24210. (Tax Map 013-1-37A). (VIDEO 59:03 – 1:12:39)**

The applicant proposes to construct a wood framed shed porch addition onto the West elevation of the existing wood framed building, remove the existing brick landing and steps, and replace all rotted wooden clapboards and trim as needed on the West elevation.

An existing brick landing with brick steps using a Portland cement-based mortar as seen below has undergone a variety of settlement issues. Subsequently the settlement issues have caused water damage and rotting to the base plate, header, and studs supporting the door frame. The existing brick landing and steps sit directly against the brick foundation laid in a running bond pattern, and the wooden clapboards immediately around the door opening cladding the exterior walls of the building.

The six raised panel door prefinished white located on the West elevation of the building is modern and neither original nor historic. Staff could not find any historical evidence at this time to determine whether the door opening is original to the building or historic. The rotted wooden baseplate, header, and studs below the existing modern door on the West elevation will be removed and replaced with pressure treated wood to repair under framing of the door. Portions of the rotted exterior wood clapboards surrounding the door and wall will be replaced with wood clapboards painted SW #7006 "Extra White" to match the existing.

A new wood framed shed porch will be constructed in the exact location as the existing brick landing and steps. A bed of brick pavers and pea gravel will be placed underneath the shed roof porch and extend to the outer edge of the drip line of the shed roof.

Per the rendering provided, the porch will be constructed using 1 in. x 6 in. pressure treated wood decking and be 48 in. long x 40 in. wide. The porch will have three steps with a 33 in. width, 12 in. treads, and 6. ½ in. rise. The porch will be attached to the building using pressure-treated hanger board and supported by 4 in. x 4 in. concrete anchored square posts. The porch will be painted SW #7006 "Extra White" to match the existing building.

The shed roof will be closed end using 1 in x 6 in. shiplap siding, with a 1:4 pitch roof constructed with pressure treated wood. Western States "Classic Green" color standing seam metal roof without ribs, striations or exposed fasteners will clad the shed roof, matching the existing buildings roof cladding. The shed roof will be 12 ft. long x 6 ft. wide, extending 10 ft. above the brick foundation. The shed roof will be attached to the building by a hanger board and supported with 4 in. x 4 in. square posts. All wood will be painted SW #7006 "Extra White" to match the existing building. To meet the building code, the wood framed shed porch will need to be raised to have the proposed porch landing be the same elevation as the door. Additionally, handrails and railings will need to be added. An example of handrails and railings used on the North and South elevation could be used to maintain a consistent design.

Mr. Harrison (Owner) stated that he has replaced the siding on the side of the building with the steps that need repair, and the wood is rotting again. His hope is that adding a shed roof will help stop water damage. If the landing is raised, then an extra step will be required. The door is not historical, they were added to meet fire code when the building was moved away from the property line. The side steps have settled and allowed water to get trapped between the landing and building which is damaging the wood of the building. The need to add an additional step would require the proposed awning to be lengthened to cover all the steps. Extending the awning would also help to keep water out of the joints and help to keep the joints from rotting in the future. If the steps are extended, then a tired post would be required to hold up the railing.

Mrs. Hartshorn (HPRB) asked for clarification that the awning would be made of metal and not fabric. Mr. Harrison said it would be metal and would match what is on the rest of the building. It would be the original green color that might not match the current green color due to aging and fading. Mrs. White (HPRB) stated that the west side of the building is not seen very well from any public view.

Mr. Cristofari (Staff) stated that the type of railing would need to be clarified for the motion. Mrs. Hartshorn asked if the building had a ramp for access already, and Mr. Harrison stated they have a ramp on the other side of the building.

Mr. Harrison stated that the pressure treated wood would have to age for up to a year before they could paint it, but the plan is to paint it white.

**On a motion by Mr. Boyd seconded by Mr. Anderson, the board voted to approve to demolish existing brick landing and steps on the Western elevation and replacing it with a wood framed shed porch to match the existing structure and door. Additionally, adding railings consisting of materials and design to match existing railings, to be painted white, and to extend shed roof as presented an additional 1 ft. to 2 ft. toward Plumb Alley.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

- 5. Certificate of Appropriateness – Franklin White & Heidi Dixon-White; 277 W. Valley Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for construction of garage. Located at 277 W. Valley Street, Abingdon, VA 24210. (Tax Map 011-5-108) (VIDEO 1:12:42 – 1:26:55)*

The foundation will be a concrete slab on grade not visible from any public right-of-way. The garage portion of the concrete slab will measure 28 ft. x 26 ft., and the porch portion of the concrete slab will measure 8 ft. x 26 ft. Along the bottom of the proposed garage will be an earthen tone ashlar stone veneer on the primary (East elevation) and secondary (South elevation).

The siding will use 5 in. or 6 in. lap siding, Masonite, or a similar wood composite siding. Within the pediment of the gable and shed roof will be a wood composite shingle. All wooden siding and shingles will be painted SW Exterior, K33 W 251, 6504-05822, Extra White. A two recessed panel composite door with three panes in the top portion of the door will be painted white. The door will be located on the South elevation of the garage.

The garage will have two 10 ft. x 8 ft. one car width foam core metal garage doors stamped Shaker style with a row of windows as seen in the photo provided on the East elevation. The foam core metal garage doors will be painted white. Recently garage doors for new garages have been allowed to be metal.

Wood vinyl clad, single hung windows (3 pane grid on upper sash) on each end of garage attic. Side by side single hung windows (4-lite grid on upper glass) on porch side of garage (facing the rear of the existing house).

4 in. K-style gutters and rectangular downspouts will be installed to match those on the existing primary building. K-style gutters and rectangular downspouts are an appropriate gutter and downspout type given this is a 2024 building.

A front gable roof and shed roof extension extending to the East will be clad in a prefinished gray standing seam metal cladding with no ribs, striations, or exposed fasteners to match the existing primary building's roof style and color. The porch roof will have a 3:12 pitch with the garage roof having a 10:12 pitch.

Exterior lighting fixtures are still to be determined. Examples were provided after the packet had been sent out and this was included for the board to see.

A 5 ft. tall dog ear cedar panel fence will be installed to tie into the existing fence on the property line back into the northwest corner of the garage.

Mrs. White (HPRB) asked if the fence would extend back toward King St. Mrs. Dixon-White (Owner) answered yes that was the plan.

Mr. Cristofari (Staff) showed examples of the lights and stated that the applicant was willing to use brick around the bottom of the garage instead of the stone that is shown in the examples. Brick would better match the existing building.

Mrs. Hartshorn (HPRB) asked if there would be a driveway going into the garage. Mr. Cristofari answered there is already an existing driveway that would lead into the garage.

Mrs. Dixon-White stated that the only part of the garage that would be visible from King St to the public would be a solid wall, with the doors facing in or toward the neighbors. Mrs. White asked if the applicant was requesting to change the foundation to brick or just an option. Mrs. Dixon-White stated that it was an option if that was more agreeable, and that the example of the tight fixture might appear slightly different when completed. Mr. Anderson (HPRB) stated that he preferred the brick, with general agreement from the rest of the board, Mrs. Hartshorn stated that it would match the house. Mrs. White stated that brick is an original material versus the synthetic material used to achieve the stone-like appearance.

Mrs. Hartshorn asked if the garage doors would be vinyl. Mrs. Dixon-White stated the garage doors would be metal, but vinyl backed with a foam core. Mrs. Hartshorn asked if the siding would be vinyl, and it was clarified by Mr. Cristofari that it would be a Masonite, a wood composite that would be acceptable for a new construction.

Mrs. Rice (Staff) wanted to clarify that this would not become an accessory dwelling unit, that the upper floor of the garage would not be turned into an apartment. Mrs. Dixon-White stated that no, it would just be storage space.

Mr. Boyd (HPRB) asked if the brick on the foundation would only be on two sides. Mrs. Dixon-White answered yes because the other two sides would be seen because of the slope of the land.

Mrs. Bunn (HPRB) asked if the windows would be paned or have the appearance of paned glass. Mrs. Dixon-White stated that the windows they looked at would have dividers on the inside of the glass. While they would be one large piece of glass, they would have the appearance of paned glass. Mrs. Rice read the following from the Design Review Guidelines.

Mrs. White asked the applicant if this would be acceptable to have the muntins on the outside of the glass instead of on the inside. Mrs. Dixon-White agreed that was something they would agree to, if it was just the muntins and didn't require separate panes of glass. Mr. Boyd clarified that this was to cut down on glare from the windows, if the muntins is on the inside, it could appear as one pane of glass when light is reflected off it.

**On a motion by Mrs. Bunn seconded by Mr. Anderson the board voted to approve the application as presented with the stipulation of brick on the foundation, the muntins on the exterior of the glass, light fixtures similar to what was presented.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

- 6. *Certificate of Appropriateness – Joshua Fuller; 279 E. Main Street, Abingdon, VA 24210, Owner. Certificate of Appropriateness to reconstruct second floor balcony. Located at 279 E. Main Street, Abingdon, VA 24210. (Tax Map 013-1-69). (VIDEO 1:27:00 – 1:40:43)***

The applicant proposes to reconstruct the second level of a wraparound porch onto an existing one-story wraparound porch. The reconstructed second floor balustrade and flooring would match the existing first floor porch balustrade and flooring in material, design, and appearance.

According to the 1885, 1891, and 1897 Sanborn Fire Insurance Map, the Adam Hickman House had a two-story wraparound porch. Mr. Cristofari showed on the Sanborn Maps where the second story porch existed up until 1902 when it was removed and never replaced.

On the second floor, six-over-six double hung sash wood windows are the predominant window type and configuration. When looking at the rear (North elevation) of 279 E. Main Street, there is one six

pane wood window that has a different pane configuration than the other second-story windows located on the North, East, and South elevations. Due to the difference in pane configuration, it is evident the opening has been altered and could have been a six-over-six double hung sash wood window or a door to access the second-story porch area. The six-pane wood window as a surround molding the other five six-over-six double hung sash wood windows on the second story lack. Staff could not find any historical evidence at this time showing this opening was a door, however the difference in the surrounding molding may be an indicator of the opening being a door at one time. If a door were to be placed where the six-pane window currently exists, a single leaf recessed four panel wooden door painted white would be appropriate.

The existing wooden first floor balustrade is ornate and painted white. The flooring is tongue and groove. If approved the reconstructed second floor balustrade would need to meet building code in terms of balustrade height, and distance between the bottom rail and porch flooring.

Mr. Cristofari (Staff) observed that the cut out shown on the rendering for the new balustrade look elongated compared to the existing balustrade, but that this could just be the way they are drawn.

Mr. Fuller (Applicant/Owner) asked if the historical photo he had provided was a part of the presentation. Mr. Cristofari stated that the photo wasn't from the 1800s, it was taken after 1922 when a bay window was installed, so this is why it wasn't included. Mr. Fuller stated that he does have a photo that shows a second story balcony on the house, but the date the photo was taken is unknown. Originally there would have been a door on the front parallel to the main door, Mr. Fuller only proposed adding a door to the side to access the second-floor balcony. After demolition of the interior of the house the location of the door was apparent with just plywood covering where the door was located.

Mr. Fuller proposed using the same type of wood decking that exists. He also clarified that the rendering of the new balustrade might appear different, but they would be using templates of the existing balustrade to create the new balustrade. Mr. Fuller requested raising the height of the railing up to 42 inches if approved, he would work to still make it match the existing railing even with the increase in height. The timeline for the project would be to have the second story porch completed within the next couple of months.

Mrs. White (HPRB) asked if the proposed porch would be a complete wrap around. Mr. Fuller yes it would wrap all the way around. Mrs. White wanted to clarify that the slanted roof they say above the current porch would not be the floor of the new porch. Mr. Fuller stated correctly that after taking up some of the existing parts of the slanted roof that the flat flooring from the removed second story porch still exists underneath, it was just covered but the roof seen today. Mr. Cristofari stated that Mr. Fuller had brought in some machine-cut nails that he recovered when he removed the cover, that shows that the deck was from the 1800's and did not have a railing. Mr. Fuller stated that he would also create a moisture barrier so that water would not leak down and create rot on the lower-level deck.

Mrs. Hartshorn (HPRB) asked what kind of drainage was currently installed. Mr. Fuller answered that it was just guttering currently. The plan is to tie the moisture barrier into the existing drainage

system. Mrs. White asked if they planned to put a roof on the second story porch. Mr. Fuller stated he does not plan on adding a roof over the second story porch.

Mr. Fuller added that it is hard to know what kind of shape joists and wood are in while they are covered, and while he does expect to have to replace the wooden joists to make it safe and up to code. He also plans on placing the new balustrades to match up with the lower balcony, so they will not stagger. Mr. Boyd (HPRB) asked what material the balustrade will be made of. Mr. Fuller stated it would be pressure treated wood that is painted once it is dry.

Mrs. Bunn (HPRB) asked if the existing railing is 36 inches high. Mr. Fuller believed that it was lower, between 30-36 inches, but he wasn't sure. Mr. Cristofari added that because they are reconstructing the new balustrade to look like the old not repairing existing it does need to be higher to match current code. With it being on the second floor and farther way the height difference will not be very apparent. Mr. Fuller stated that he understood the parameters needed for the new balustrade and will make it safe as well as visually consistent.

**On a motion by Mr. Anderson seconded by Mrs. Bunn the board voted to approve the application for the reconstruction of the second level wrap around porch as presented.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

- 7. Certificate of Appropriateness – Shelley Gadola; 821 S. Beaver Dam Ave, Damascus, VA 24236 Owner, and Josh Fuller; 279 E. Main Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for freestanding signage. Located at 266 E. Main Street, Abingdon, VA 24210. (Tax Map 013-1-93). (VIDEO 1:40:56 – 1:45:11)*

The applicants propose to install a 2 ft. long x 2 ft. tall equaling 4 sq. ft. aluminum freestanding signage. The background of the proposed freestanding signage will be dark green. Centered within the 2 ft. long x 2 ft. tall, the proposed freestanding signage will be a white circle. Within the white circle will be dark green letters along the top and bottom curves. Centered within the white circle are blue mountains and a yellow crescent moon as shown in the rendering provided. The applicant has not decided if the chain links will be prefinished with a specific color or left their natural silver metallic finish.

Mrs. White (HPRB) stated that the size of the sign appears to meet guidelines. Mr. Fuller (Applicant) stated that if they could remove the old sign without damaging any of the decorative metal work around it they would just replace the old sign with the a new one, then they would not need the bar across the top to hang the new sign from. Mrs. White clarified that the applicants would like to be



able to use either option depending on the ability to save the existing metal work or not. Mr. Fuller agreed that would be the best option.

**On a motion by Mr. Hartshorn seconded by Mr. Anderson the board voted to approve the sign application as presented with the option to keep the existing structure and replace existing signage with proposed signage.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |

- 8. Certificate of Appropriateness – Dean Barr; 119 Campbell Street SW., Abingdon, VA 24210. Applicant. Levi Tignor; 209 W. Main Street, Abingdon, VA 24210. Owner. Certificate of Appropriateness for window signage. Located at 203 W. Main Street, Abingdon, VA 24210 (Tax Map 012-1-72). (VIDEO 1:45:29 – 2:00:34)*

The applicant requests for the allowance of two unapproved window signages.

1. A vinyl graphic applied to the Southeast window.
2. Hanging neon signage in the Southwest window.

In the Southeast commercial display window, a vinyl graphic has been applied. The applied vinyl graphic measures 62 in. long x 32 in. tall equaling 13.778 sq. ft. The color scheme of the vinyl graphic consists of green, purple, and white as seen in the photo provided. According to the Design Guidelines signs should not exceed 4 square feet. Double-faced signs are permissible, and the size limitations will be calculated by measurement of a single face only. Sign size restrictions do not apply to hotels, theaters, restaurants, and churches. Board approval as to the size of these signs is required and may be granted according to historic precedence.

However, from a design perspective the applied vinyl graphic for The Gallery matches those for the other businesses who have existing vinyl graphics adhered to their commercial display windows as a form of signage.

In the Southwest commercial display window, is hanging neon signage. The neon signage measures 29 in. long x 34 in. tall equaling 6.847 sq. ft. When lite the rectangular border is yellow and the letters within the rectangular border are purple. This neon signage has been with the business since its inception. When on site staff observed a third piece of signage sitting on the metal sill of the Southwest window. The square footage for the third piece of signage was not provided and should be removed from the window. According to the Design Guidelines signs should be kept to a minimum, with no more than two signs per building or one sign per business, whichever is greater. Multi-tenant signs are limited to one per building, and all signage for that building should be located on said sign.

Mr. Barr (Applicant) stated that the smaller red custom framing sign that used to hang outside previous locations that the business resided in, he had no problem removing that sign. Mrs. White (HPRB) stated that the amount of signage did exceed the guidelines and asked how the board wanted to move forward. Mrs. Hartshorn (HPRB) stated that the board has been very strict on the signage in the past and worked to make sure signage looked historically appropriate and met the guidelines. Mrs. Hartshorn expressed a desire to be consistent with enforcing the guidelines.

Mr. Barr stated that the building he resides in is not a historical building and pointed out that the other businesses in the building have very similar signage in their windows. Mrs. Hartshorn pointed out other businesses that had appeared before the board in the past and been told to take down excessive signage that had not followed through with the order. Mrs. Hartshorn pointed out that they do have rules on the type and number of signs for a reason, but a building built in 1972 that was intended to be a commercial building might need some different considerations.

Mr. Geisler stepped up for public comment, and reminded the board about discussions in the past about some areas in the Historic District that weren't as strict. Mrs. White asked how the other businesses obtained their signs. Mr. Barr stated that the signs in the space before he took over tenancy were bigger than his current signs, and there were two signs instead of one. Mrs. Rice (Staff) added that the Planning Commission, which covers zoning, has taken to ensuring that window signage is accounted for, whereas in the past window signage was not counted in the number of signs allowed.

Mr. Cristofari read from the guidelines "The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties." This building was built in 1975 which makes it not contributing, and has commercial display windows, which is different from most other windows and spaces in the OH district. Typically, window signage is restricted to 4 sq ft sure to the type of windows generally found in the OH district, but with this window being different it could lead to being less strict in this case.

Mrs. White agreed but wanted to caution going forward in case the historical district was expanded to be open to having different guidelines for strictly commercial buildings and noncontributing structures. A large portion of the Historic District consists of converted houses. Mr. Boyd (HPRB) stated that the structure the applicant occupied was never intended to be a residence so would not have the same consideration as a former residence converted to a commercial property.

Mrs. Hartshorn asked what was on the second floor of the building. Mr. Barr stated that there was a counseling center directly above and a Jujitsu gym beside that. The upstairs portion is very broken up with some of the space also being used by different businesses. Mrs. Hartshorn suggested containing window signage to be allowable only on street level to prevent signage from being added to the roof as an example. Mr. Anderson stated that it does look good as presented, and if the applicant is willing to remove the small red sign saw no problem allowing the other signage in place. Mr. Barr reiterated that that he was planning on removing the small red sign because it blocks the view of art for sell hung inside.

**On a motion by Mrs. Hartshorn seconded by Mrs. Anderson, the board voted to approve the signage that is present with the caveat that the small red sign will be removed from the window.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |

#### **E. PUBLIC COMMENTS**

#### **F. OLD BUSINESS/MATTERS NOT ON THE AGENDA**

Mrs. Rice informed the board that the grant for the preservation day in October and staff has created a list of what they would like to happen.

- Want a presentation of the preservation plan for the cemetery
- Cleaning the stones information
- Plans for the Virginia 250 in 2026
- Mike Pulas has agreed to come to talk about masonry
- Have the ETSU student present his research on the African American cemetery
- Possibility of preservation awards.

#### **G. ADJOURNMENT**

**On motion by Mr. Anderson, seconded by Mrs. Hartshorn, the board voted to adjourn the meeting.**

**The roll call vote was as follows:**

|                              |            |
|------------------------------|------------|
| <b>Mr. Dwayne Anderson</b>   | <b>Aye</b> |
| <b>Mrs. Brooke Bunn</b>      | <b>Aye</b> |
| <b>Mrs. Betsy White</b>      | <b>Aye</b> |
| <b>Mrs. Kristi Hartshorn</b> | <b>Aye</b> |
| <b>Mr. Peyton Boyd</b>       | <b>Aye</b> |

**Mrs. White declared the meeting adjourned.**

**Meeting adjourned at 7:29 PM**

\_\_\_\_\_ **Betsy White, Chair**

\_\_\_\_\_ **Gabriel Cristofari, Senior Planner/GIS Specialist**



## STAFF REPORT

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**TO:** ABINGDON HISTORIC PRESERVATION REVIEW BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS TO RELOCATE SIGNAGE APPROVED ON JUNE 5, 2024.

**PUBLICATION DATE:** JUNE 26, 2024

**MEETING DATE:** JULY 3, 2024

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

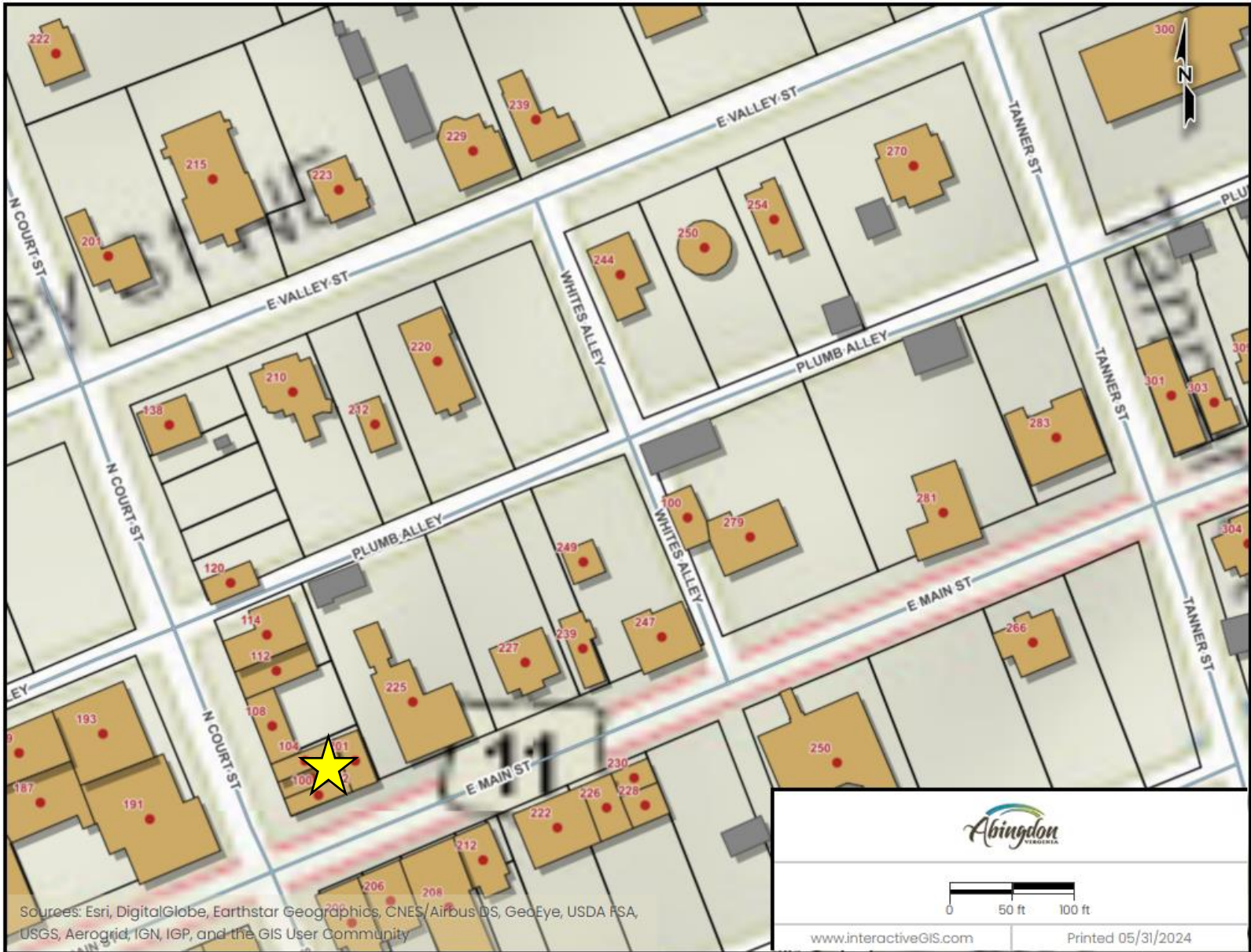
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**REQUEST:**

Andrew Neese (Applicant) and 201 E. Main LLC. (Owner) has requested approval of a Certificate of Appropriateness to relocate signage approved on June 5, 2024. The property is located at 201 E. Main Street (Parcel 013-1-64).

The property is within the Old and Historic Zoning District, Sub-District 1 (Civic/Business-Focused), the Entrance Corridor, and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.

VICINITY MAP:





**ENTRANCE CORRIDOR FRONTAGE:**



View of E. Main Street looking East



View of E. Main Street looking West





View of N. Court Street looking North



View of N. Court Street looking South



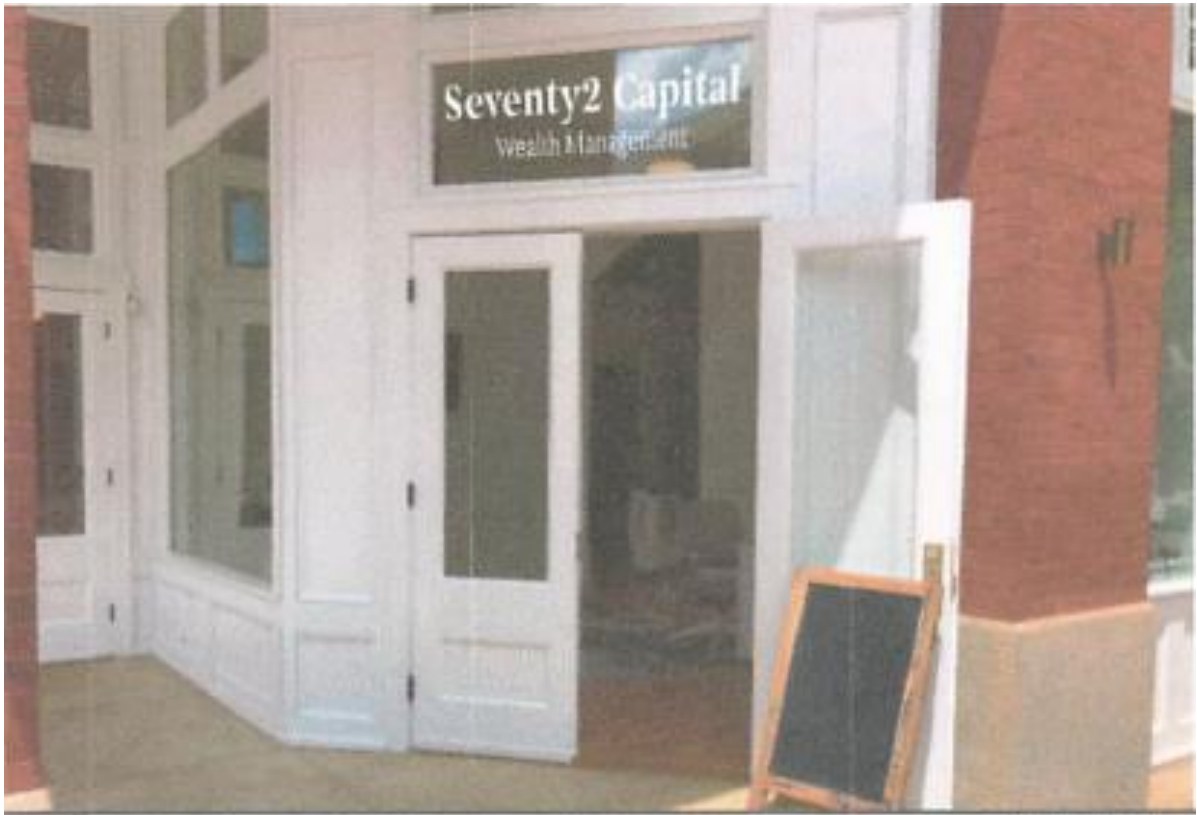
ZONING MAP:





**STAFF FINDINGS:**

1. **Location.** The Subject Property contains approximately 0.080 acres and is legally described as PT 8 & 10 COURT & MAIN STS-STORE #1 ACR 0.08 (Tax Map No. 013-1-64). The parcel is located in the Old & Historic District, Sub-District 1 (Civic/Business-Focused).
2. **Background.** On June 5, 2024, Andrew Neese as the applicant requested approval for three items connected to 201 E. Main Street, one of those being signage. After discussion with the applicant the HPRB approved signage for Seventy2 Capital with the following condition.
  - A 4 sq. ft. white stenciled sign applied to the glass transom above the double doors leading into Seventy2 Capital's office space.



Rendering of previously approved white stenciled signage within glass transom above double doors leading into Seventy2 Capital's office space

3. **Access.** Access to the site will be from E. Main Street or N. Court Street.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned the Old & Historic District, Sub-District 1 (Civic/Business-Focused) on all sides.

**5. Applicable Requirements of the Zoning Ordinance.**

**General OH Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

**General Sign Standards.**

*21-2-2. Application and permit.*

*(a) Sign permit required.*

*(1) No sign shall be erected, installed, altered, modified, refaced, rehung, or replaced, without obtaining a permit pursuant to this article, except as otherwise provided in this article.*

***(2) Signs within the Town's old and historic district shall conform to the requirements of such district and require a certificate of appropriateness issued by the board of architectural review.***

***(3) For signs within the Town's entrance corridor, such permit shall conform to the requirements of such district and require a permit issued by the zoning administrator and/or Town Manager.***

*(4) No permit shall be issued by the zoning administrator except upon a determination that a proposed sign is in conformity with the requirements of this article and, where applicable, in conformity with the requirements of an approved site plan for the property upon which the sign is to be placed. Appeals from decisions of the administrator shall be taken to the Town's Board of Zoning.*

*(5) After the issuance of an approved sign permit, the applicant may install and display the approved sign(s). Once installed, the administrator may inspect the sign(s) for conformance with the approved sign permit and this ordinance.*

*(b) An application for such a permit shall:*

- (1) Specify the type of sign to be constructed and the zoning district in which this sign is to be located.*
- (2) Be accompanied with plans including a sketch of the property indicating the lot frontage.*
- (3) Indicate the square footage and location of all existing signs on the property.*
- (4) The area, size, structure, design, location, lighting, and materials for the sign.*
- (5) Contain written consent of the owner or lessee of the land or building upon which the sign is to be erected.*

*21-5-1. Standards.*

*(a) Any sign displayed in the Town of Abingdon, shall comply with:*

- (1) All provisions of this article;*
- (2) All applicable provisions of the Uniform Statewide Building Code and amendments thereto; and,*
- (3) All state and federal regulations pertaining to the display of signage.*

*21-5-2. Sign area calculations.*

*(a) The following method shall be utilized in the calculations of sign area:*

- (1) The sign area permitted under this article is determined by measuring the entire face of the sign including any wall work incidental to its decoration but excluding support elements for the sole purpose of supporting the sign.*
- (2) For signs that are regular polygons or circles, the area shall be calculated by the mathematical formula for that polygon or circle. For signs that are not regular polygons or circles, the sign area shall be*

*calculated using the area within up to three rectangles that enclose the sign face.*

*(3) The surface area of any sign made up only of individual letters or figures shall include the space between such letters or figures.*

*(4) Whenever one sign contains information on both sides, sign area shall be calculated based on the largest sign face. Sides are not totaled.*

*21-5-3. Minimum setback. The minimum setback from any right-of-way, unless otherwise specified, is half the height of the sign.*

*21-6-1. District regulations.*

*(a) The following requirements shall apply in the designated district, as appropriate, to permitted uses by right and special uses as may be permitted, subject to all other requirements of this ordinance.*

*(b) Sign area square footage requirements are provided per sign unless specified as a total. Total area is calculated as an aggregate of all signs of that type.*

*OH Old and Historic District.*

*(a) Signs within the OH district shall be subject to the Town of Abingdon Design Review Guidelines for the Old and Historic District, as amended, and require a certificate of appropriateness by the Board of Architectural Review board.*

*(b) The board may approve the attachment or suspension of a sign from an existing freestanding or projecting sign or, in the case of a building on a site with more than one street frontage or more than one principal entrance, one additional freestanding or projecting sign per additional street frontage or principal entrance, if the board determines that such an arrangement is in keeping with the architectural character of the property.*

**Design Review Guidelines.**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

42. *Signs and Graphic Designs – Residential and Commercial Uses (The provisions of Article 21 of Abingdon’s Zoning Ordinance also apply to such signs and graphic designs).*

a. *Signs indicating current use (as opposed to signs designating historic significance) may be used only for commercial buildings, churches and bed and breakfast establishments.*

b. *Signs should be kept to a minimum, with **no more than two signs per building or one sign per business, whichever is greater. Multi-tenant signs are limited to one per building**, and all signage for that building should be located on said sign.*

c. *Signs should be appropriate to the size or location of the building. **Individual signs should not exceed 4 square feet**. Double-faced signs are permissible, and the size limitations will be calculated by measurement of a single face only. **Sign size restrictions do not apply to hotels, theaters, restaurants and churches**. Board approval as to the size of these signs is required and may be granted according to historic precedence.*

d. *Signs that are vintage 1945 or earlier (such as painted wall signs or those of metal and neon) should be preserved, maintained and repaired as needed. Accurate replications of signs (historic text excluded) which are established to have existed on the building in question may be permissible.*

e. *New signs should be fabricated to professional standards, out of traditional materials such as wood or polymer which closely replicates wood, with copper or bronze or other appropriate letters. Wood signs with sandblasted lettering may be appropriate. Signs of unfinished wood are not acceptable. The use of plywood is permitted so long as it is properly sealed from the elements with all visible edges of the plywood concealed.*

f. *Appropriate logos or symbols may be used. Colors should be coordinated with the overall building colors and have lettering appropriate to the size of the sign and the architecture of the building.*

g. *In the case of commercial buildings, signs should be freestanding, affixed to the face of the building or otherwise placed at traditional sign locations. Signs*

*for churches or bed and breakfast establishments may be freestanding or attached to the face of the building.*

***h. When mounted on masonry walls, signs should be anchored into the mortar, not the masonry.***

**STAFF FINDINGS:**

After receiving approval on June 5, 2024, the applicant is requesting to relocate the previously approved white stencil signage from the glass transom above the double doors to the 78 in. x 91 ½ in. window located adjacent to the double doors leading into Seventy2 Capital’s office space.

The only vantage point a pedestrian would have an unencumbered view of 78 in. x 91 ½ in. window, is at the Northwest corner of the E. Main Street and N. Court Street intersection.

Signage for Seventy2 Capital must be no larger than 4 sq. ft. The large windows on the first floor of the building historically were not commercial display windows.







Pedestrian  
vantage point  
photos

**REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

- A. **Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 201 E. Main Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 201 E. Main Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 201 E. Main Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).





# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

|                        |
|------------------------|
| <b>Office Use Only</b> |
| Fees: \$ _____         |

Building • Planning • Code Enforcement

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS for OLD AND HISTORIC DISTRICT

|                              |   |  |
|------------------------------|---|--|
| <b>Location of Property</b>  | Street Address<br><b>201 E MAIN STREET</b>  |  |
|                              | City, State, Zip Code<br><b>ABINGDON VA 24210</b>   | Parcel Number<br><b>013164</b>   |
| <b>Applicant Information</b> | Name<br><b>201 E MAIN LLC REPRESENTATIVE: ANDREW NESE</b>   |  |
|                              | Mailing Address, City, State, Zip Code<br><b>174 E MAIN ST ABINGDON VA</b>  |  |
|                              | Select Applicant Relation to Property below:<br><b>Other, specify:</b>  | Phone<br><b>276-619-1187</b><br>Email<br><b>ANDREW@WALBERGPM.COM</b>         |
| <b>Owner Information</b>     | Name of Owner<br><b>201 E MAIN LLC</b>  |  |
|                              | Mailing Address, City, State, Zip Code<br><b>174 E MAIN STREET ABINGDON VA</b>  |  |
|                              | Name of Business (if applicable)<br><b>201 E MAIN LLC SUMMERS BUILDING</b>  | Phone<br><b>ANDREW@WALBERGPM.COM</b><br>Email<br><b>ANDREW@WALBERGPM.COM</b> |
| <b>Project Description</b>   | 1) Is this property located in the Old and Historic District? <b>YES</b>  |  |
|                              | 2) Have you completed and attached the following required items:<br><input type="checkbox"/> Yes Site Plan for New Construction (more details below in number 3)<br><input checked="" type="checkbox"/> Yes Drawings for Alterations and New Construction (more details below in number 4)<br><input type="checkbox"/> Yes Description of Submittal Materials on Pages 2 and 3  |  |
|                              | 3) Does your Site Plan contain the following required items:<br>Location(s) of all proposed and current structures on property<br>Proposed landscape alterations denoted with callouts denoting what the alteration(s) are and the material(s) used   |  |
|                              | 4) Does your Drawings contain the following required items:<br>Drawings for structures with all four elevations showing what the completed proposed project would appear as<br>Drawings for landscape features (walls & fences) and signs<br>Dimensions (length, width & height) are required on all drawings for all structures<br>Drawing callouts to distinguish what is being proposed compared to what is existing<br>Callouts need to note the material(s) and color(s), if applicable, of any architectural feature related to the proposed project  |  |
| <b>Applicant Signature</b>   | I understand that the deadline for applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans and post public notices per VA code section 15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If applications is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application. Applicants need to submit a complete application with sufficient information to enable clear understanding of the proposal by the HPRB members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations, or changes will result in delays. |  |
|                              | I understand that I must be present at the HPRB Meeting on the date assigned by staff to present my proposal and that failure to attend may result in denial of my proposal by the members due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before received Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from that date of approval.  |  |
|                              | I understand if any changes to previously approved drawings or materials occurs for any reason, the applicant and/or representative must submit another Certificate of Appropriateness with the revised plans and materials for review by the HPRB. I further understand not complying will result in a stop work order.  |  |
|                              | I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.   |  |
|                              | Applicant (Print Name)<br><b>ANDREW NESE</b>  | Signature of Applicant<br>   |
| <b>Owner Affidavit</b>       | My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors, I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable), that I may be subject to with-holding taxes for those working on my project, and that I am not subject to licensure as a contractor or subcontractor for this project.   |  |
|                              | Property Owner (Print Name)<br><b>201 E MAIN LLC</b>  | Signature of Property Owner<br>  |



# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

### CERTIFICATE OF APPROPRIATENESS SUBMITTAL MATERIALS CHECKLIST

| Check the Appropriate Boxes Below Related to Changes/Additions to be Made   | Required Submittal Materials   | Detailed Description |
|---|--|----------------------|
| <b>IMPORTANT:</b> Include a detailed description in the far left column of all requirements listed in the middle column pertaining to the appropriate boxes you check. (use additional sheets if necessary) |  |                      |
| <input type="checkbox"/> Awning   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Color of material</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol>           |                      |
| <input type="checkbox"/> Chimney  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Type of brick, sample needed</li> <li>3. Type of mortar, sample needed</li> <li>4. Dimensions (length, width &amp; height)</li> </ol>   |                      |
| <input type="checkbox"/> Cornice  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Color of material</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol>           |                      |
| <input type="checkbox"/> Decks  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol> |                      |
| Driveway, Parking and Paving  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Material</li> <li>3. Dimensions (length, width &amp; height)</li> </ol>   |                      |
| <input type="checkbox"/> Doors Residential & Commercial   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>  |                      |

Continued on Page 3





# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

|   |  |   |
|---|--|---|
|   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |   |
| <input type="checkbox"/> Foundation   | <ol style="list-style-type: none"> <li>1. Material</li> <li>2. Paint color with applicable</li> <li>3. Dimensions (length, width &amp; height)</li> </ol>  |   |
| <input type="checkbox"/> Gutter & Downspouts  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |   |
| <input type="checkbox"/> Lighting   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |   |
| <input type="checkbox"/> Roof   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |   |
| <input type="checkbox"/> Windows  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Materials</li> <li>4. Type of glass</li> <li>5. Paint color with applicable</li> <li>6. Dimensions (length, width &amp; height)</li> </ol> |   |
| <div style="border: 1px solid black; border-radius: 50%; width: 50px; height: 50px; display: flex; align-items: center; justify-content: center;"> <input checked="" type="checkbox"/> Signs                 </div> | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Materials</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                           | <p style="font-size: 1.2em; font-family: cursive;">RELOCATION OF<br/>ALREADY APPROVED PLACEMENT</p> <p style="font-size: 1.2em; font-family: cursive;">• STENCILING</p> |

Monday, May 20, 2024

**LOCATION**  
 Property Address: 201 E Main St  
 Abingdon, VA 24210  
 Subdivision: Pt 8 & 10 Court & Main Sts  
 County: Washington County, VA

**PROPERTY SUMMARY**  
 Property Type: Commercial  
 Land Use: Commercial  
 Improvement Type: Commercial Property  
 Square Feet: 9849

**GENERAL PARCEL INFORMATION**  
 Parcel ID/Tax ID: 013 1 64 000973  
 Alternate Parcel ID: 20699  
 Parcel Count Number: 973  
 District/Ward: Abingdon  
 20 Census Tract/Blk: 105.01/2  
 Assessor Roll Year: 2022



**CURRENT OWNER**  
 Name: C/O Regent Street Properties LLC  
 Mailing Address: Po Box 623  
 Marion, VA 24354-0623

**SCHOOL ZONE INFORMATION**

|                                   |          |
|-----------------------------------|----------|
| <b>Abingdon Elementary School</b> | 2.6 mi   |
| Elementary: Pre K to 5            | Distance |
| <b>E.B. Stanley Middle School</b> | 1.2 mi   |
| Middle: 6 to 8                    | Distance |
| <b>Abingdon High School</b>       | 1.0 mi   |
| High: 9 to 12                     | Distance |

**SALES HISTORY THROUGH 05/10/2024**

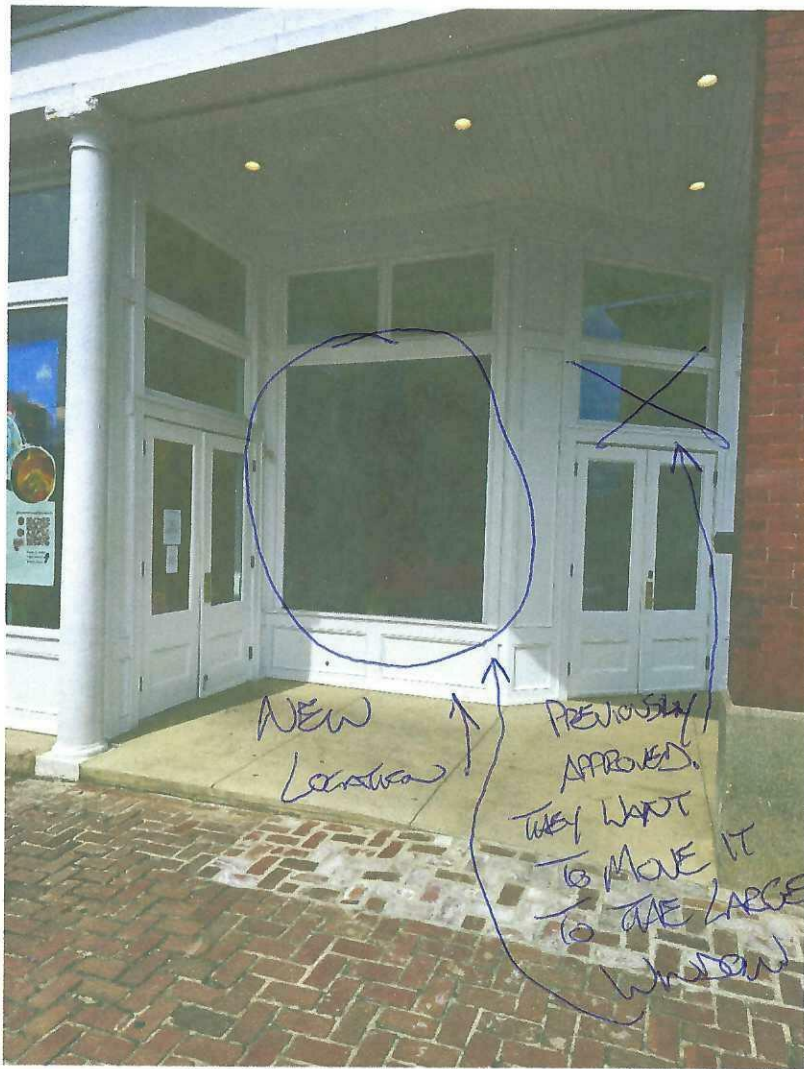
| Date      | Amount      | Buyer/Owners                   | Seller                         | Instrument    | No. Parcels | Book/Page Or Document# |
|-----------|-------------|--------------------------------|--------------------------------|---------------|-------------|------------------------|
| 1/25/2019 | \$1,322,475 | E Main LLC                     | East Main LLC                  | Warranty Deed | 6           | 190005051              |
| 1/24/2018 | \$950,000   | Maxine's Fashions              | Maxine's Fashions Limited Part | Warranty Deed | 6           | 180002555              |
| 1/9/1999  |             | Maxine's Fashions Limited Part |                                |               |             | 1067/286               |

**TAX ASSESSMENT**

| Appraisal              | Amount    | Assessment            | Amount    |
|------------------------|-----------|-----------------------|-----------|
| Appraisal Year         | 2022      | Assessment Year       | 2022      |
| Appraised Land         | \$52,300  | Assessed Land         | \$52,300  |
| Appraised Improvements | \$371,600 | Assessed Improvements | \$371,600 |
| Total Tax Appraisal    | \$423,900 | Total Assessment      | \$423,900 |
|                        |           | Exempt Amount         |           |
|                        |           | Exempt Reason         |           |

**TAXES**

| Year | City Taxes | County Taxes | Total Taxes |
|------|------------|--------------|-------------|
| 22   | \$1,186.92 | \$2,543.40   | \$3,730.32  |
| 21   | \$1,032.92 | \$2,213.40   | \$3,246.32  |
| 19   | \$1,027.60 | \$2,312.10   | \$3,339.70  |
| 18   | \$1,027.60 | \$2,312.10   | \$3,339.70  |
| 17   | \$1,027.60 | \$2,312.10   | \$3,339.70  |
| 16   | \$1,027.04 | \$2,310.84   | \$3,337.88  |





## STAFF REPORT

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**TO:** ABINGDON HISTORIC PRESERVATION BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR  
THE ALLOWANCE OF AN UNAPPROVED CAST IRON  
PREFINISHED BLACK RAILING

**PUBLICATION  
DATE:** JUNE 26, 2024

**MEETING  
DATE:** JULY 5, 2024

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

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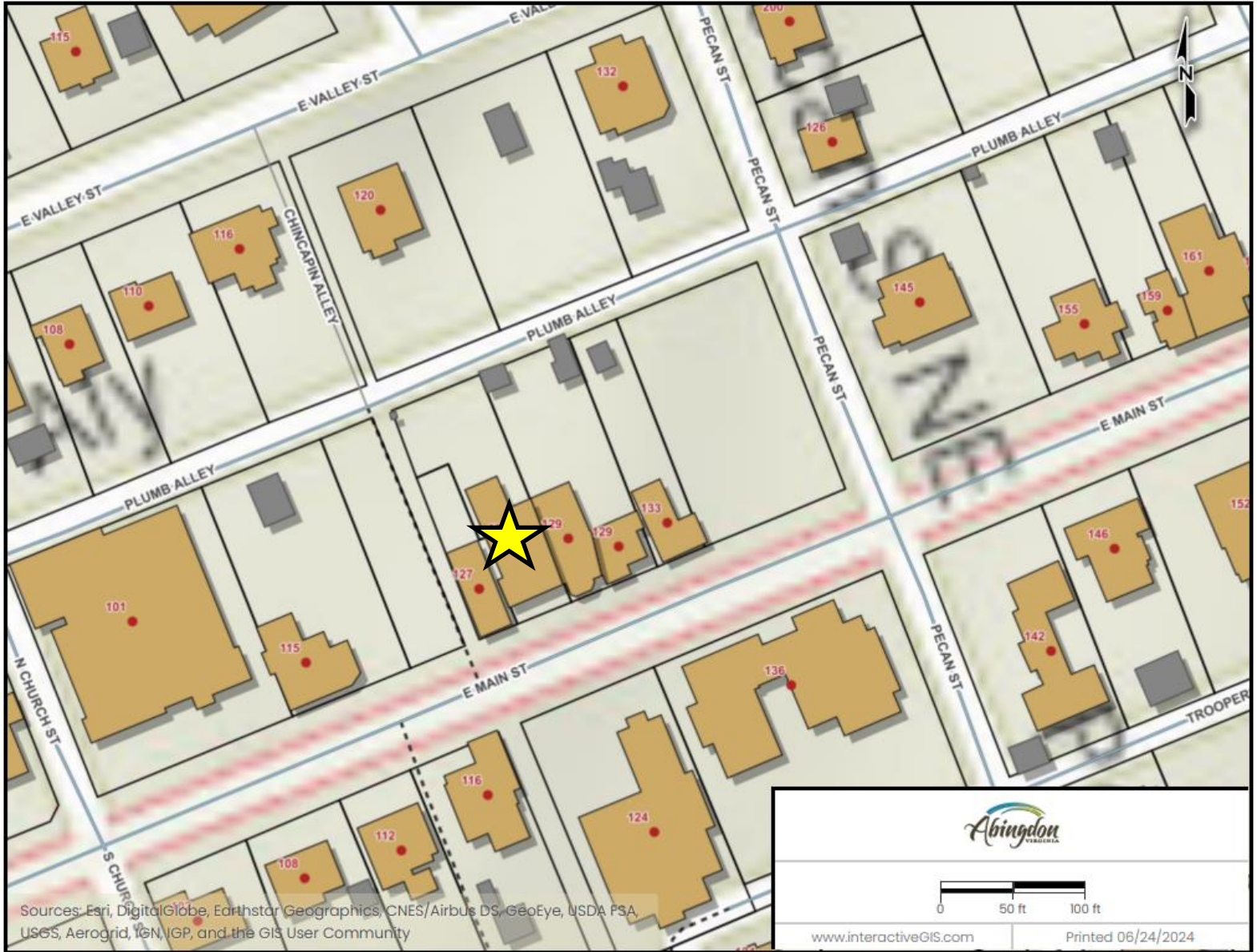
**REQUEST:**

Martin Alloy (Applicant/Owner) has requested approval of a Certificate of Appropriateness for the allowance of an unapproved cast iron prefinished black railing. The property is located on 131 E. Main Street (012-1-91).

The property is within the Old and Historic Zoning District, Sub-District 1 (Civic/Business-Focused), Entrance Corridor, and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.



VICINITY MAP:





**ENTRANCE CORRIDOR FRONTAGE:**



View of E. Main Street looking East



View of E. Main Street looking West



# ZONING MAP:

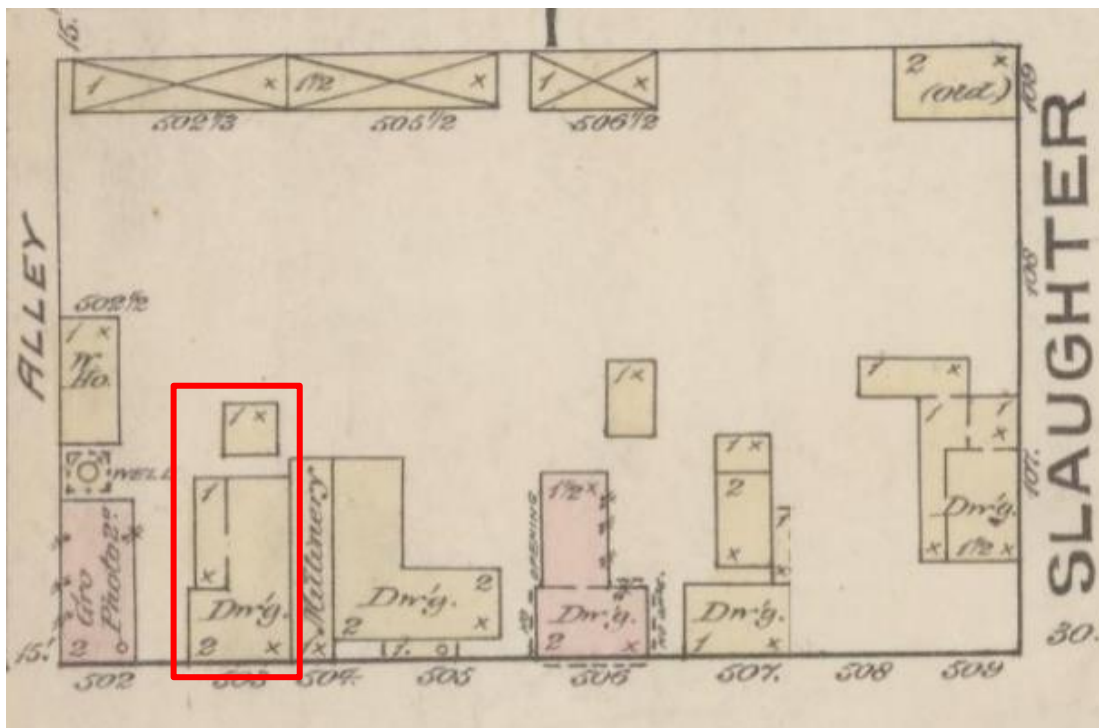


## STAFF FINDINGS:

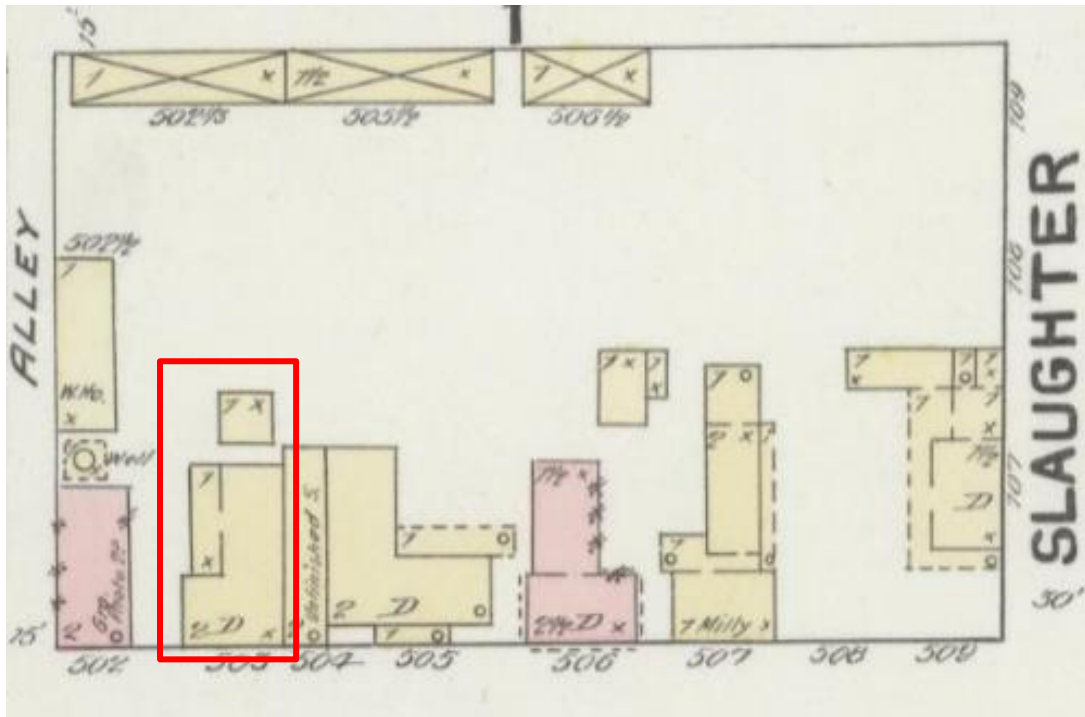
1. **Location.** The Subject Property contains approximately 0.200 acres and is legally described as PT BOUNDARY ADJ OF THE RACHEL D FOW TRUST ACR .20 (Tax Map No. 012-1-91). The parcel is located in the Old & Historic District, Sub-District 1 (Civic/Business-Focused).
2. **Background.** According to “Places In Time Volume II” written by Nanci C. King, 131 E. Main Street known as the Samuel G. Keller House was built in 1909. The current brick building replaced a wood framed building. In 1961 the Keller family sold the property to Joseph Johnson Jr. Later in 1973 Thomas E. George purchased the property and removed the one-story front porch and altered the façade to appear Georgian in style.

According to the Department of Historic Resources (DHR) VCRIS database the Samuel G. Keller House was built in 1906. The two-story, five-bay brick veneered building has elements of the Colonial Revival style. The contributing building possesses a moderate level of architectural integrity, as it has been expanded significantly and has a replaced façade.

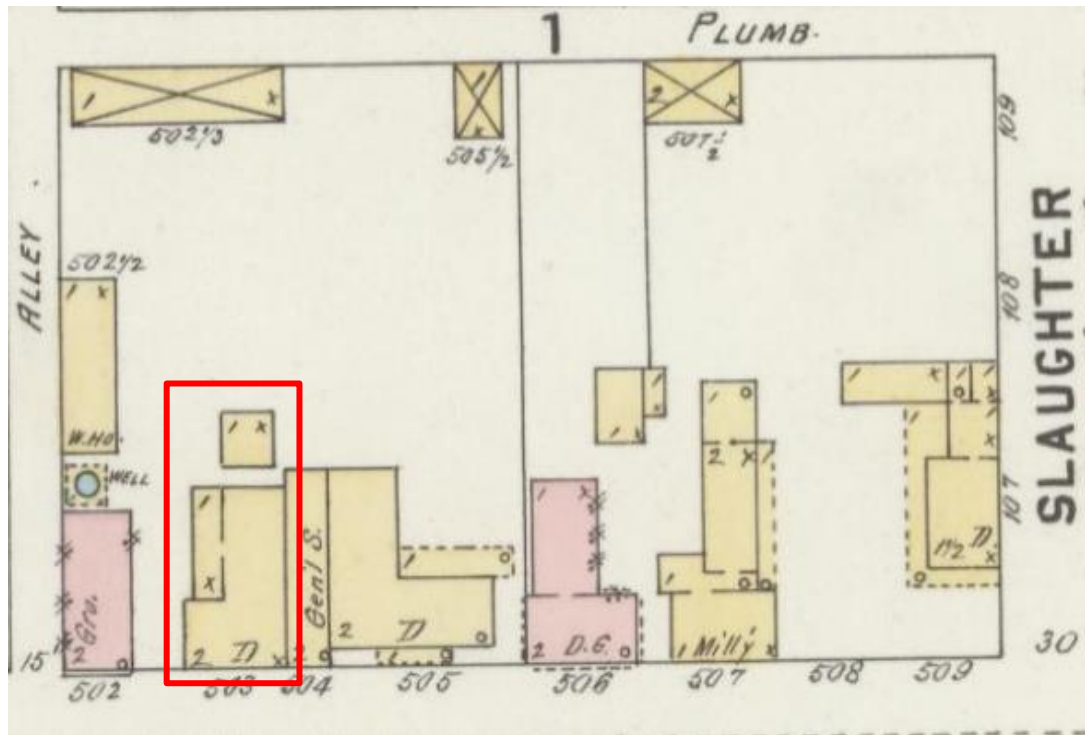
The below Sanborn Fire Insurance Maps below are from 1885, 1891, 1897, 1902, 1908, 1913, 1922, and 1928. These show the current building was constructed by 1913.



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, December, 1885. Map. [https://www.loc.gov/item/sanborn08966\\_001/](https://www.loc.gov/item/sanborn08966_001/).

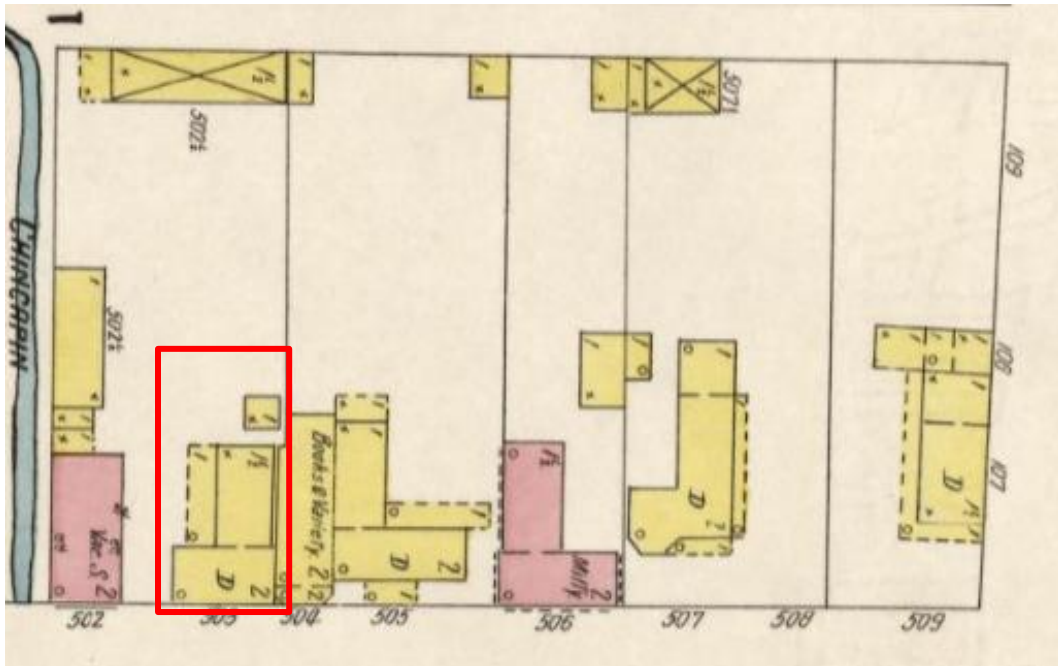


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, November, 1891. Map. [https://www.loc.gov/item/sanborn08966\\_002/](https://www.loc.gov/item/sanborn08966_002/).

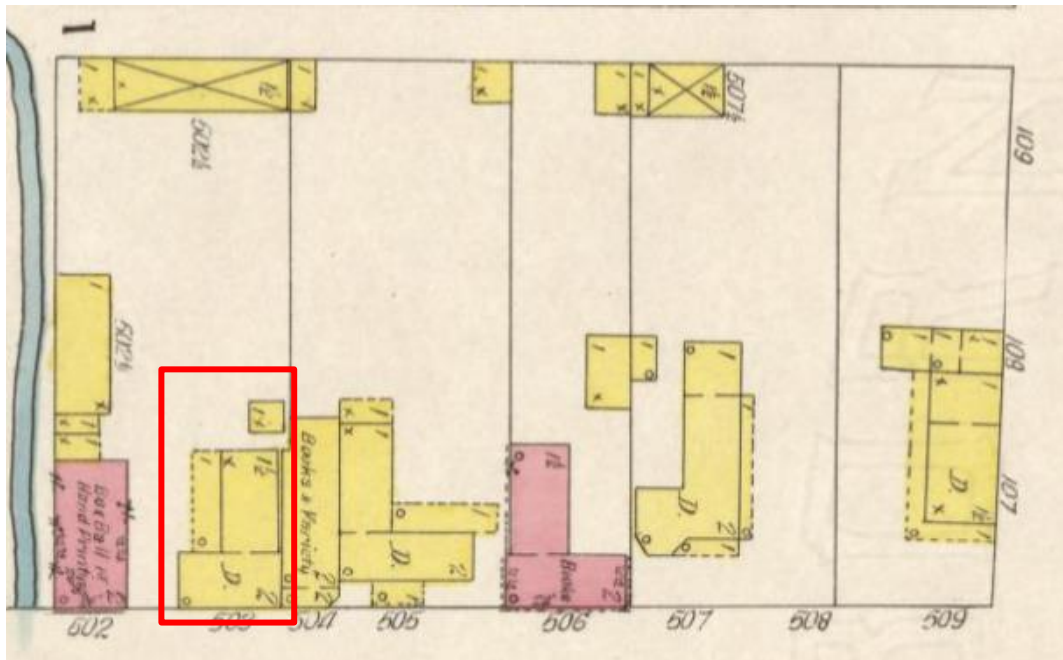


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, July, 1897. Map. [https://www.loc.gov/item/sanborn08966\\_003/](https://www.loc.gov/item/sanborn08966_003/).

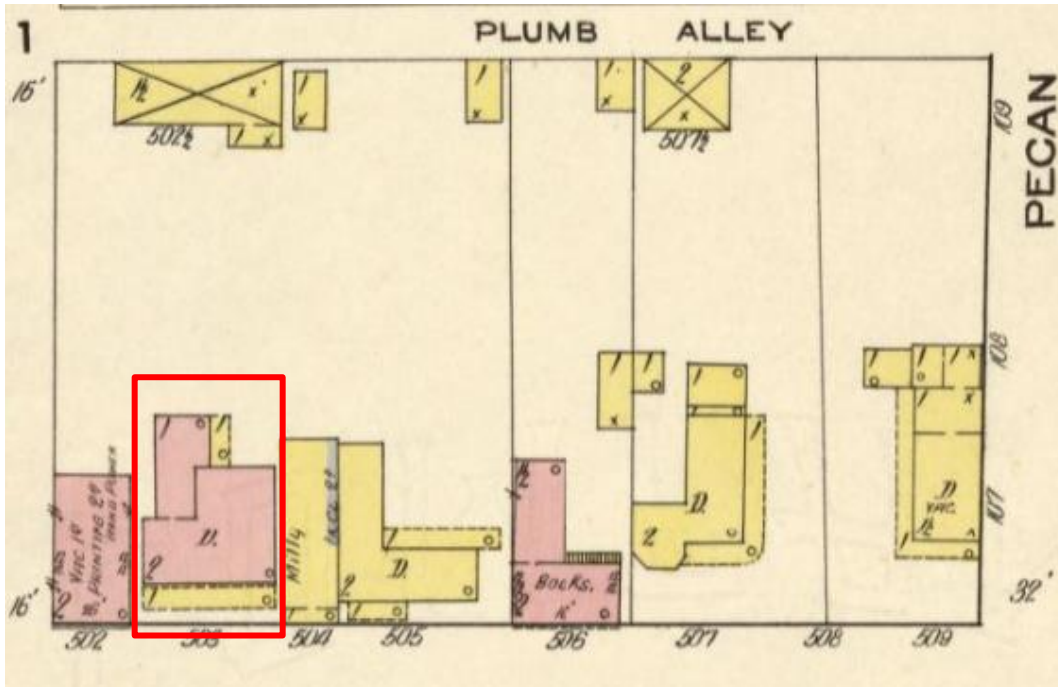




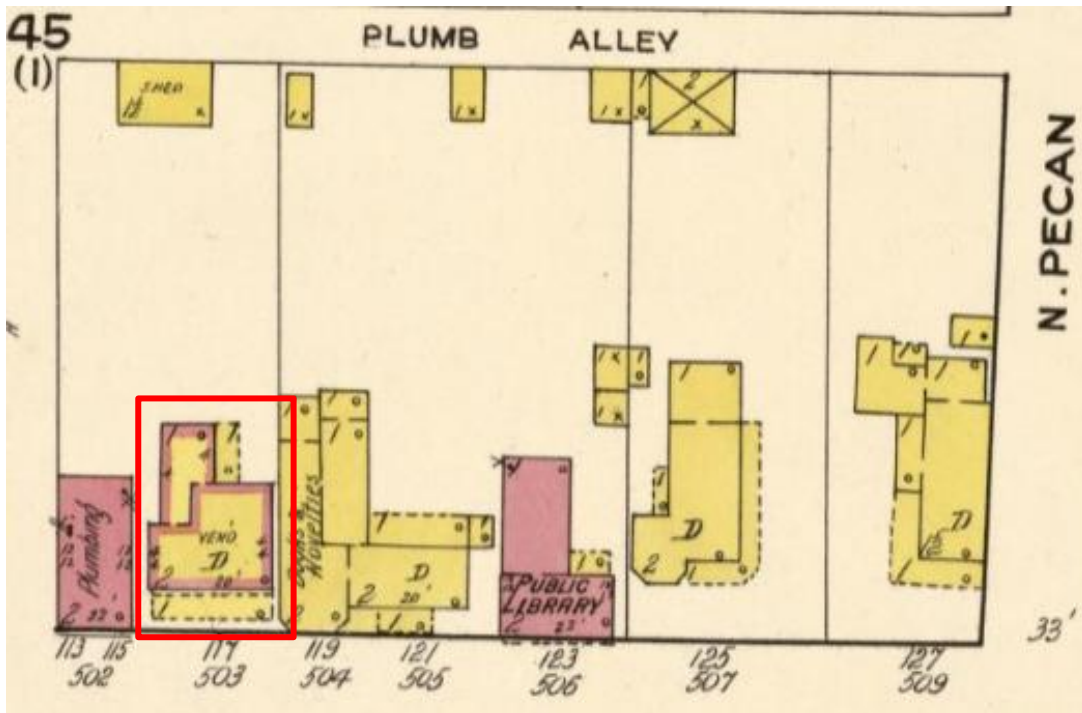
Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, November, 1902. Map. [https://www.loc.gov/item/sanborn08966\\_004/](https://www.loc.gov/item/sanborn08966_004/).



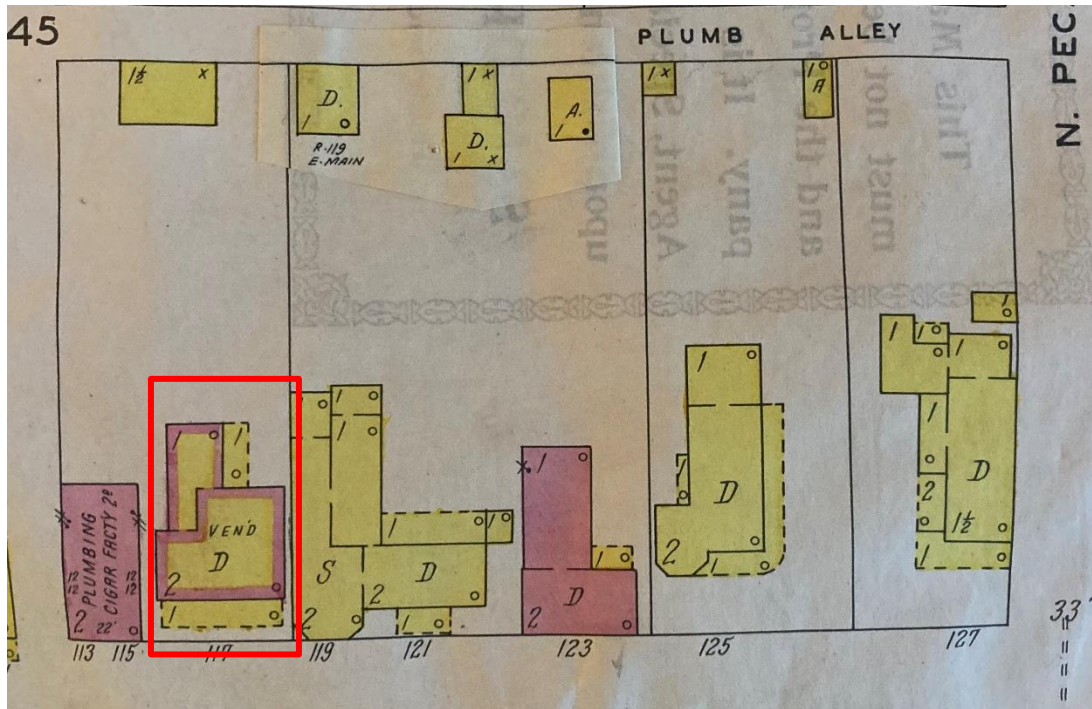
Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, February, 1908. Map. [https://www.loc.gov/item/sanborn08966\\_005/](https://www.loc.gov/item/sanborn08966_005/).



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, March, 1913. Map. [https://www.loc.gov/item/sanborn08966\\_006/](https://www.loc.gov/item/sanborn08966_006/).



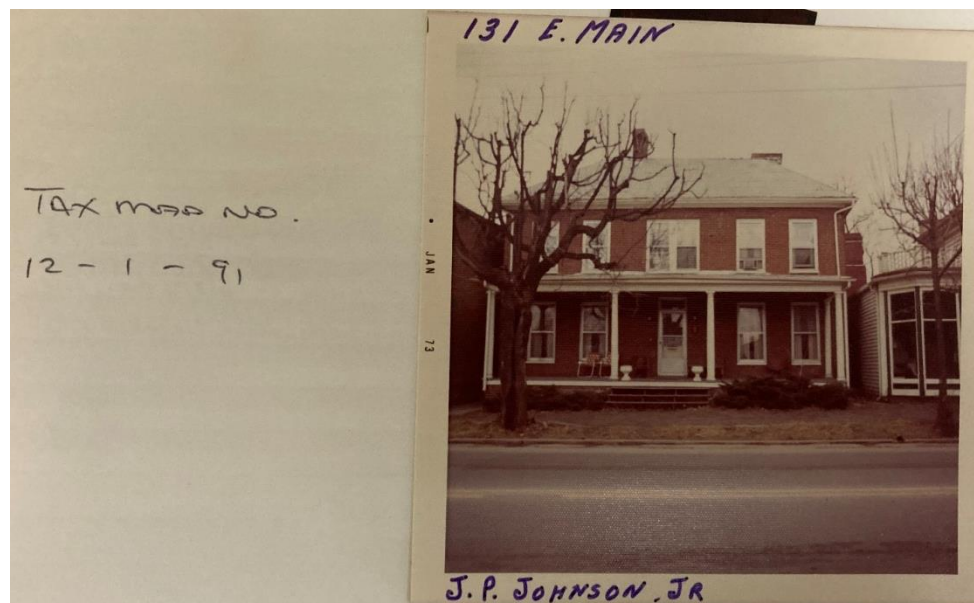
Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, June, 1922. Map. [https://www.loc.gov/item/sanborn08966\\_007/](https://www.loc.gov/item/sanborn08966_007/).



*Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, October, 1928. Map.*

Based on an inventory of photographs taken in the 1970's and 1980's, staff were able to locate two photographs.

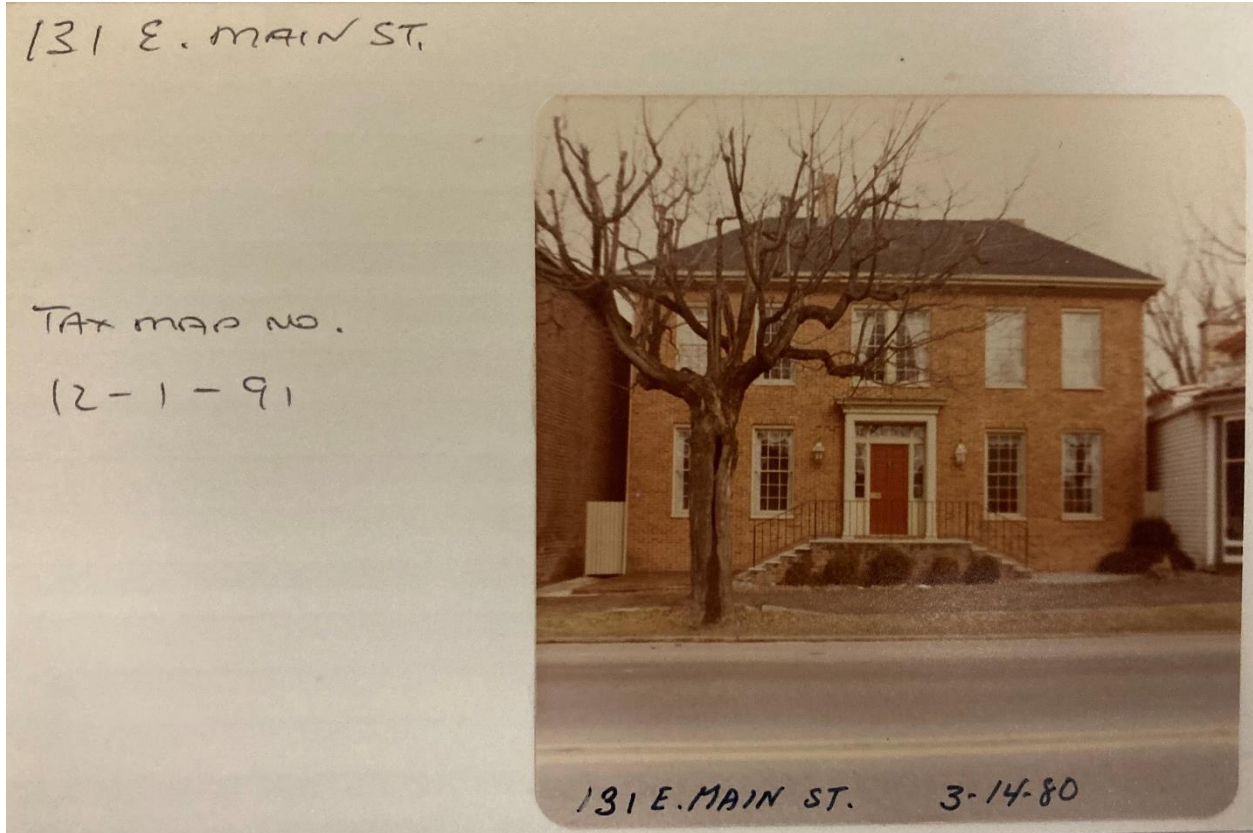
The first, taken in the early to mid 1970's, shows 131 E. Main Street as a brick veneered building with a one-story full length front porch as shown in the 1913, 1922, and 1928 Sanborn Fire Insurance Maps. The removed wrought iron railing is not shown in the early to mid 1970's photograph.



Early to mid-1970's photograph



The second, taken in 1980, shows 131 E. Main Street as a brick veneered building without a one-story full length front porch. The removed wrought iron railing can be seen in the 1980 photograph. The wrought iron railing was installed as part of the mid 1970's building campaign that saw the removal of the one-story full length front porch, in addition to other alterations that occurred to the building's primary (South) façade.



1980 photograph

3. **Access.** Access to the site will continue to be E. Main Street.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned the Old & Historic District, Sub-District 1 (Civic/Business-Focused) or Sub-District 2 (Residential-Focused) on all sides.

5. **Applicable Requirements of the Zoning Ordinance.**

**General OH Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

## **Design Review Guidelines**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

### *33. Porches.*

- a. Porches which are intact and totally or partly original should not be replaced but repaired as needed, adhering to original design features in scale and placement and using original materials whenever possible to match the original. If the original design is unknown and cannot readily be determined, the owner should employ a traditional design which is compatible with the architectural style of the particular building to which the associated porch is planned, using appropriate materials and detailing.*
- b. New construction porches should employ a traditional design which is compatible with the architectural style and period of the particular associated building.*
- c. Porches on the front of buildings should not be enclosed with wood, glass or other materials which would alter the porch's open appearance.*
- d. Porches should not be altered by replacing wood floors and steps with brick or concrete. However, masonry porch floors or masonry patio and terrace surfaces may use poured concrete steps.*
- e. Porches may be screened if:*
  - 1) The screen panels are placed behind the original features such as columns or railings.*
  - 2) The screen panels do not hide decorative details or result in the removal of original porch materials.*
  - 3) The structural framework for the screen panels is minimal, so that the open appearance of the porch is maintained.*
- f. Open areas in the foundation of porches should be filled in as appropriate to the original design of the porch, or if the original design is unknown or totally new construction is involved, with decorative wood framed skirting, vertical slats or lattice panels of traditional design.*



### 34. Porch Columns and Balustrades.

- a. *Porch columns and balustrades should be preserved and maintained. Where repair is required, the owner should use materials to match the original dimensions and detailing. If the original columns and balustrades have been removed or replaced, the porch should be restored to its original design, or if that is unknown and cannot readily be determined, to a traditional design compatible with the architectural style of the associated building.*
- b. *Porch columns often deteriorate first at the bottom next to the porch floor, in which case the owner should consider removing and replacing the deteriorated area rather than replacing the entire column. Similarly, the deteriorated area may also be boxed in the case of square cross section porch columns or the deteriorated wood repaired with wood epoxy.*
- c. *Front porches may require new balusters (also called spindles or pickets) for the balustrade, in which case the replacements should be of appropriate size and design for the building's style and period. Balusters should only be attached to the top and bottom rails, not to the floor or face of porch floor.*

#### **Staff Findings:**

**The applicant requests the unapproved cast iron prefinished black railing to remain in place. Prior to the installation of the unapproved railing, a wrought iron railing was approximately in the same location. Based on the background information collected, staff can conclude the wrought iron railing was installed in the mid to late 1970's when the full length front porch was removed and replaced with the brick landing and steps seen today. Overall, the wrought iron railing was approximately fifty years old and not connected to the original wood framed building or the brick veneered building seen today then constructed between 1906 and 1913.**



Previous wrought iron railing



Previous wrought iron railing

**The unapproved cast iron prefinished black railing shown below has square pickets, rails, and newel posts representative of a simple traditional style. More ornate elements not of a simple traditional design are circles running directly underneath the top rail as shown, and the newel post caps.**

**Per the design guidelines.**

*34. Porch Columns and Balustrades.*

- a. *Porch columns and balustrades should be preserved and maintained. Where repair is required, the owner should use materials to match the original dimensions and detailing. If the original columns and balustrades have been removed or replaced, the porch should be restored to its original design, or if that is unknown and cannot readily be determined, to a traditional design compatible with the architectural style of the associated building.*





Unapproved cast iron prefinished black railing

### **REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

- A. **Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 131 E. Main Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 131 E. Main Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 131 E. Main Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).



## TOWN OF ABINGDON

133 West Main Street • PO Box 789 • Abingdon, Virginia • 24212  
gcristofari@abingdon-va.gov  
(276) 276-6746

Martin K. Alloy  
131 E. Main Street  
Abingdon, VA 24210

Dear Mr. Martin K. Alloy,

This letter serves as your official notice that the above referenced property has undergone an exterior alteration (**front porch railing replacement**) seen from a public vantage point (**E. Main Street**) that has not been approved by the Historic Preservation Review Board (HPRB).

This alteration must be presented to the HPRB for review. The deadline to submit an application to Town of Abingdon's Community Development Department is December 20, 2023.

Once all necessary materials have been submitted, you will be put on the next available agenda to go before the HPRB during one of their scheduled meetings.

Gabriel Cristofari  
Senior Planner/GIS  
P.O. Box 789  
Abingdon, VA 24212  
(276) 492-2234  
gcristofari@abingdon-va.gov





View previously existing metal railing as seen from E. Main Street



View of unapproved metal railing as seen from E. Main Street





# TOWN OF ABINGDON COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

|                        |
|------------------------|
| <b>Office Use Only</b> |
| Fees: \$ _____         |

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS for OLD AND HISTORIC DISTRICT

|                              |   |                                 |
|------------------------------|---|---------------------------------|
| <b>Location of Property</b>  | Street Address<br><b>131 E MAIN ST</b>  |                                 |
|                              | City, State, Zip Code<br><b>Abingdon, VA 24210</b>  | Parcel Number                   |
| <b>Applicant Information</b> | Name<br><b>MARTIN K. ALLOY &amp; DANIS M CLIFTON STROS</b>  |                                 |
|                              | Phone<br><b>703-932-0673</b>  |                                 |
|                              | Mailing Address, City, State, Zip Code  |                                 |
| <b>Owner Information</b>     | Name of Owner<br><b>AS ABOVE</b>  |                                 |
|                              | Phone<br><b>703-932-0673</b>  |                                 |
|                              | Mailing Address, City, State, Zip Code  |                                 |
| <b>Project Description</b>   | 1) Is this property located in the Old and Historic District? <b>YES</b>  |                                 |
|                              | 2) Have you completed and attached the following required items:<br><input type="checkbox"/> Yes Site Plan for New Construction (more details below in number 3)<br><input type="checkbox"/> Yes Drawings for Alterations and New Construction (more details below in number 4)<br><input type="checkbox"/> Yes Description of Submittal Materials on Pages 2 and 3   |                                 |
|                              | 3) Does your Site Plan contain the following required items:<br><input type="checkbox"/> Yes Location(s) of all proposed and current structures on property<br><input type="checkbox"/> Yes Proposed landscape alterations denoted with callouts denoting what the alteration(s) are and the material(s) used   |                                 |
|                              | 4) Does your Drawings contain the following required items:<br><input type="checkbox"/> Yes Drawings for structures with all four elevations showing what the completed proposed project would appear as<br><input type="checkbox"/> Yes Drawings for landscape features (walls & fences) and signs<br><input type="checkbox"/> Yes Dimensions (length, width & height) are required on all drawings for all structures<br><input type="checkbox"/> Yes Drawing callouts to distinguish what is being proposed compared to what is existing<br><input type="checkbox"/> Yes Callouts need to note the material(s) and color(s), if applicable, of any architectural feature related to the proposed project   |                                 |
| <b>Applicant Signature</b>   | I understand that the deadline for applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans and post public notices per VA code section 15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If applications is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application. Applicants need to submit a complete application with sufficient information to enable clear understanding of the proposal by the HPRB members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations, or changes will result in delays. |                                 |
|                              | I understand that I must be present at the HPRB Meeting on the date assigned by staff to present my proposal and that failure to attend may result in denial of my proposal by the members due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before received Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from that date of approval.  |                                 |
|                              | I understand if any changes to previously approved drawings or materials occurs for any reason, the applicant and/or representative must submit another Certificate of Appropriateness with the revised plans and materials for review by the HPRB. I further understand not complying will result in a stop work order.  |                                 |
|                              | I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.   |                                 |
|                              | Applicant (Print Name)<br><b>MARTIN ALLOY</b>   | Signature of Applicant<br>      |
| <b>Owner Affidavit</b>       | My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to withholding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.  |                                 |
|                              | Property Owner (Print Name)<br><b>MARTIN ALLOY &amp; DANIS CLIFTON STROS</b>  | Signature of Property Owner<br> |



# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

### CERTIFICATE OF APPROPRIATENESS SUBMITTAL MATERIALS CHECKLIST

| Check the Appropriate Boxes Below Related to Changes/Additions to be Made   | Required Submittal Materials   | Detailed Description |
|---|--|----------------------|
| <b>IMPORTANT:</b> Include a detailed description in the far left column of all requirements listed in the middle column pertaining to the appropriate boxes you check. (use additional sheets if necessary) |  |                      |
| <input type="checkbox"/> Awning   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Color of material</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol>           |                      |
| <input type="checkbox"/> Chimney  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Type of brick, sample needed</li> <li>3. Type of mortar, sample needed</li> <li>4. Dimensions (length, width &amp; height)</li> </ol>   |                      |
| <input type="checkbox"/> Cornice  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Color of material</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol>           |                      |
| <input type="checkbox"/> Decks  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol> |                      |
| <input type="checkbox"/> Driveway, Parking and Paving   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Material</li> <li>3. Dimensions (length, width &amp; height)</li> </ol>   |                      |
| <input type="checkbox"/> Doors Residential & Commercial   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>  |                      |

Continued on Page 3





# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

|  |  |  |
|--|--|--|
| <input type="checkbox"/> Fences              | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |  |
| <input type="checkbox"/> Foundation          | <ol style="list-style-type: none"> <li>1. Material</li> <li>2. Paint color with applicable</li> <li>3. Dimensions (length, width &amp; height)</li> </ol>  |  |
| <input type="checkbox"/> Gutter & Downspouts | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |  |
| <input type="checkbox"/> Lighting            | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |  |
| <input type="checkbox"/> Roof                | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |  |
| <input type="checkbox"/> Windows             | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Materials</li> <li>4. Type of glass</li> <li>5. Paint color with applicable</li> <li>6. Dimensions (length, width &amp; height)</li> </ol> |  |
| <input type="checkbox"/> Signs               | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Materials</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                           |  |

*Wrought IRON FENCE ON STAIRS + LANDING WAS REPLACED  
TOP of FENCE has finials + circles per picture*



## STAFF REPORT

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**TO:** ABINGDON HISTORIC PRESERVATION BOARD (HPRB)  
**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS  
**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR  
TREX CLADDING OVER EXISTING WOODEN REAR PORCH  
STAIRS

**PUBLICATION  
DATE:** JUNE 26, 2024

**MEETING  
DATE:** JULY 5, 2024

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

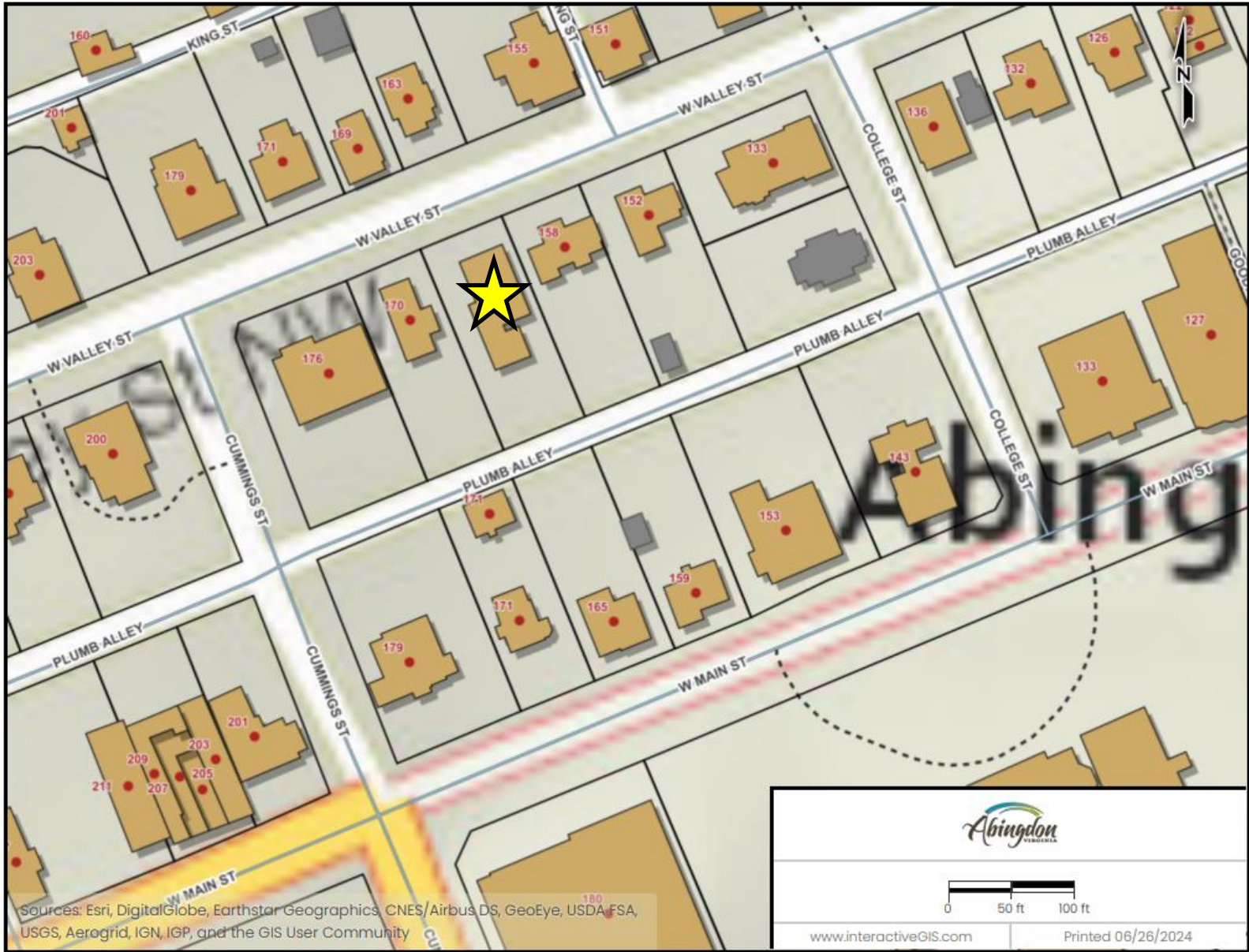
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**REQUEST:**

**Kenny & Doris Shuman (Applicant/Owner) has requested approval of a Certificate of Appropriateness to clad the existing wooden rear porch stairs with Trex. The property is located on 164 W. Valley Street (012-1-61).**

**The property is within the Old and Historic Zoning District, Sub-District 2 (Residential-Focused), and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.**

VICINITY MAP:



Sources: Esri, DigitalGlobe, Earthstar Geographics, CNES/Airbus DS, GeoEye, USDA FSA, USGS, AeroGrid, IGN, IGP, and the GIS User Community



**ENTRANCE CORRIDOR FRONTAGE:**



View of Plumb Alley looking East



View of Plumb Alley looking West



ZONING MAP:



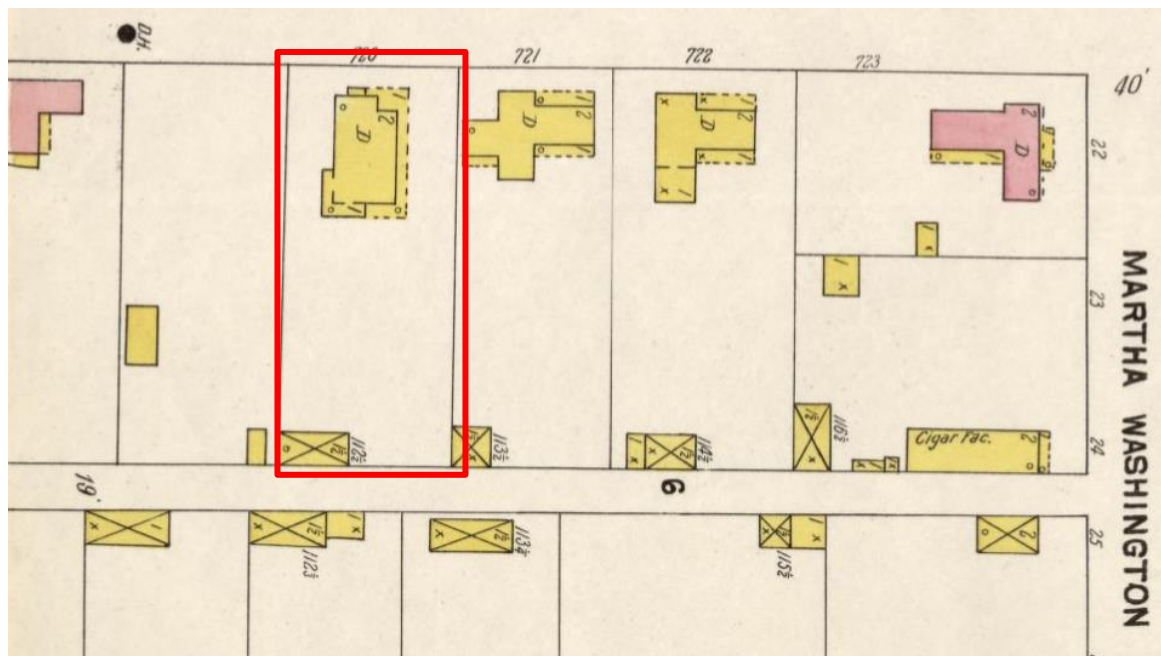
Sources: Esri, DigitalGlobe, Earthstar Geographics, CNES/Airbus DS, GeoEye, USDA-FSA, USGS, AeroGrid, IGN, IGP, and the GIS User Community

## STAFF FINDINGS:

1. **Location.** The Subject Property contains approximately 0.250 acres and is legally described as PT LOT 6 VALLEY ST-GILPIN ACR .25 (Tax Map No. 012-1-61). The parcel is located in the Old & Historic District, Sub-District 2 (Residential-Focused).
2. **Background.** According to “Places In Time Volume II” written by Nanci C. King, 164 W. Valley Street known as the John B. Hamilton House was built in 1892. John B. Hamilton purchased lot 6 of the Fruit Hill land in 1883 and built his house on the East side of the lot. His daughter, Mrs. Samuel A. Carson, lived here from 1905 to 1908 and later conveyed the property to Oscar L. James. James was the Abingdon postmaster from 1907 to 1911 and operated a store on W. Main Street.

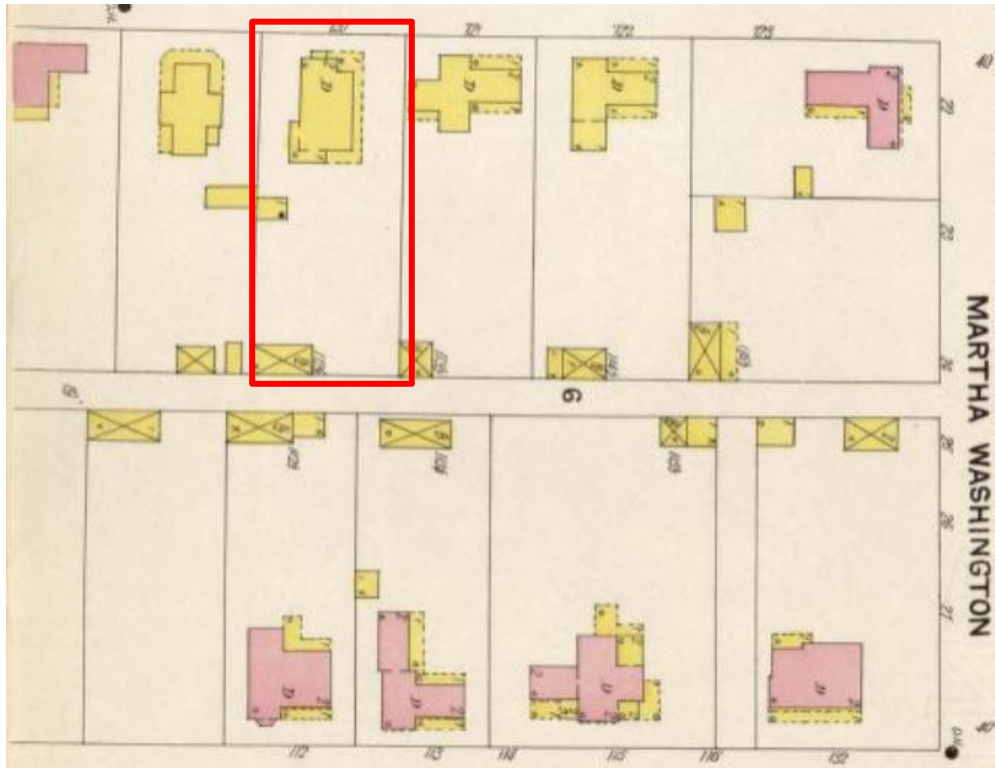
According to the Department of Historic Resources (DHR) VCRIS database the John B. Hamilton House was built in 1892. The two-story, two-bay wood framed building was built in the Queen Anne style. The contributing building possesses a good level of architectural integrity, retaining its overall massing and a variety of original materials, such as spindle work and saw-toothed weatherboards.

The Sanborn Fire Insurance Maps below are from 1902, 1908, 1913, 1922, and 1928.



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, November, 1902. Map. [https://www.loc.gov/item/sanborn08966\\_004/](https://www.loc.gov/item/sanborn08966_004/).





*Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, February, 1908. Map. [https://www.loc.gov/item/sanborn08966\\_005/](https://www.loc.gov/item/sanborn08966_005/).*



*Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, March, 1913. Map. [https://www.loc.gov/item/sanborn08966\\_006/](https://www.loc.gov/item/sanborn08966_006/).*



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, June, 1922. Map. [https://www.loc.gov/item/sanborn08966\\_007/](https://www.loc.gov/item/sanborn08966_007/).



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, October, 1928. Map.

3. **Access.** Access to the site will continue to be W. Valley Street and Plumb Alley.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned the Old & Historic District, Sub-District 1 (Civic/Business-Focused) or Sub-District 2 (Residential-Focused) on all sides.

5. **Applicable Requirements of the Zoning Ordinance.**

**General OH Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

**Design Review Guidelines**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

33. *Porches.*

- a. *Porches which are intact and totally or partly original should not be replaced but repaired as needed, adhering to original design features in scale and placement and using original materials whenever possible to match the original. If the original design is unknown and cannot readily be determined, the owner should employ a traditional design which is compatible with the architectural style of the particular building to which the associated porch is planned, using appropriate materials and detailing.*
- b. *New construction porches should employ a traditional design which is compatible with the architectural style and period of the particular associated building.*
- c. *Porches on the front of buildings should not be enclosed with wood, glass or other materials which would alter the porch's open appearance.*
- d. *Porches should not be altered by replacing wood floors and steps with brick or concrete. However, masonry porch floors or masonry patio and terrace surfaces may use poured concrete steps.*

- e. *Porches may be screened if:*
  - 1) *The screen panels are placed behind the original features such as columns or railings.*
  - 2) *The screen panels do not hide decorative details or result in the removal of original porch materials.*
  - 3) *The structural framework for the screen panels is minimal, so that the open appearance of the porch is maintained.*
- f. *Open areas in the foundation of porches should be filled in as appropriate to the original design of the porch, or if the original design is unknown or totally new construction is involved, with decorative wood framed skirting, vertical slats or lattice panels of traditional design.*

#### *34. Porch Columns and Balustrades.*

- a. *Porch columns and balustrades should be preserved and maintained. Where repair is required, the owner should use materials to match the original dimensions and detailing. If the original columns and balustrades have been removed or replaced, the porch should be restored to its original design, or if that is unknown and cannot readily be determined, to a traditional design compatible with the architectural style of the associated building.*
- b. *Porch columns often deteriorate first at the bottom next to the porch floor, in which case the owner should consider removing and replacing the deteriorated area rather than replacing the entire column. Similarly, the deteriorated area may also be boxed in the case of square cross section porch columns or the deteriorated wood repaired with wood epoxy.*
- c. *Front porches may require new balusters (also called spindles or pickets) for the balustrade, in which case the replacements should be of appropriate size and design for the building's style and period. Balusters should only be attached to the top and bottom rails, not to the floor or face of porch floor.*



35. *Porch Staircases and Steps.*

- a. *Porch staircases and steps original to a property should be retained in their original location and configuration. Wood and concrete steps should be repaired with materials to match the original.*
- b. *If the porch has a wood floor, it should generally have wooden steps. However, in some cases brick or concrete steps may also be appropriate.*
- c. *Porch staircases and steps added to a building should have newel posts and balusters, treads and risers and any other details needed to match the original porch construction.*

**Staff Findings:**

**The applicant proposes to clad the existing wooden stairs painted a dark blue color coming off the rear of the wooden one-story wraparound porch with Trex. Trex was chosen to match the existing Trex flooring found on the wooden one-story wraparound porch.**



View of existing wooden stairs painted a dark blue color coming off the rear of the wooden one-story wraparound porch





View of wraparound porch from W. Valley



Trex flooring on wraparound porch

Based on the background information collected, staff can conclude the wooden one-story wraparound porch is original or was at least constructed within the first ten years of the building's existence. The original wood flooring was approved to be removed sometime in the 1990's or early 2000's.

Per the Design Guidelines.

33. Porches.

- a. Porches which are intact and totally or partly original should not be replaced but repaired as needed, adhering to original design features in scale and placement and using original materials whenever possible to match the original. If the original design is unknown and cannot readily be determined, the owner should employ a traditional design which is compatible with the architectural style of the particular building to which the associated porch is planned, using appropriate materials and detailing.

With the background information proving the wooden one-story wraparound porch was a contributing component to the building, typically the HPRB today prefers wood to be used for staircases and steps when connecting into a historic wooden porch or deck to maintain a consistent design aesthetic. Trex has been allowed as a building material for porch and deck flooring, steps, and balustrades on new construction or modern porches and decks that have a limited visual impact. The stairs at 164 W. Valley Street can be clearly seen from Plumb Alley. The stairs are not original but replaced previously narrow set of stairs of the rear of the wooden one-story wraparound porch.



View of existing wooden stairs painted a dark blue color coming off the rear of the wooden one-story wraparound porch



The only item the HPRB is reviewing here, are the rear porch stairs and determining if the stairs connecting directly into a readily visible historic porch should remain wood or can be clad in Trex.

**REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

- A. **Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 164 W. Valley Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 164 W. Valley Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 164 W. Valley Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).



# Historic District Certificate of Appropriateness Application

Date: 06/08/2024

## Location of Property

Street Address: 164 VALLEY ST NW Parcel #: 012-1-61  
City, State, Zip: ABINGDON

## Applicant Information

Applicant Name: DORIS & KENNY SHUMAN Phone: 2766988882  
Mailing Address: 164 VALLEY ST NW Email: dorisshuman@gmail.com  
City, State, Zip: ABINGDON Relation: Property Owner

## Property Owner

Owner Name: DORIS & KENNY SHUMAN Phone: 2766988882  
Mailing Address: 164 VALLEY ST NW Email: dorisshuman@gmail.com  
City, State, Zip: ABINGDON Business:

## Project Information

|          |  |             |    |
|----------|--|-------------|----|
| Awning:  | No   | Foundation: | No |
| Chimney: | No   | Lighting:   | No |
| Cornice: | No   | Roof:       | No |
| Deck:    | Yes PLACING A TREX<br>VANEER TO EXISTING<br>STEPS IN THE BACK OF<br>THE HOUSE. NEW<br>CONSTRUCTION. PORCH IS<br>ALREADY TREX AND WILL<br>BE CONSISTENT WITH THE<br>COLOR. WILL JUST COVER<br>PAINTED AREA. | Windows:    | No |
| Doors:   | No   | Signs:      | No |
| Fencing: | No   |             |    |

Located in Old and Historic District: Yes

Site Plan for New Construction: N/A

Site Plan Location(s) of Proposed vs Current: N/A

Site Plan Callouts w/Alteration(s) and Material(s): N/A

Drawings for Alterations and/or New Construction: N/A

Drawings Contain Structures w/4 Elevations: N/A

Drawings Contain Landscape Features: N/A

Drawings Contain Dimensions: N/A

Drawings Contain Callouts Proposed vs Existing: N/A

Drawings Contain Callouts Material(s) and Color(s): N/A

Driveway/Parking/Paving: No

Gutter and Downspouts: No



**Applicant Signature**

I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.

DORIS CLENDENEN SHUMAN

06/08/2024

Name

Date

**Owner Affidavit**

Property Owners or their designee (e.g., Lessees) that are applying as the applicant need to sign the Owner Affidavit section as well as the Applicant section.

My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.

DORIS AND KENNY SHUMAN

06/08/2024

Property Owner

Date













## STAFF REPORT

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**TO:** ABINGDON HISTORIC PRESERVATION REVIEW BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR SIGNAGE

**PUBLICATION**

**DATE:** JUNE 26, 2024

**MEETING**

**DATE:** JULY 3, 2024

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

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**REQUEST:**

Jennifer Sumner of M&M Signs Inc. (Applicant) and Patrick Callebs (Owner) has requested approval of a Certificate of Appropriateness for several pieces of signage.

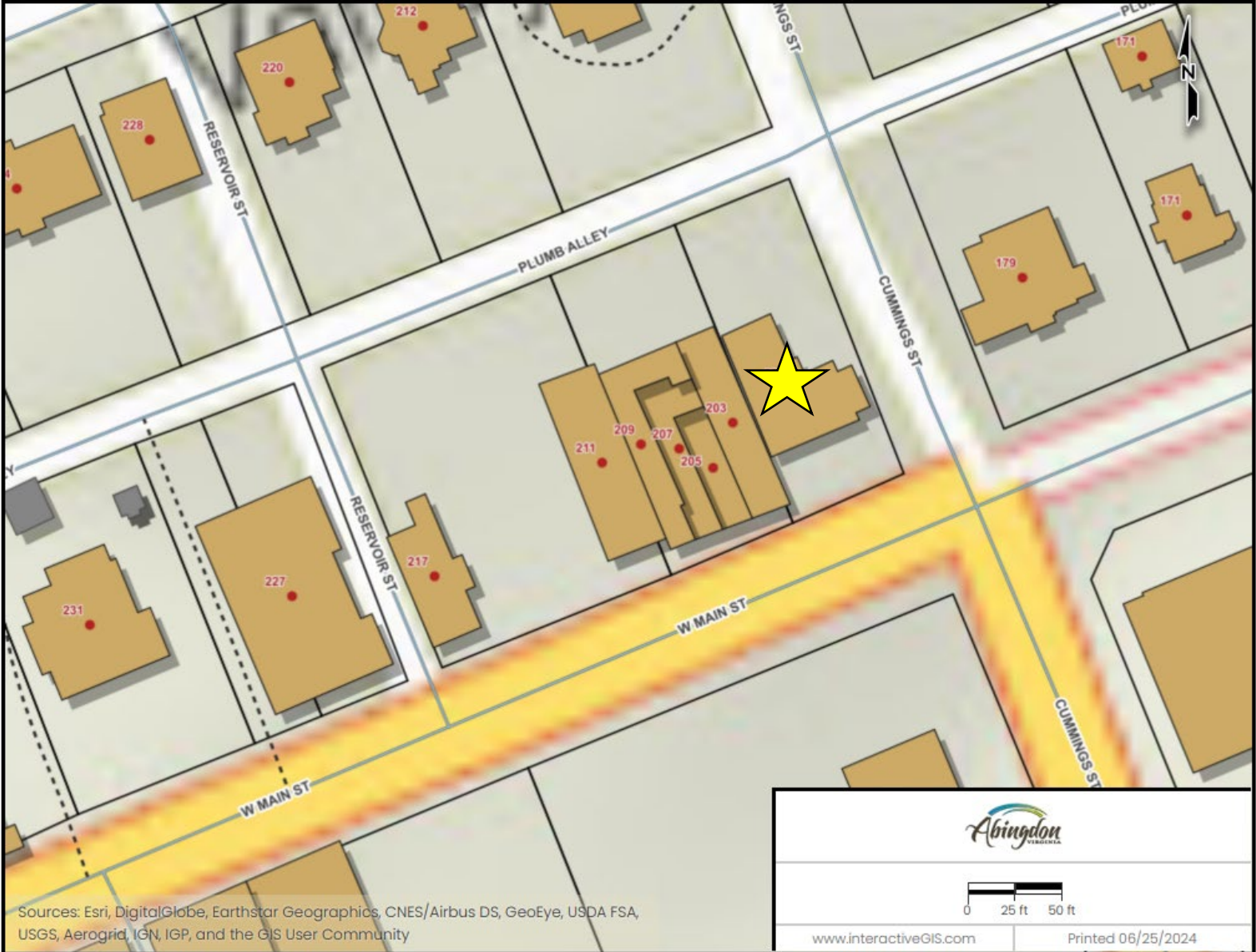
- Two 28 in. x 18 in. CNC carved HDU signs attached to the existing wooden freestanding sign structure located in the Southeast corner of the lot.
- One 40 in. x 12 in. CNC carved HDU sign hung from the existing Callebs Realty freestanding CNC carved HDU sign located in the Northeast corner of the lot.
- One 48 in. x 12 in. CNC carved HDU wall sign attached to the primary (South) elevation between the eastern half first floor and second floor windows.
- Two 12 in. x 8 in. CNC carved HDU wall sign attached to the secondary (North) elevation adjacent to a rear door leading out into a brick paver driveway.

The property is located at 201 W. Main Street (Parcel 012-1-73).



The property is within the Old and Historic Zoning District, Sub-District 1 (Civic/Business-Focused), the Entrance Corridor, and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.

VICINITY MAP:





**ENTRANCE CORRIDOR FRONTAGE:**



View of E. Main Street looking East



View of E. Main Street looking West





View of Cummings Street looking North



View of Cummings Street looking South





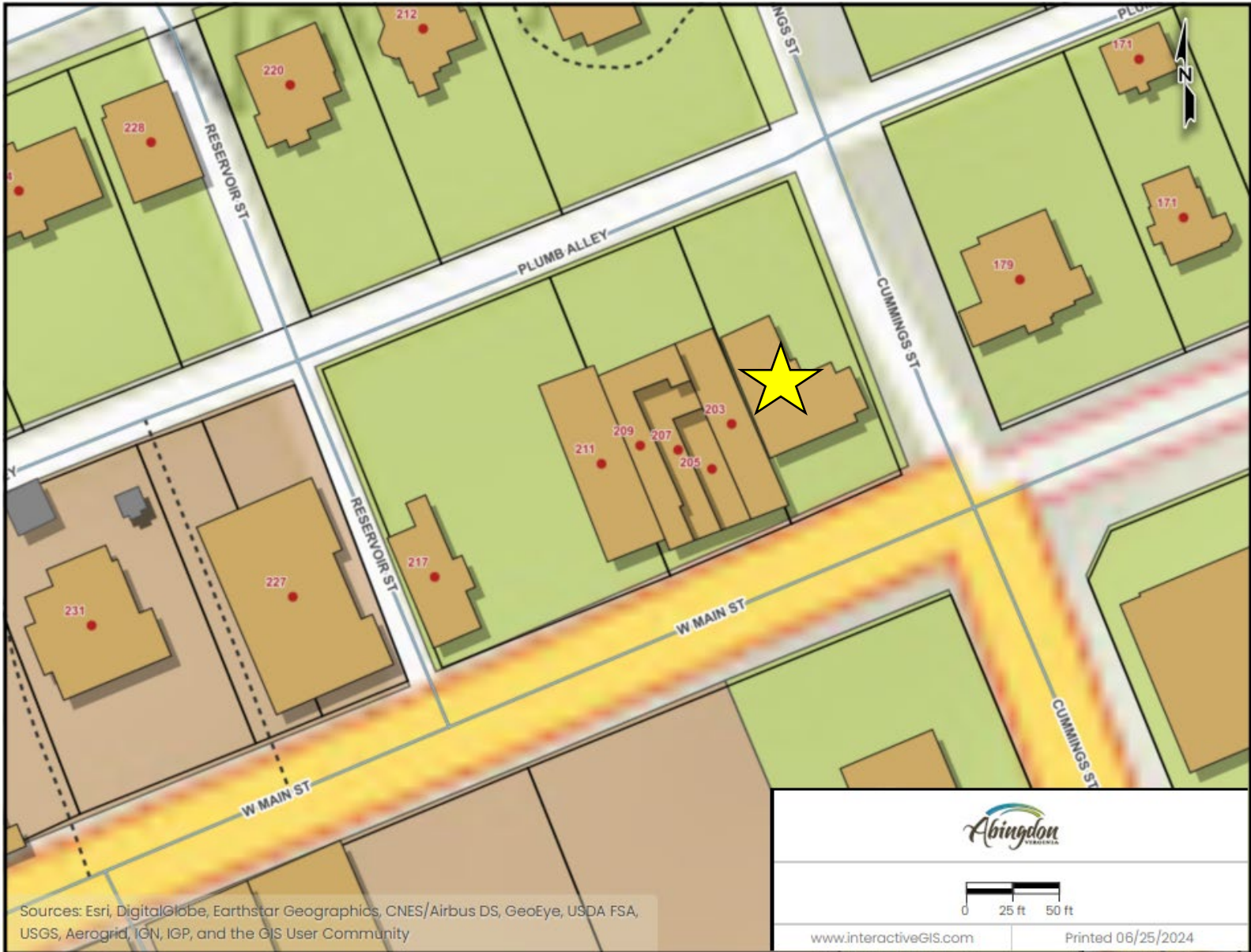
View of Plumb Alley looking East



View of Plumb Alley looking West



ZONING MAP:





**STAFF FINDINGS:**

1. **Location.** The Subject Property contains approximately 0.300 acres and is legally described as GRIMM LOT ACR .30 (Tax Map No. 012-1-73). The parcel is located in the Old and Historic Zoning District, Sub-District 1 (Civic/Business-Focused).
2. **Background.** Patrick and Patricia Callebs are the current owners of the property with Callebs Realty’s offices located within the building since 1994.

According to the Town of Abingdon Zoning Code 44-6-1-5, a financial institution is permitted in the Old & Historic District, Sub-District 1 (Civic/Business-Focused) a Special Use Permit was approved by the Planning Commission and Town Council. On June 10, 2024, the Planning Commission recommended approval of the Special Use Permit, and the Town Council approved the Special Use Permit on June 20, 2024.

3. **Access.** Access to the site will continue to be West Main Street and Plumb Alley.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned Old & Historic, Sub-District 1 (Civic/Business-Focused) and Sub-District 2 (Residential-Focused) on all sides.

5. **Applicable Requirements of the Zoning Ordinance.**

**General OH Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

**General Sign Standards.**

*21-2-2. Application and permit.*

*(a) Sign permit required.*

*(1) No sign shall be erected, installed, altered, modified, refaced, rehung, or replaced, without obtaining a permit pursuant to this article, except as otherwise provided in this article.*

***(2) Signs within the Town's old and historic district shall conform to the requirements of such district and require a certificate of appropriateness issued by the board of architectural review.***



***(3) For signs within the Town's entrance corridor, such permit shall conform to the requirements of such district and require a permit issued by the zoning administrator and/or Town Manager.***

*(4) No permit shall be issued by the zoning administrator except upon a determination that a proposed sign is in conformity with the requirements of this article and, where applicable, in conformity with the requirements of an approved site plan for the property upon which the sign is to be placed. Appeals from decisions of the administrator shall be taken to the Town's Board of Zoning.*

*(5) After the issuance of an approved sign permit, the applicant may install and display the approved sign(s). Once installed, the administrator may inspect the sign(s) for conformance with the approved sign permit and this ordinance.*

*(b) An application for such a permit shall:*

*(1) Specify the type of sign to be constructed and the zoning district in which this sign is to be located.*

*(2) Be accompanied with plans including a sketch of the property indicating the lot frontage.*

*(3) Indicate the square footage and location of all existing signs on the property.*

*(4) The area, size, structure, design, location, lighting, and materials for the sign.*

*(5) Contain written consent of the owner or lessee of the land or building upon which the sign is to be erected.*

***21-5-1. Standards.***

*(a) Any sign displayed in the Town of Abingdon, shall comply with:*

*(1) All provisions of this article;*



(2) *All applicable provisions of the Uniform Statewide Building Code and amendments thereto; and,*

(3) *All state and federal regulations pertaining to the display of signage.*

*21-5-2. Sign area calculations.*

*(a) The following method shall be utilized in the calculations of sign area:*

*(1) The sign area permitted under this article is determined by measuring the entire face of the sign including any wall work incidental to its decoration but excluding support elements for the sole purpose of supporting the sign.*

*(2) For signs that are regular polygons or circles, the area shall be calculated by the mathematical formula for that polygon or circle. For signs that are not regular polygons or circles, the sign area shall be calculated using the area within up to three rectangles that enclose the sign face.*

*(3) The surface area of any sign made up only of individual letters or figures shall include the space between such letters or figures.*

*(4) Whenever one sign contains information on both sides, sign area shall be calculated based on the largest sign face. Sides are not totaled.*

*21-5-3. Minimum setback. The minimum setback from any right-of-way, unless otherwise specified, is half the height of the sign.*

*21-6-1. District regulations.*

*(a) The following requirements shall apply in the designated district, as appropriate, to permitted uses by right and special uses as may be permitted, subject to all other requirements of this ordinance.*

*(b) Sign area square footage requirements are provided per sign unless specified as a total. Total area is calculated as an aggregate of all signs of that type.*

*OH Old and Historic District.*

*(a) Signs within the OH district shall be subject to the Town of Abingdon Design Review Guidelines for the Old and Historic District, as amended, and require a certificate of appropriateness by the Board of*



*Architectural Review board.*

- (b) The board may approve the attachment or suspension of a sign from an existing freestanding or projecting sign or, in the case of a building on a site with more than one street frontage or more than one principal entrance, one additional freestanding or projecting sign per additional street frontage or principal entrance, if the board determines that such an arrangement is in keeping with the architectural character of the property.*

### **Design Review Guidelines.**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

*42. Signs and Graphic Designs – Residential and Commercial Uses (The provisions of Article 21 of Abingdon’s Zoning Ordinance also apply to such signs and graphic designs).*

- a. Signs indicating current use (as opposed to signs designating historic significance) may be used only for commercial buildings, churches and bed and breakfast establishments.*
- b. Signs should be kept to a minimum, with **no more than two signs per building** or one sign per business, whichever is greater. **Multi-tenant signs are limited to one per building**, and all signage for that building should be located on said sign.*
- c. Signs should be appropriate to the size or location of the building. **Individual signs should not exceed 4 square feet**. Double-faced signs are permissible, and the size limitations will be calculated by measurement of a single face only. **Sign size restrictions do not apply to hotels, theaters, restaurants and churches**. Board approval as to the size of these signs is required and may be granted according to historic precedence.*
- d. Signs that are vintage 1945 or earlier (such as painted wall signs or those of metal and neon) should be preserved, maintained and repaired as needed. Accurate replications of signs (historic text excluded) which are established to have existed on the building in question may be permissible.*
- e. New signs should be fabricated to professional standards, out of traditional materials such as wood or polymer which closely replicates wood, with copper or bronze or other appropriate letters. Wood signs with sandblasted lettering may be appropriate. Signs of unfinished wood are not acceptable. The use of plywood is permitted so long as it is properly sealed from the*



*elements with all visible edges of the plywood concealed.*

*f. Appropriate logos or symbols may be used. Colors should be coordinated with the overall building colors and have lettering appropriate to the size of the sign and the architecture of the building.*

*g. In the case of commercial buildings, signs should be freestanding, affixed to the face of the building or otherwise placed at traditional sign locations. Signs for churches or bed and breakfast establishments may be freestanding or attached to the face of the building.*

***h. When mounted on masonry walls, signs should be anchored into the mortar, not the masonry.***

*Lighting should be concealed and should not use visible bulbs, flashing lights or luminous paints. Spot or up-lit lighting for signs is recommended, but they should not be backlit or internally lit.*

#### **STAFF FINDINGS:**

**The applicant proposes to install two freestanding signs and two wall signs. The background color will be a dark turquoise with a white border, lettering, and company design. All signs will be fabricated from CNC carved HDU.**

**When on site, staff observed Callebs Reality has two existing freestanding signs fabricated from CNC carved HDU. One freestanding sign is in the Southeast corner of the lot, whereas the second is in the Northeast corner of the lot.**

**Per the Design Guidelines.**

*42. Signs and Graphic Designs – Residential and Commercial Uses (The provisions of Article 21 of Abingdon’s Zoning Ordinance also apply to such signs and graphic designs).*

*e. New signs should be fabricated to professional standards, out of traditional materials such as wood or polymer which closely replicates wood, with copper or bronze or other appropriate letters. Wood signs with sandblasted lettering may be appropriate. Signs of unfinished wood are not acceptable. The use of plywood is permitted so long as it is properly sealed from the elements with all visible edges of the plywood concealed.*



The 28 in. x 18 in. equaling 2.33 sq. ft. signs to be attached to the existing wooden freestanding sign structure in the Southeast corner of the lot will be installed directly underneath the existing Callebs Realty CNC carved HDU signs, thus maintaining a consistent design aesthetic concerning signage placement on the wooden freestanding sign structure in the Southeast corner of the lot.



Signage to be attached to the existing freestanding sign structure in the Southeast corner of the lot

The 40 in. x 12 in. equaling 3.33 sq. ft. sign to be hung from the existing CNC carved Callebs Realty freestanding sign located in the Northeast corner of the lot will use the same hardware as the existing utilizes to hang from the existing wooden freestanding sign structure as seen in the rendering provided. Again, this maintains a consistent design aesthetic concerning signage placement.



Sign to be hung from the existing CNC carved Callebs Realty freestanding sign located in the Northeast corner of the lot





**The 48 in. x 12 in. equaling 4 sq. ft. wall sign to be attached to the existing brick Southeast facing façade. The wall sign will be CNC carved HDU as seen in the rendering provided. There are no existing wall signs attached to any part of the building.**



**There will be two 12 in. x 8 in. each equaling 0.67 sq. ft. wall signs to be attached to the existing brick Northeast facing façade. Each wall sign will be CNC carved HDU as seen in the rendering provided. There are no existing wall signs attached to any part of the building. A drive through will not be at this location.**



Based on the signage package submitted, the two proposed wall signs are found to be inappropriate according to the Design Guidelines and best preservation practices. When dealing with historic buildings, structures, or sites the least invasive measures should be taken when possible. The two proposed freestanding signs will not influence any part of the existing historic building, whereas the two wall signs require the historic building's exterior walls to be penetrated.

To comply with the Design Guideline requirements for signage and to execute best preservation practices only the two freestanding sign options are appropriate. The signs will be fabricated from CNC carved HDU to maintain a consistent aesthetic with the site's existing signage. Staff suggests incorporating the hours of operation into the 40 in. x 12 in. equaling 3.33 sq. ft. signage hung from the existing CNC carved Callebs Realty freestanding sign located in the Northeast corner of the lot. The proposed sign may be expanded to bring the total square footage of the signage to 4 sq. ft. as opposed to 3.33 sq. ft.

#### **REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

- A. **Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 201 W. Main Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 201 W. Main Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 201 W. Main Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).





# Historic District Certificate of Appropriateness Application

Date: 06/03/2024

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## Location of Property

|                   |                    |           |          |
|-------------------|--------------------|-----------|----------|
| Street Address:   | 201 W. Main St.    | Parcel #: | 012-1-73 |
| City, State, Zip: | Abingdon, VA 24210 |           |          |

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## Applicant Information

|                   |                                   |           |   |
|-------------------|-----------------------------------|-----------|---|
| Applicant Name:   | M&M Signs, Inc. - Jennifer Sumner | Phone:    | 336-352-4300                                    |
| Mailing Address:  | 1465 Ladonia Church Rd.           | Email:    | jennifer@mmsigns.com                            |
| City, State, Zip: | Mt. Airy, NC 27030                | Relation: | Other Sign Contractor for Skyline National Bank |

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## Property Owner

|                   |                    |           |                       |
|-------------------|--------------------|-----------|-----------------------|
| Owner Name:       | PATRICK D CALLEBS  | Phone:    |                       |
| Mailing Address:  | 201 W. Main St.    | Email:    |                       |
| City, State, Zip: | Abingdon, VA 24210 | Business: | Skyline National Bank |

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**Project Information**

|          |    |             |   |
|----------|----|-------------|---|
| Awning:  | No | Foundation: | No  |
| Chimney: | No | Lighting:   | No  |
| Cornice: | No | Roof:       | No  |
| Deck:    | No | Windows:    | No  |
| Doors:   | No | Signs:      | Yes (4)) signs and (2) plaques to manufactured and installed per the following scope: (2) "Skyline National Bank" 18"T x 28"W single-faced non-illuminated aluminum composite material signs with digitally printed graphics applied to the face that will be installed on the existing front yard sign/monument underneath "Callebs Realty" ., (1) "Skyline National Bank" 12"T x 40"W double-faced non-illuminated aluminum composite material sign with digitally printed graphics applied to the face that will be installed on the existing back parking lot/monument sign underneath "Callebs Realty" ., (1) "Skyline" 12"T x 48"W wall sign to be non-illuminated and include 3" deep white letters with a digitally printed background., (2) 8"T x 12"W singled-sided non-illuminated aluminum composite material plaques to be installed on either side of the back door. These include digitally printed graphics applied to the faces. The signs will have Lobby and Drive-Thru hours listed on (1) plaque as well as "Skyline National Bank" listed on the other plaque. The color schedule for the signs/plaques mentioned will include: PMS 5473C, Dark Gray, and White |
| Fencing: | No |             |   |

Located in Old and Historic District: Yes

Site Plan for New Construction: N/A

Site Plan Location(s) of Proposed vs Current: N/A

Site Plan Callouts w/Alteration(s) and Material(s): N/A

Drawings for Alterations and/or New Construction: Yes

Drawings Contain Structures w/4 Elevations: Yes

Drawings Contain Landscape Features: Yes

Drawings Contain Dimensions: Yes

Drawings Contain Callouts Proposed vs Existing: Yes

Drawings Contain Callouts Material(s) and Color(s): Yes

Driveway/Parking/Paving: No

Gutter and Downspouts: No



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**Applicant Signature**

I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.

\_\_\_\_\_  
Jennifer Sumner - Patrick Callebs

Name

\_\_\_\_\_  
06/03/2024

Date

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**Owner Affidavit**

Property Owners or their designee (e.g., Lessees) that are applying as the applicant need to sign the Owner Affidavit section as well as the Applicant section.

My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.

\_\_\_\_\_  
Patrick Callebs

Property Owner

\_\_\_\_\_  
06/03/2024

Date





SIGN PACKAGE

2101 W. Main St  
Abingdon, VA 24210





|           |              |  |
|-----------|--------------|--|
| Location: | Abingdon, VA | Color Schedule:<br>PMS 5473C<br>Dark Gray<br>White |
| Drawn By: | A. Love      |  |
| Date:     | 5/9/24       |  |
|           |              |  |

2 S/F ACM panels with digitally printed graphics applied to face to be manufactured and installed.







|           |              |  |
|-----------|--------------|--|
| Location: | Abingdon, VA |  |
| Drawn By: | A. Love      |  |
| Date:     | 5/9/24       |  |

|                 |
|-----------------|
| Color Schedule: |
| PMS 5473C       |
| Dark Gray       |
| White           |
|                 |
|                 |
|                 |

1 D/F ACM panel with digitally printed graphics applied to face to be manufactured and installed.







|           |              |  |                 |
|-----------|--------------|--|-----------------|
| Location: | Abingdon, VA |  | Color Schedule: |
| Drawn By: | A. Love      |  | PMS 5473C       |
| Date:     | 5/9/24       |  | Dark Gray       |
|           |              |  | White           |
|           |              |  |                 |
|           |              |  |                 |

1 S/F ACM panel with digitally printed graphics applied to face to be manufactured and installed.







|           |              |  |                 |
|-----------|--------------|--|-----------------|
| Location: | Abingdon, VA |  | Color Schedule: |
| Drawn By: | A. Love      |  | PMS 5473C       |
| Date:     | 5/9/24       |  | Dark Gray       |
|           |              |  | White           |
|           |              |  |                 |
|           |              |  |                 |

2 Plaques to be manufactured and installed. To feature company logo and branch hours.





Qty 1



Qty 2



Qty 1



Location: Abingdon, VA

Drawn By: A. Love

Date: 5/9/24

Color Schedule:  
 PMS 5473C  
 Dark Gray  
 White

Sizing and quantity above for ACM panels to be manufactured and installed.







## Secondary Option

|           |              |  |
|-----------|--------------|--|
| Location: | Abingdon, VA | Color Schedule:<br>PMS 5473C<br>Dark Gray<br>White |
| Drawn By: | A. Love      |  |
| Date:     | 5/9/24       |  |
|           |              |  |

Option to have main wall sign be Non-illuminated 3" deep letters.  
 To have digitally printed background with white letters.







|           |              |                 |
|-----------|--------------|-----------------|
| Location: | Abingdon, VA | Color Schedule: |
| Drawn By: | A. Love      | PMS 5473C       |
| Date:     | 5/9/24       | Dark Gray       |
|           |              | White           |
|           |              |                 |
|           |              |                 |

1 Each of plaques shown above to be manufactured and installed.







## STAFF REPORT

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**TO:** ABINGDON HISTORIC PRESERVATION REVIEW BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR ENCLOSURE OF REAR ELL

**PUBLICATION**

**DATE:** JUNE 26, 2024

**MEETING**

**DATE:** JULY 3, 2024

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

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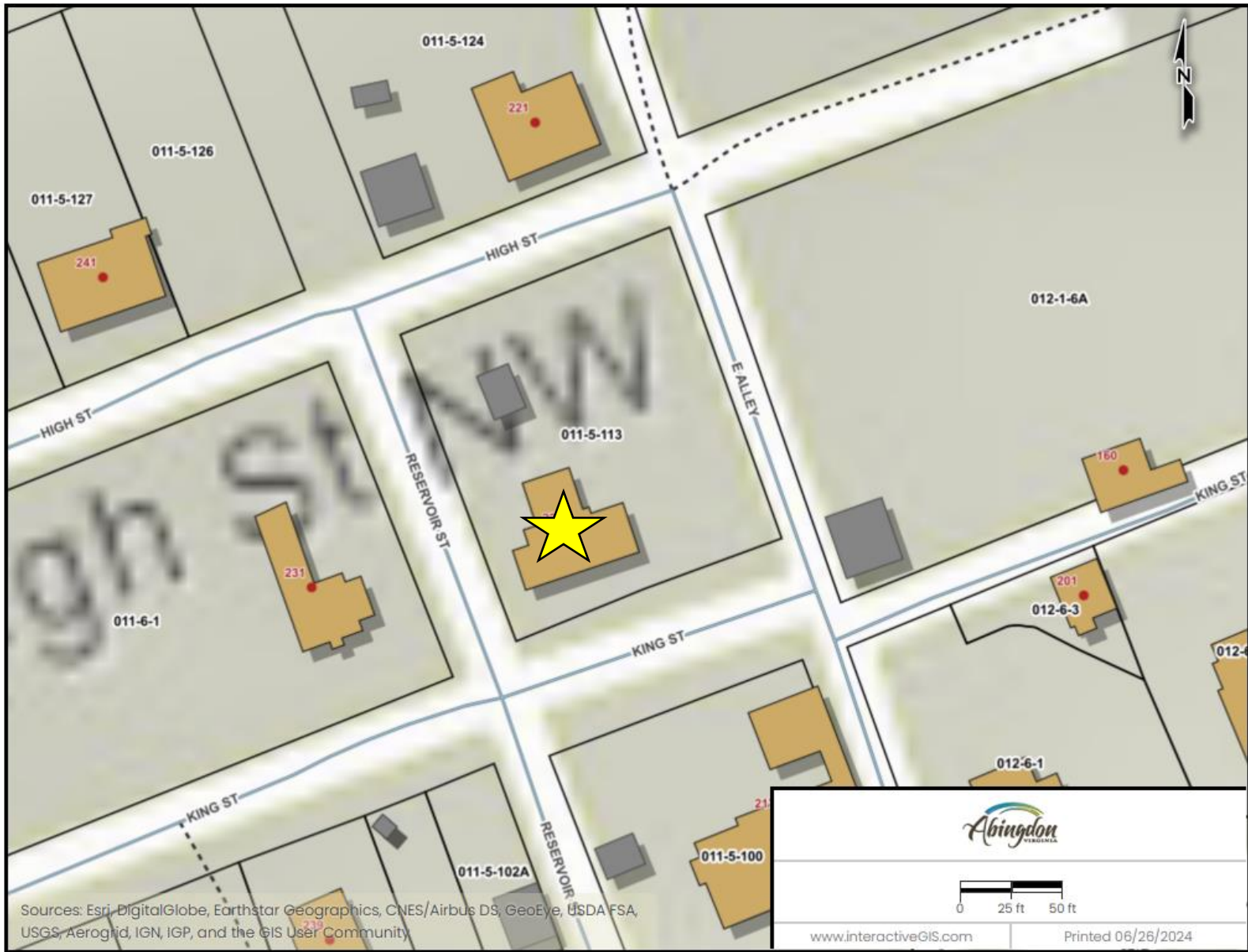
**REQUEST:**

Jerome Maddock (Owner) and Trystan Martin of Bundy Architecture & Engineering (Representative) has requested approval of a Certificate of Appropriateness for enclosure and exterior changes to the rear ell extending North towards High Street. The property is located at 223 King Street (Parcel 011-5-113).

The property is within the Old and Historic Zoning District, Sub-District 2 (Residential-Focused) and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.



VICINITY MAP:





**ENTRANCE CORRIDOR FRONTAGE:**



View of King Street looking East



View of King Street looking West





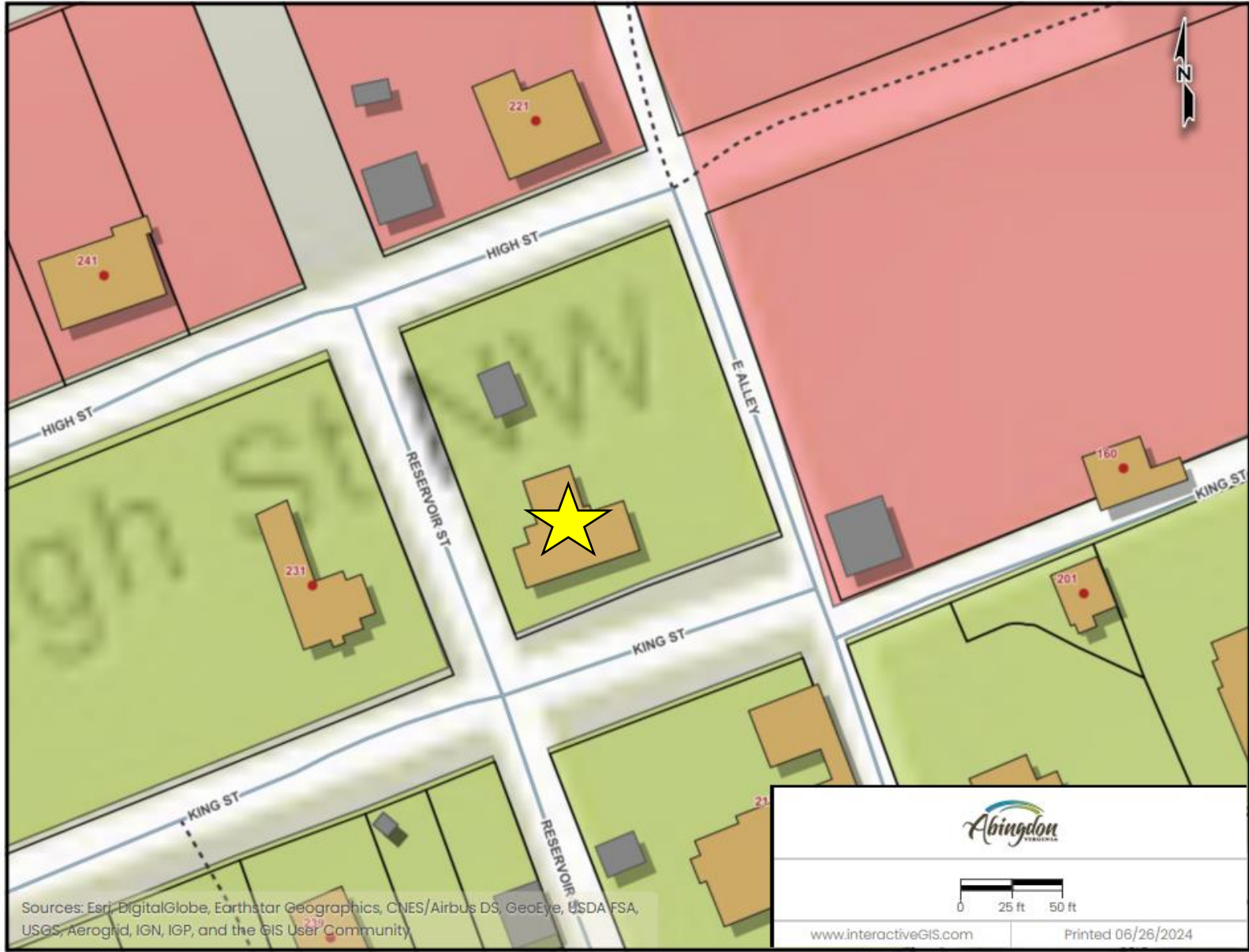
View of East Alley looking North



View of East Alley looking South



**ZONING MAP:**

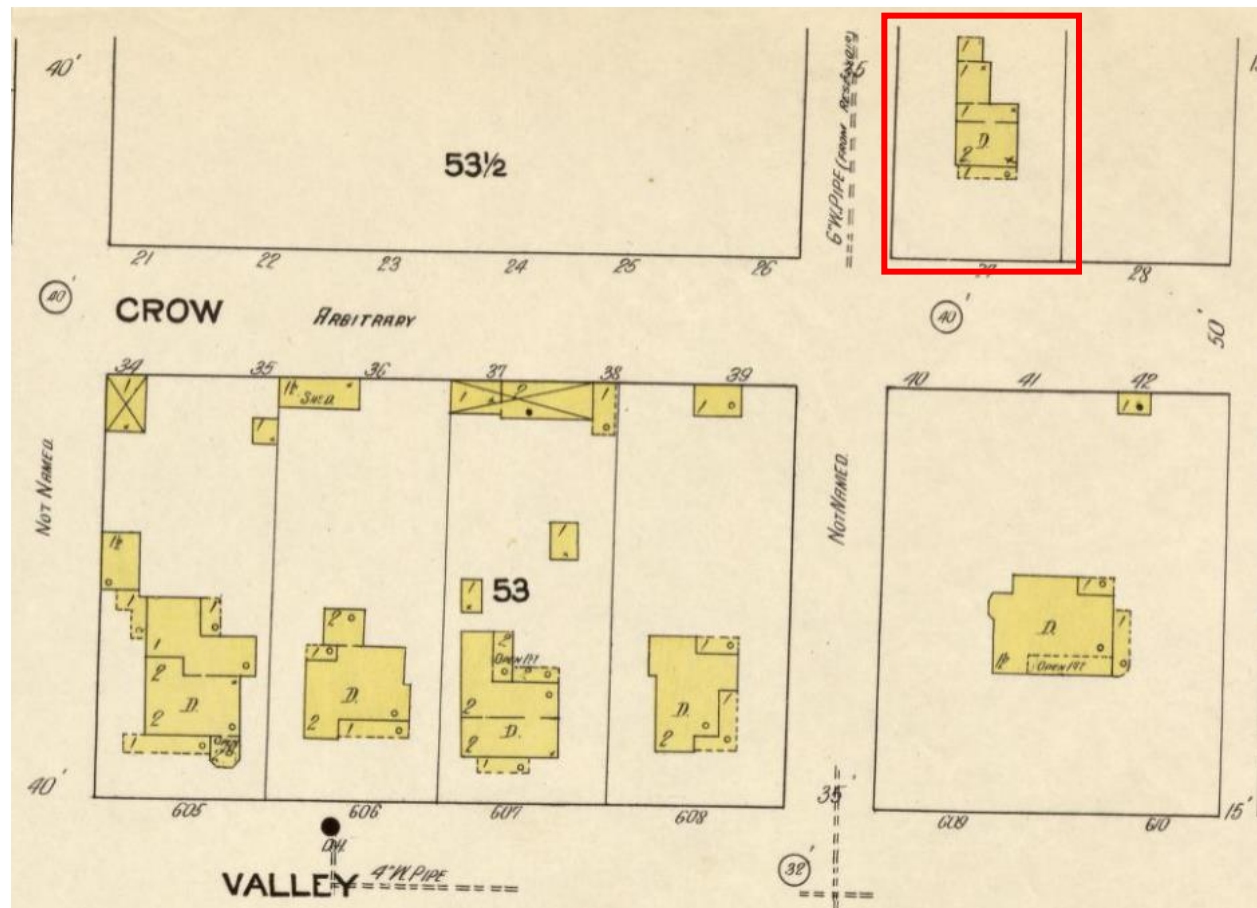




**STAFF FINDINGS:**

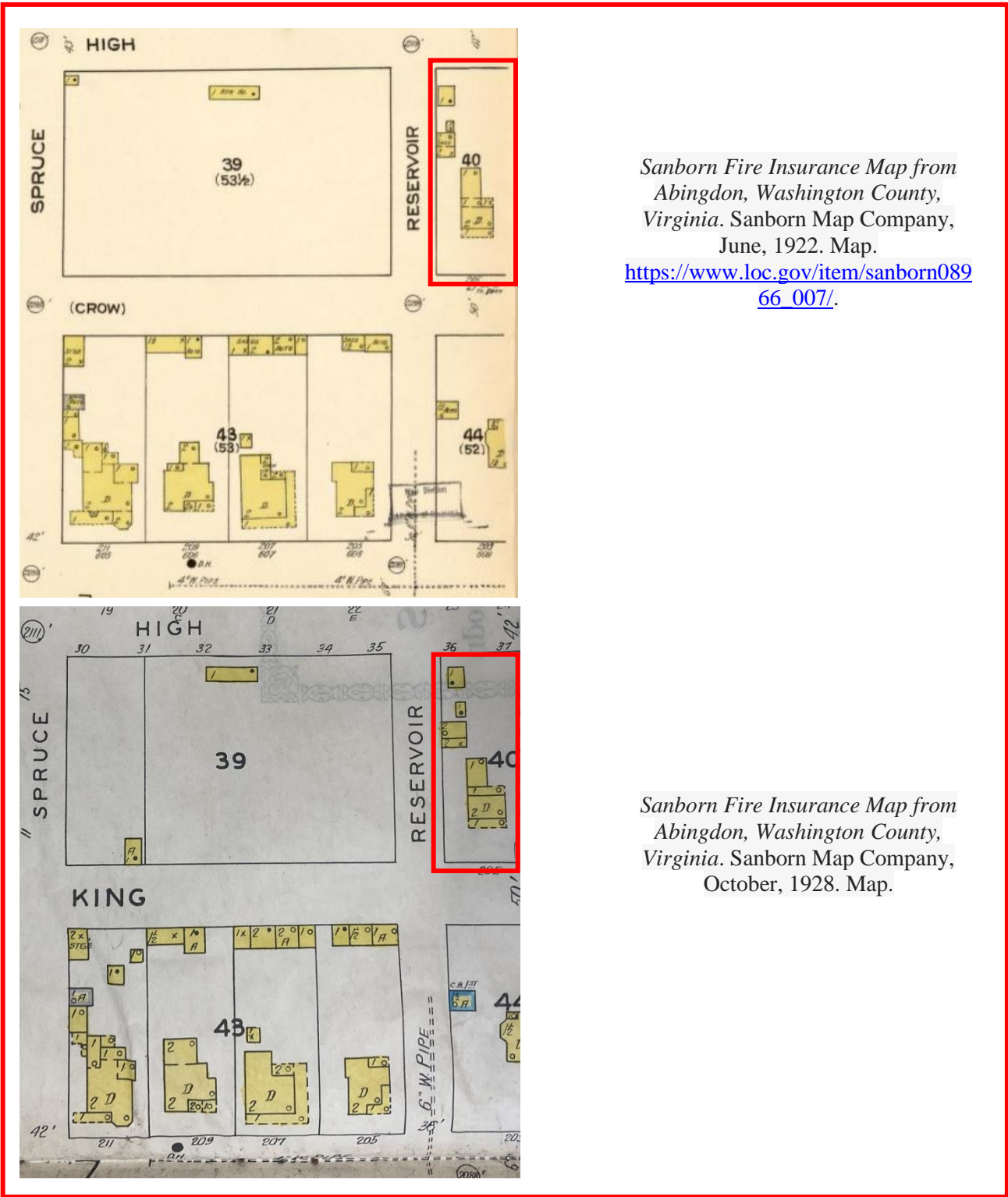
1. **Location.** The Subject Property contains approximately 0.500 acres and is legally described as 113 & 114 KING ST (Tax Map No. 011-5-113). The parcel is located in the Old and Historic Zoning District, Sub-District 2 (Residential-Focused).
2. **Background.** According to the Department of Historic Resources (DHR) VCRIS database 223 King Street was built around 1800. The two-story, two-bay building is built in a vernacular style with Federal style architectural features. The building possesses moderate architectural integrity, however several windows have been replaced with vinyl and the presumably wooden clapboards have been covered with vinyl siding.

The below Sanborn Fire Insurance Maps below are from 1913, 1922, and 1928.



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, March, 1913. Map. [https://www.loc.gov/item/sanborn08966\\_006/](https://www.loc.gov/item/sanborn08966_006/).





Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, June, 1922. Map.

[https://www.loc.gov/item/sanborn08966\\_007/](https://www.loc.gov/item/sanborn08966_007/).

Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, October, 1928. Map.



3. **Access.** Access to the site will be from King Street.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned Old & Historic, Sub-District 2 (Residential-Focused) on all sides.

5. **Applicable Requirements of the Zoning Ordinance.**

**Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

**Design Review Guidelines**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

19. *Gutters and Downspouts.*

- a. *In order to prevent water damage, gutters and downspouts should be designed to channel the water at least 4 to 6 feet from the building through the use of downspout extensions and splash blocks.*
- b. *When installed, gutters and downspouts should not result in the removal of existing eave features and should be located away from significant architectural features of the associated building. Gutter straps should be nailed under and not on top of the roofing material.*
- c. *Boxed or built-in gutters and downspouts should not be replaced but repaired as needed, adhering to the original design features and using original materials whenever possible.*
- d. *Metal gutters and downspouts (other than copper or prefinished metal) should be maintained by painting all surfaces, including the inside of the gutters.*
- e. *Hang-on type gutters and downspouts should be of painted metal or copper. Gutters should be half-round rather than “K” or ogee unless evidence indicates that “K” or Ogee is appropriate to the period, comparable style and age of structure. Downspouts should be round in cross section.*

32. *Recommendations for Paint and Paint Colors.*

- a. *Any owner wishing to repaint a building in a paint scheme which duplicates the existing paint colors may do so by securing a minor action permit from the Zoning Administrator.*



- b. All paint should be of high quality to provide a long lasting finish.*
- c. In most instances unpainted masonry should be left unpainted. See Guideline # 24.*
- d. Paint colors should be appropriate for the building's architectural style and design. The HPRB can recommend colors appropriate to particular architectural styles.*

*45. Windows.*

- a. Windows that are original should be preserved in their original location, size and design and with their original materials and number of panes (glass lights).*
- b. Unless they are located out of the public view, windows that are not original should not be added to the primary or secondary facade of a building.*
- c. Windows should be repaired rather than replaced; an appropriate method of repair is by the use of wood epoxy. However, if replacement is necessary the replacement window should match the window being replaced in both material and design. Wood windows clad in vinyl or pre-finished aluminum are acceptable where appropriate to the architectural style of the building if they are located at the rear or sides of buildings and are not readily in the public view.*
- d. Original windows of steel or aluminum should be repaired, but if repair is not feasible, replaced with new windows appropriate to the period and style of the building.*
- e. New windows should have raised muntins visible on the outside of the glass surface. True divided-light muntins are preferred, but only if their cross-section profile is appropriate to the architectural style of the building in both size and shape. Properly sized simulated divided lights with muntins permanently attached to the exterior face of the window are acceptable.*

*47. Screen, Storm and Security Windows.*

- a. Screens should be correctly sized to fit the window openings, including openings for arched windows.*
- b. Screens should be constructed of either wood or baked-on enamel or anodized aluminum and designed to fit within the window frames without overlap. Screen window panels should be of either a full view design or have the meeting rail match that of the window behind it.*
- c. Preferably, storm windows should be of wood but aluminum storm windows of full-view design with a baked-on enamel or anodized finish are acceptable. Interior functioning storm windows are recommended.*
- d. Storm windows should likewise be sized and shaped to fit their respective window openings.*



- e. *Storm windows should be of full-view design or with central meeting rails at the same location as that of the underlying windows.*
- f. *Storm windows with built-in lower screens are acceptable.*

49. *Wood Siding and Shingles.*

- a. *Wood siding that is original to a building should be repaired rather than replaced. However, if replacement is necessary, the siding should be replaced with new siding to match the original siding in size, placement and design. Replacement shingles should likewise match the original shingles in size, placement and design.*
- b. *Wood siding original to a building should not be concealed beneath synthetic materials such as vinyl, masonite or aluminum. Similarly, it should not be concealed beneath wood based materials such as particle board, gypsum-board or press board .*
- c. *Synthetic sidings such as aluminum, asbestos or vinyl should be removed from wood siding, and the wood siding repaired to original appearance, caulked and painted. If the “ghosts” or outlines of decorative missing features are revealed by the removal of the synthetic siding, the missing features should either be replicated and reinstalled or recorded through photographs or drawings for future replication.*
- d. *For weather protection, insulation may be added so long as the insulation does not alter the siding.*
- e. *Asbestos shingles which are original to a building should be kept stained or painted. If asbestos shingle siding has deteriorated or otherwise poses a health hazard, it may be removed and replaced with wood or other permitted siding. Removal of asbestos siding should follow applicable state and federal hazardous material guidelines.*

**STAFF FINDINGS:**

**The applicant proposes to enclose and add four windows and a door to the rear ell extending North towards High Street.**

**First, the existing rear ell is enclosed on three sides (North, West, and South elevations) the East elevation is not. Based on the 1913, 1922, and 1928 Sanborn Fire Insurance Maps, the existing rear ell appears to have been altered. Additionally, a shed roof extends East towards East Alley representing a possible early alteration to the rear ell’s footprint.**

**Underneath the shed roof extension on the back wall is a six-over-six prefinished white vinyl window. To the right of the six-over-six prefinished white vinyl window is a single leaf wooden door painted white with a stained glass window in the door’s top half. A metal screen door is installed in front of the wooden door. Exterior wall cladding for the entire building**



is prefinished yellow vinyl siding. Vinyl siding was installed in 1988 according to an inventory of photographs taken in the 1980's. Originally the building had wooden clapboards, of an unknown profile. The applicant is now requesting traditional LP lap siding painted SW1668 "Pineapple Cream" will be used to clad the East elevation of the rear ell, thus enclosing this portion of the building.

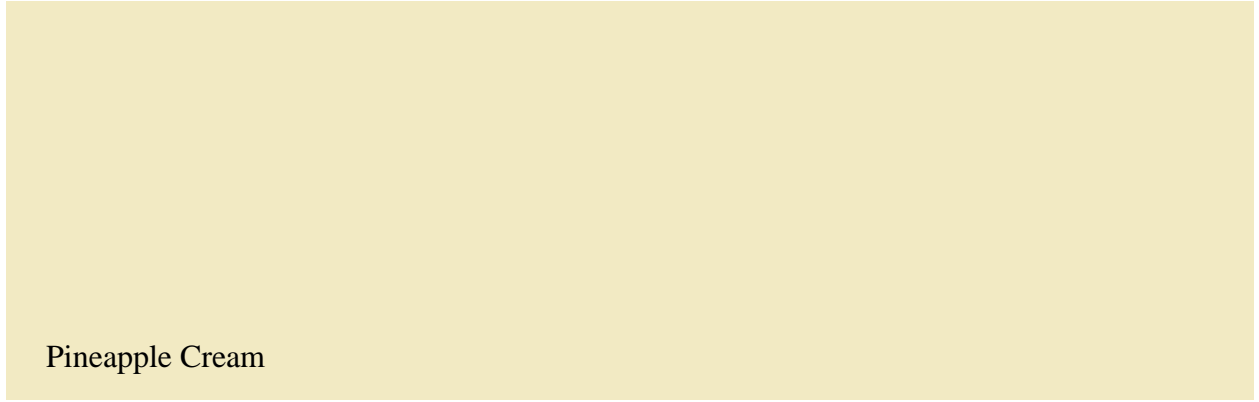


View of East elevation of rear ell extending North toward High Street



View of Northeast elevation of rear ell extending North toward High Street





Pineapple Cream

Proposed color of traditional LP lap siding

**Second, once enclosed three windows and one door opening will be established on the East elevation of the rear ell. As shown in the rendering below a 36 ¼ in. wide x 80 ½ in. tall x 1 ¾ in. thick wooden door painted Benjamin Moore “Newburyport Blue” will be slightly off centered. In total the proposed wooden door will have 15 tempered glass panes. The door proposed matches the existing front door in design and material.**



Newburyport Blue

Proposed color for proposed wooden 15 pan tempered glass door

**To the right of the proposed off centered wooden door will be two 30 in. wide x 54 in. tall wooden painted white six-over-six double hung sash windows. To the left of the proposed off centered door is one 30 in. wide x 54 in. tall wooden painted white six-over-six double hung sash window. According to the specifications for the windows the grill type is “grilles-between-the-glass”. The grills, otherwise known as muntins, cannot be placed between glass panes, muntins must be applied to the outside of all proposed windows and the proposed door.**





Rendering of rear ell East elevation



Color rendering of finished project, door shown is not the proposed door

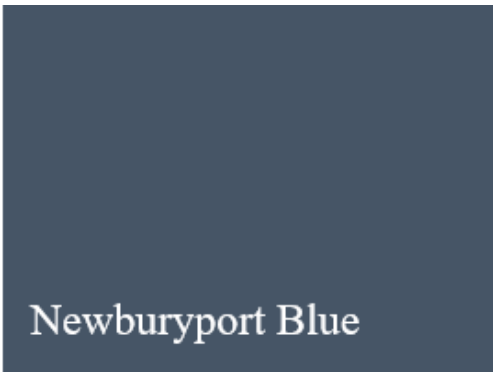




Proposed door

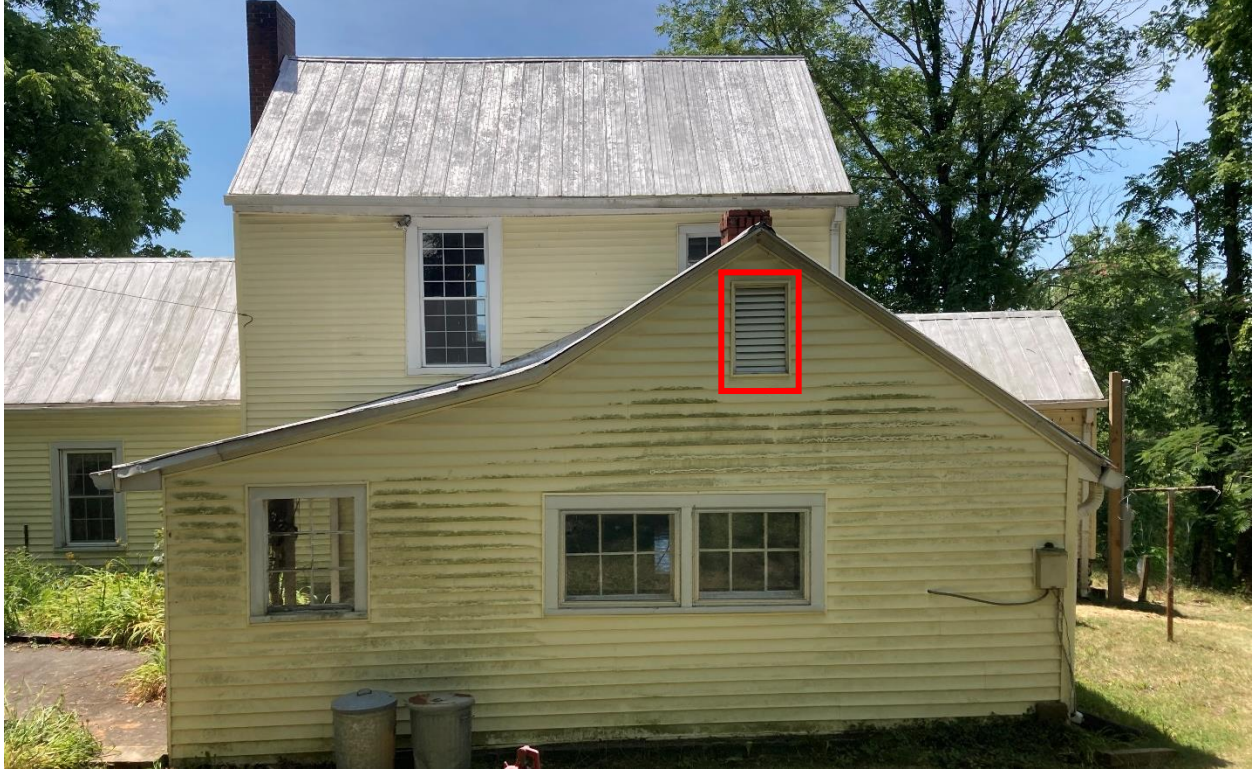


Proposed window





On the North elevation of the rear ell is vent near the peak of the gable roof. The vent opening will remain the same, but a 6 pane wooden painted white window will installed in place of the metal vent as shown in the rendering provided. The grills, otherwise known as muntins, cannot be placed between glass panes. The muntins must be located on the outside of the window.



Existing North elevation



Proposed North elevation window location



**Third, all gutters attached to the building are aluminum prefinished white K-style with rectangular downspouts. Based on the date of construction half round gutters and round downspouts are the historically appropriate gutter and downspout type. The applicant has proposed to replace all existing aluminum prefinished white K-style gutters and rectangular downspouts with aluminum prefinished white 5 in. half round gutters and round downspouts.**

**Per the Design Guidelines.**

*19. Gutters and Downspouts.*

- b. When installed, gutters and downspouts should not result in the removal of existing eave features and should be located away from significant architectural features of the associated building. Gutter straps should be nailed under and not on top of the roofing material.*

**REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

- A. Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 223 King Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 223 King Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 223 King Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).





# Historic District Certificate of Appropriateness Application

Date: 06/05/2024

## Location of Property

Street Address: 223 King St NW Parcel #: 011-5-113  
 City, State, Zip: Abingdon, VA 24210

## Applicant Information

Applicant Name: Trystan Martin Phone: 276-628-1067  
 Mailing Address: 190 E Main St. Email: tmartin@bundyae.com  
 City, State, Zip: Abingdon, VA 24210 Relation: Other Architect

## Property Owner

Owner Name: Jerome Maddock Phone: 804-852-3836  
 Mailing Address: 223 King St. NW Email:  
 City, State, Zip: Abingdon, VA 24210 Business:

## Project Information

|          |  |             |   |
|----------|--|-------------|---|
| Awning:  | No   | Foundation: | No  |
| Chimney: | No   | Lighting:   | No  |
| Cornice: | No   | Roof:       | No  |
| Deck:    | No   | Windows:    | Yes Three windows to be added to new mudroom wall, wood framed double hung windows, non tempered glass, painted white to match existing windows, and all three windows to be 2'6"x4'6". |
| Doors:   | Yes New door to be added at back entrance with new mudroom. Prairie style wood door, paint color will be white to match existing doors, and be 3'0"x6'8" | Signs:      | No  |
| Fencing: | No   |             |   |

Located in Old and Historic District: Yes

Site Plan for New Construction: N/A

Site Plan Location(s) of Proposed vs Current:

Site Plan Callouts w/Alteration(s) and Material(s):

Drawings for Alterations and/or New Construction: Yes

Drawings Contain Structures w/4 Elevations: Yes

Drawings Contain Landscape Features: N/A

Drawings Contain Dimensions: Yes

Drawings Contain Callouts Proposed vs Existing: Yes

Drawings Contain Callouts Material(s) and Color(s): Yes

Driveway/Parking/Paving: No

Gutter and Downspouts: No



**Applicant Signature**

I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.

\_\_\_\_\_  
Trystan Martin  
Name

\_\_\_\_\_  
06/05/2024  
Date

**Owner Affidavit**

Property Owners or their designee (e.g., Lessees) that are applying as the applicant need to sign the Owner Affidavit section as well as the Applicant section.

My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.

\_\_\_\_\_  
Jerome Maddock  
Property Owner

\_\_\_\_\_  
06/05/2024  
Date

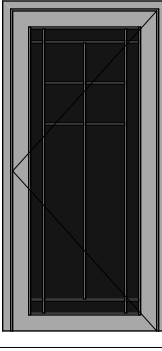
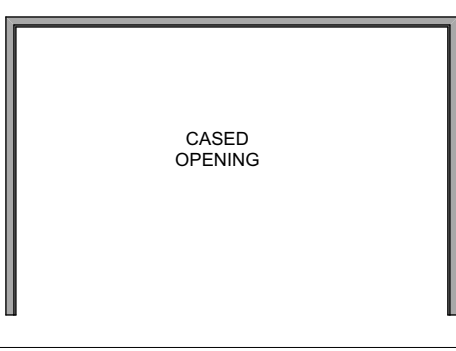
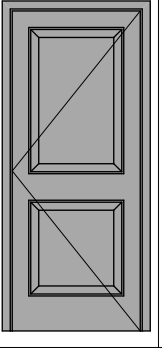
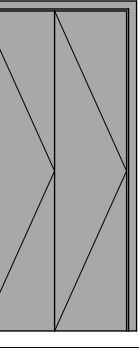


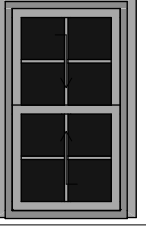




| DOOR SCHEDULE  |        |        |        |        |
|----------------|--------|--------|--------|--------|
| ID             | D-01   | D-02   | D-03   | D-04   |
| Quantity       | 1      | 1      | 1      | 1      |
| NOMINAL WIDTH  | 3'-0"  | 9'-0"  | 2'-8"  | 3'-0"  |
| NOMINAL HEIGHT | 6'-8"  | 6'-0"  | 6'-8"  | 6'-8"  |
| LEAF THICKNESS | 1 3/4" | 1.750" | 1 3/4" | 1 3/4" |

|           |   |   |  |   |
|-----------|---|---|--|---|
| ELEVATION |  |  |  |  |
|           | CASED OPENING   |   |  |   |

| WINDOW SCHEDULE                   |   |
|-----------------------------------|---|
| ID                                | W-01  |
| Quantity                          | 3   |
| NOMINAL WIDTH                     | 2'-6"   |
| NOMINAL HEIGHT                    | 4'-6"   |
| TEMPERED <input type="checkbox"/> |   |
| View from Opening Side            |  |

**2018 VECC PRESCRIPTIVE COMPLIANCE MIN. REQUIREMENTS**  
 FENESTRATION U-FACTOR 0.32  
 GLAZED FENESTRATION SHGC 0.40  
 CEILING R-VALUE 49  
 WALLS R-15  
 FLOOR R-19

**LOADS:**  
 WIND: 105 MPH  
 FLOOR LIVE: 40 PSF  
 ROOF LIVE: 20 PSF  
 GROUND SNOW: 15 PSF

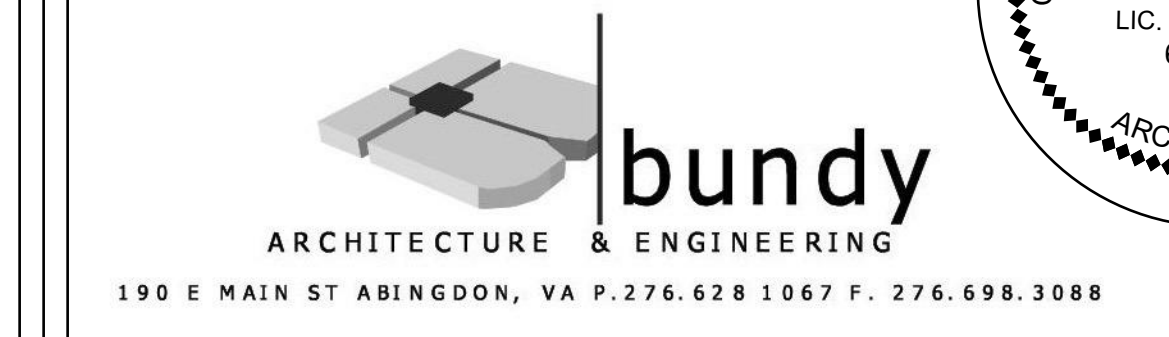
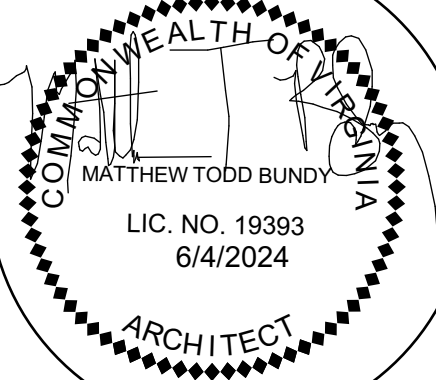
**GENERAL NOTES (RESIDENTIAL):**

1. ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.
2. FOOTINGS SHALL BEAR ON DRY, UNDISTURBED NATIVE SOIL WITH 1500 PSF BEARING CAPACITY.
3. INSTALLATION OF ALL PRODUCTS SHALL COMPLY WITH THE MANUFACTURER RECOMMENDATIONS OR SPECIFICATIONS.
4. ALL FRAMING SHALL BE NO. 2 S-P-F UNLESS NOTED OTHERWISE. LVL'S SHALL BE 1.8 E MIN.
5. ALL REINFORCING STEEL SHALL BE GRADE 40 OR BETTER DEFORMED BARS.
6. ALL CONCRETE SHALL BE 3000 PSI 28 DAY STRENGTH EXCEPT SLABS SHALL BE 4000 PSI 28 DAY STRENGTH.
7. ALL BASEMENT WALLS RETAINING UNBALACED SOIL SHALL BE BRACED Laterally INTO THE FLOOR FRAMING SYSTEM.
8. ALL BEDROOMS SHALL HAVE APPROVED EGRESS WINDOWS.
9. ALL COLUMNS SHALL HAVE CONTINUOUS SOLID BEARING TO THE FOOTINGS.
10. STAIRS SHALL HAVE CONTINUOUS HANDRAILS ON ONE SIDE MINIMUM BETWEEN 34" AND 38" HEIGHT AND SHALL NOT PROJECT MORE THAN 4 1/2". HANDRAIL ADJACENT TO WALLS SHALL HAVE 1 1/2" CLEARANCE. HANDRAIL GRIP SIZE SHALL COMPLY WITH R311.7.8.5
11. STAIRS SHALL HAVE CONTINUOUS HANDRAILS ON ONE SIDE MINIMUM BETWEEN 34" AND 38" HEIGHT AND SHALL NOT PROJECT MORE THAN 4 1/2". HANDRAIL ADJACENT TO WALLS SHALL HAVE 1 1/2" CLEARANCE. HANDRAIL GRIP SIZE SHALL COMPLY WITH R311.7.8.5
12. Termite Protection shall be by one, or a combination, of the following methods:
  1. Chemical termiticide treatment in accordance with Section R318.2.
  2. Termite-baiting system installed and maintained in accordance with the label.
  3. Pressure-preservative-treated wood in accordance with the provisions of Section R317.1.
  4. Naturally durable termite-resistant wood.
  5. Physical barriers in accordance with Section R318.3 and used in locations as specified in Section R317.1.

- Smoke alarms shall be listed in accordance with UL 217.
  - S.D. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034.
- Smoke alarms shall be installed in the following locations:
- The alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual dwelling unit.
- Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.
- Carbon monoxide alarms shall be hard wired, plug-in or battery type; listed as complying with UL 2034; and installed in accordance with IRC code and the manufacturer's installation instructions
- Fire extinguisher having a rating of 2-A:10-B:C or an approved equivalent type of fire extinguisher

**Maddock Residence**  
 223 King St NW Abingdon VA

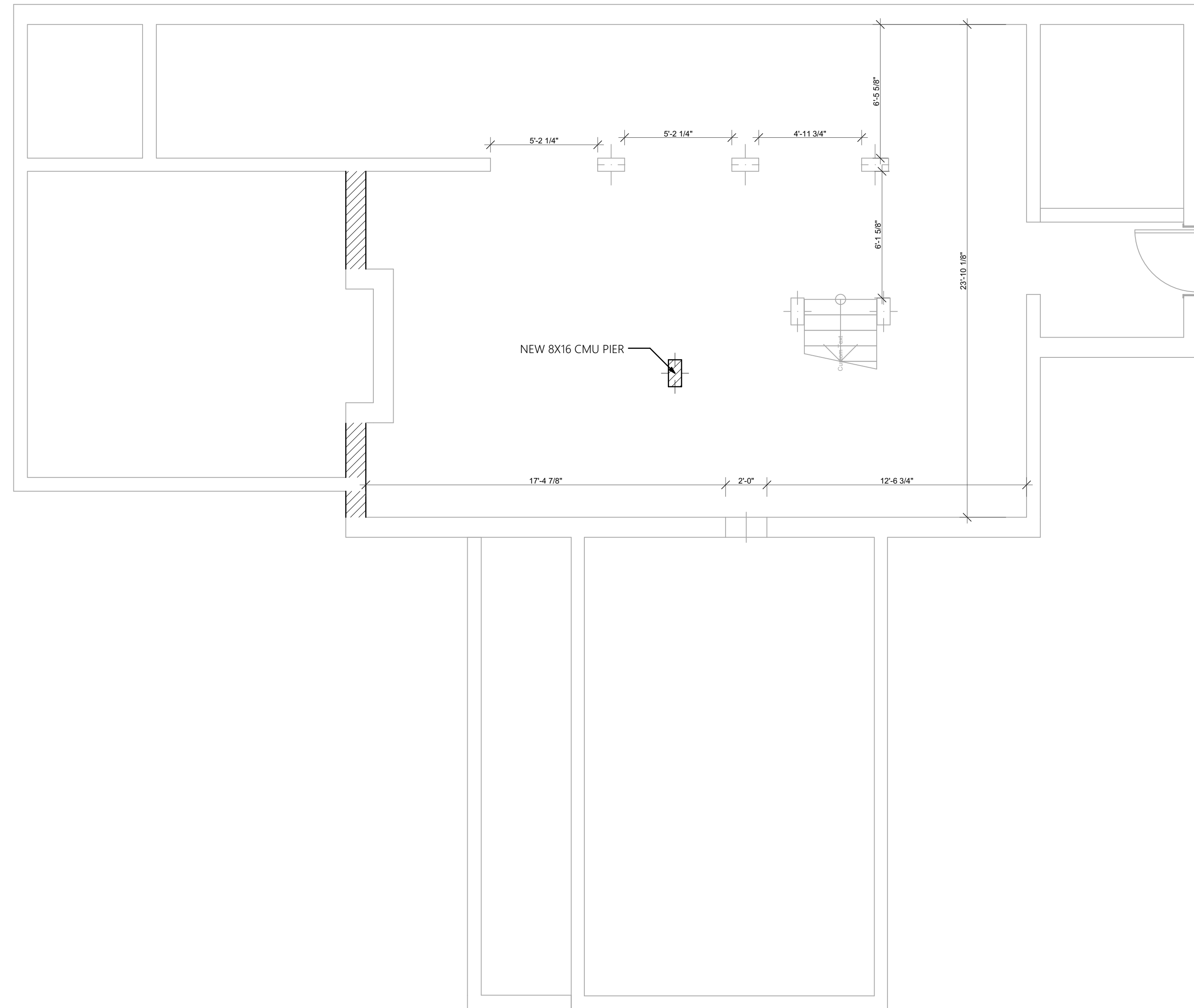
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| Revision History   |      |
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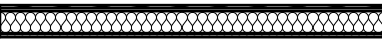
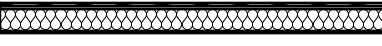
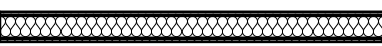
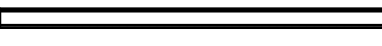
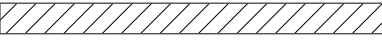



Modified by  
TGM  
Checked by  
MTB

Layout ID  
A2





-  2"X 6" STUD WALL @ 16" O.C. 3/4" EXT WOOD SHEATHING, SIDING, 1/4" WOOD LATH, 3/4" PLASTER. (EXIST.)
-  2"X 6" STUD WALL @ 16" O.C. 3/4" EXT WOOD SHEATHING, SIDING, 1/2" DRYWALL (NEW), AT KITCHEN
-  2"X 6" STUD WALL @ 16" O.C. 1/4" WOOD LATH, 3/4" PLASTER, BOTH SIDES (EXIST.)
-  2"X 4" STUDS @ 16" O.C. WITH 1/2" DRYWALL ON BOTH SIDES
-  8" CMU BLOCK WALL

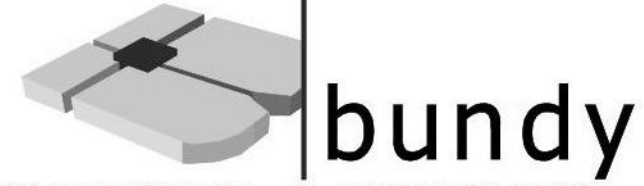
**1 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

**Maddock Residence**  
 223 King St NW Abingdon VA

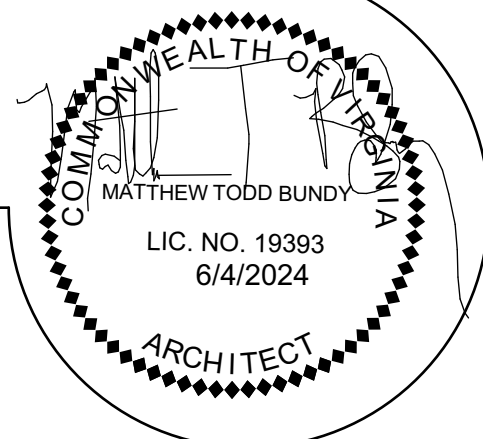
Project No. 24033

Revision History

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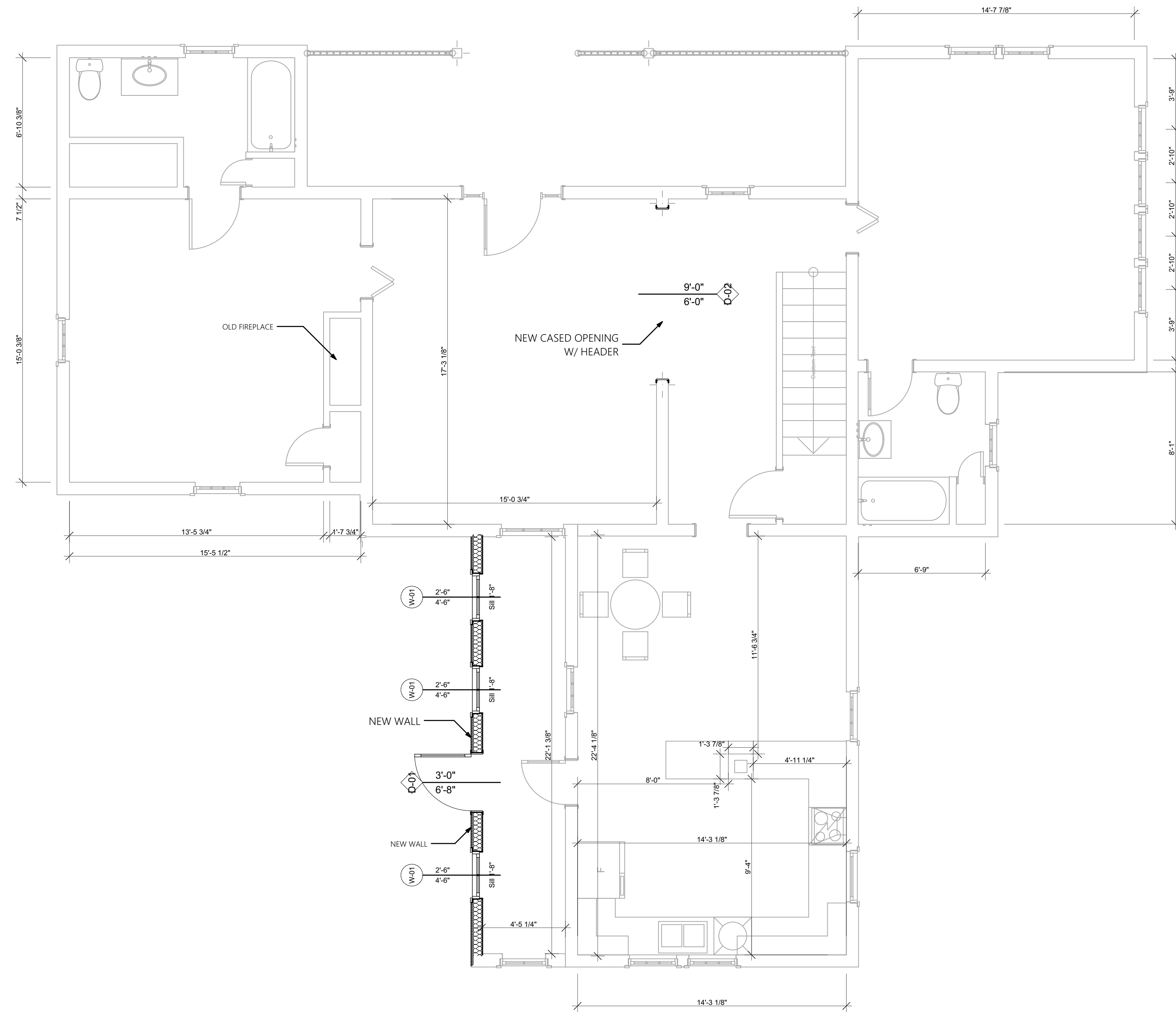
ARCHITECTURE & ENGINEERING  
 190 E MAIN ST ABINGDON, VA P. 276.628 1067 F. 276.698.3088





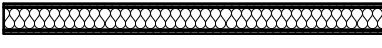


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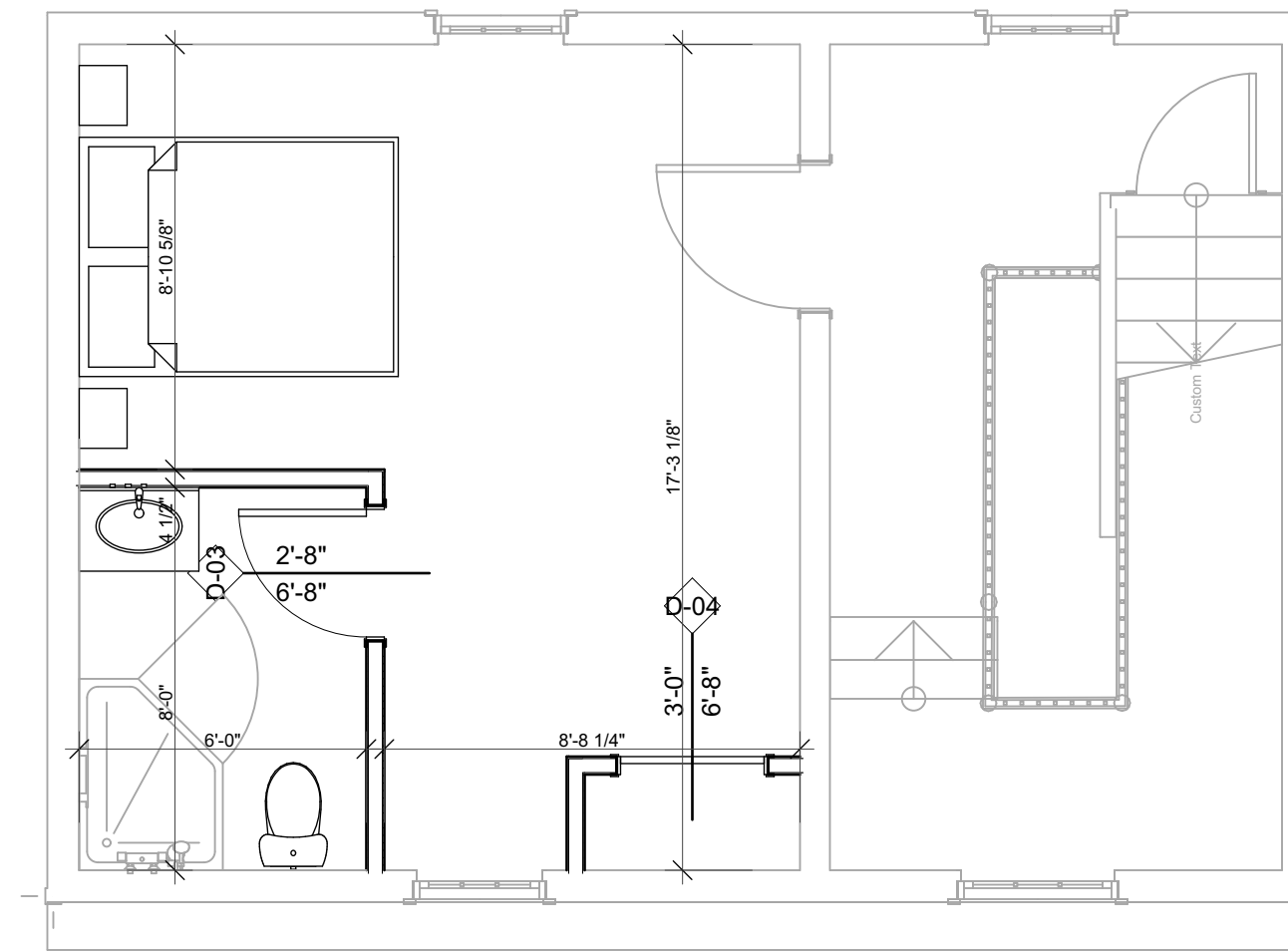
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**A3**





**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

-  2"X 6" STUD WALL @ 16" O.C. 3/4" EXT WOOD SHEATHING, SIDING, 1/4" WOOD LATH, 3/4" PLASTER. (EXIST.)
-  2"X 6" STUD WALL @ 16" O.C. 3/4" EXT WOOD SHEATHING, SIDING, 1/2" DRYWALL (NEW), AT KITCHEN
-  2"X 6" STUD WALL @ 16" O.C. 1/4" WOOD LATH, 3/4" PLASTER, BOTH SIDES (EXIST.)
-  2"X 4" STUDS @ 16" O.C. WITH 1/2" DRYWALL ON BOTH SIDES
-  8" CMU BLOCK WALL

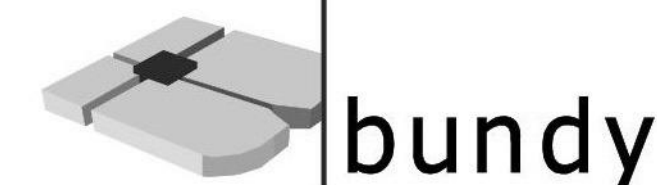


**2** SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**Maddock Residence**  
223 King St NW Abingdon VA

Project No. 24033  
Revision History

| Change Name | Date |
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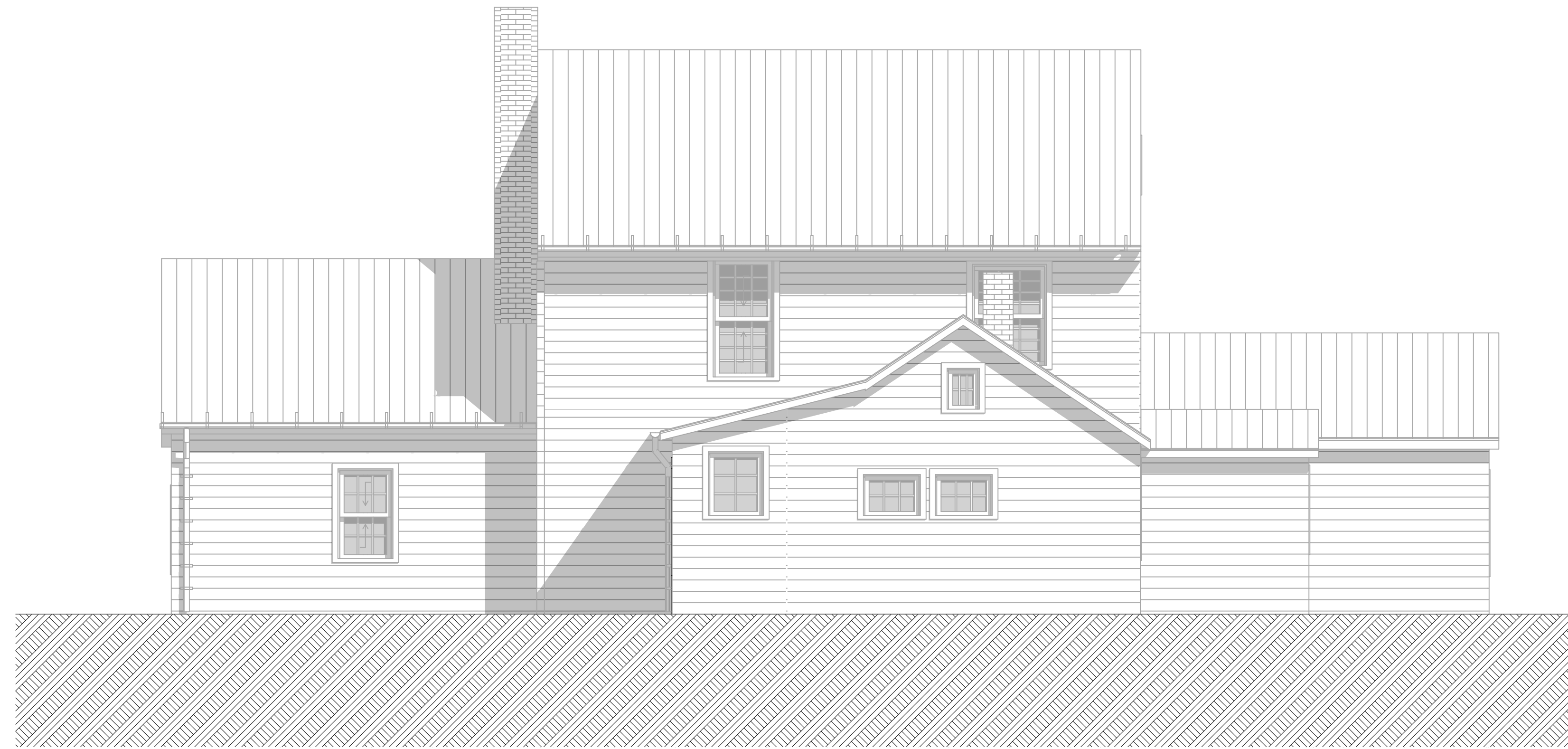
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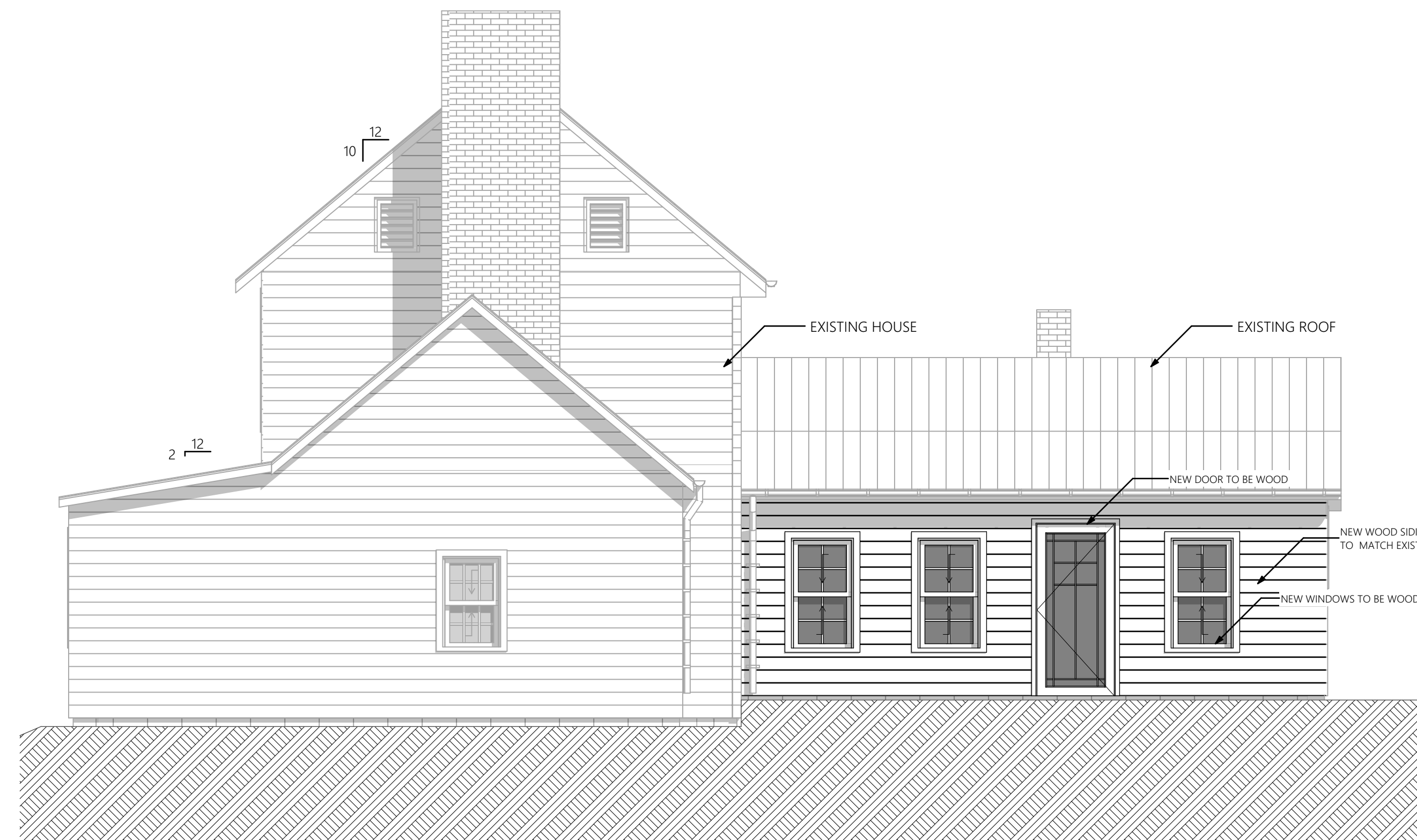
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Checked by  
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Layout ID  
A4





**1 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

**Maddock Residence**  
 223 King St NW Abingdon VA

Project No. 24033  
 Revision History

| Change Name | Date |
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ARCHITECTURE & ENGINEERING  
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COMMONWEALTH OF VIRGINIA  
 ARCHITECT  
 MATTHEW TODD BUNDY  
 L.I.C. NO. 19393  
 6/4/2024

Modified by  
TGM  
Checked by  
MTB

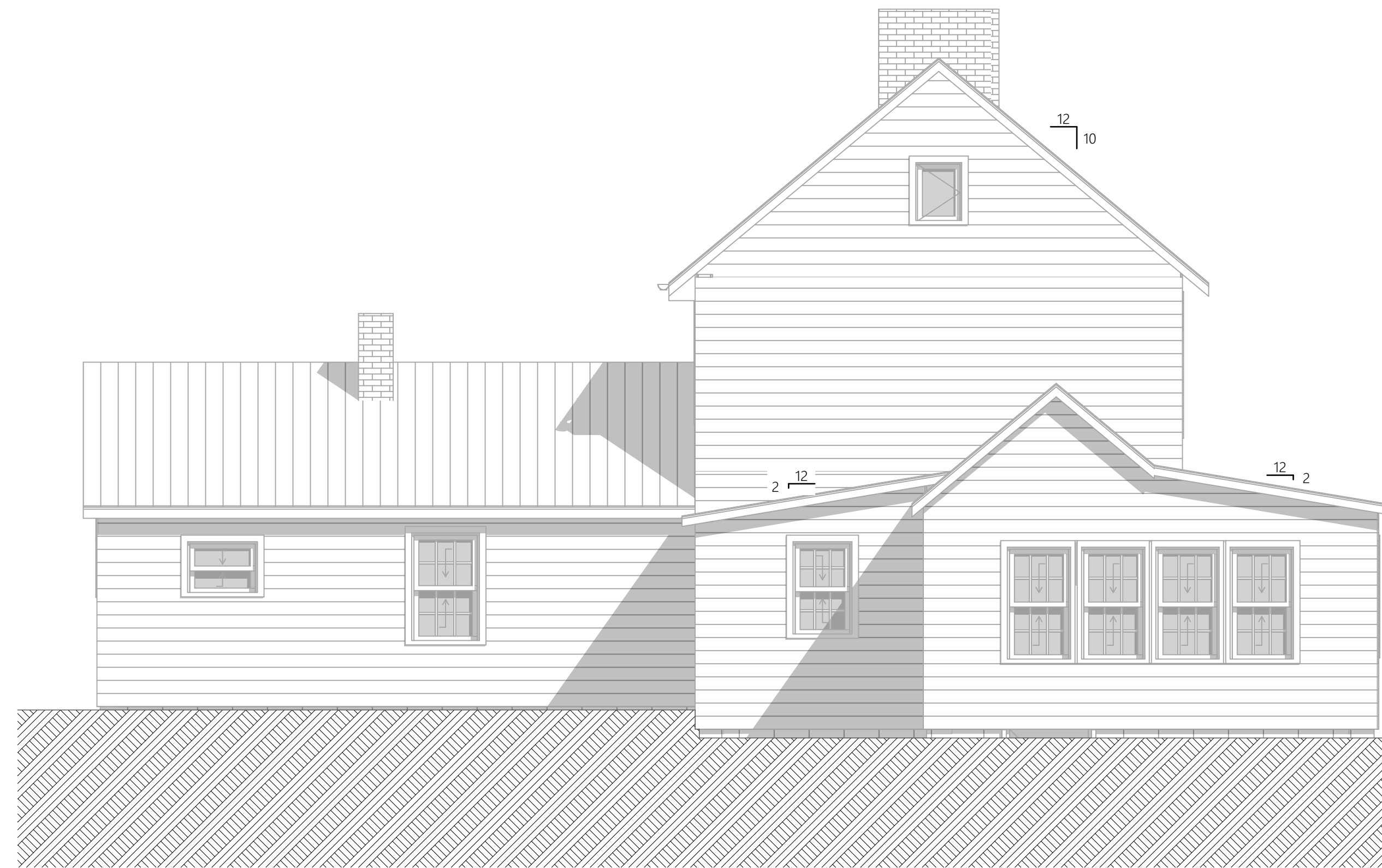
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**A5**





1 REAR ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

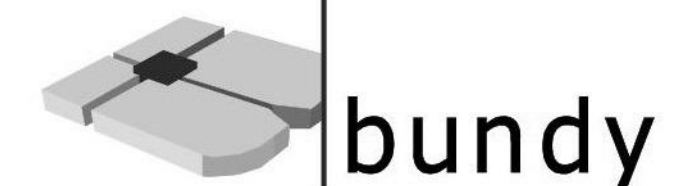
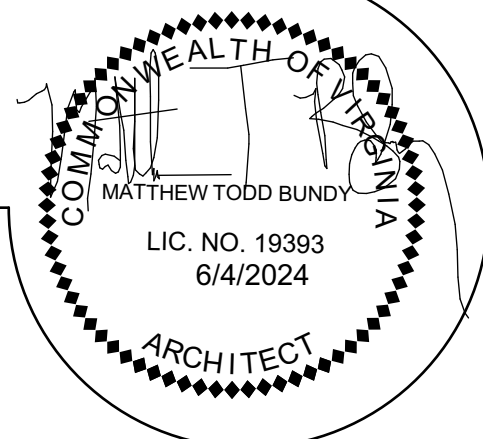
Maddock Residence

223 King St NW Abingdon VA

Project No. 24033

Revision History

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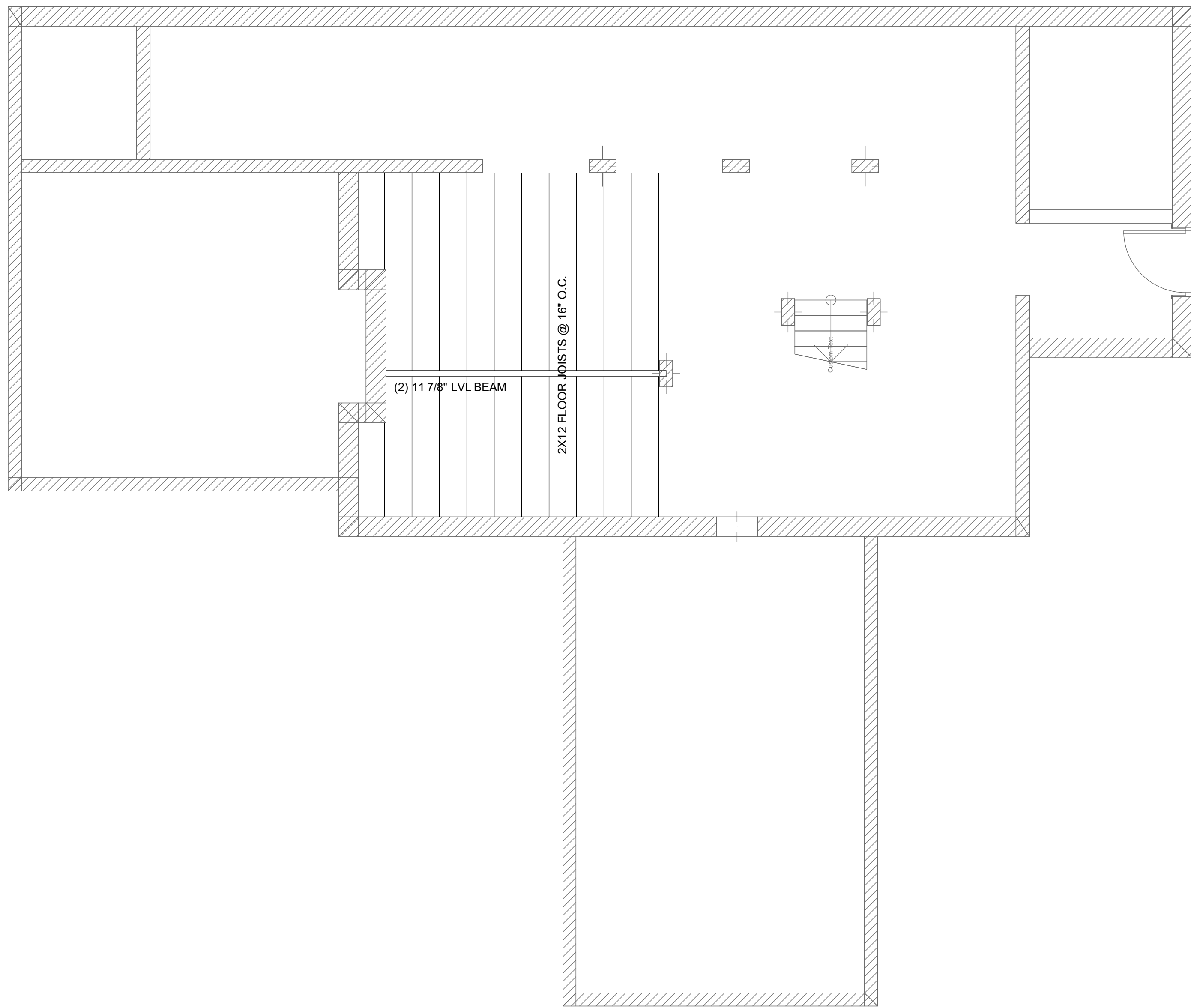


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A6

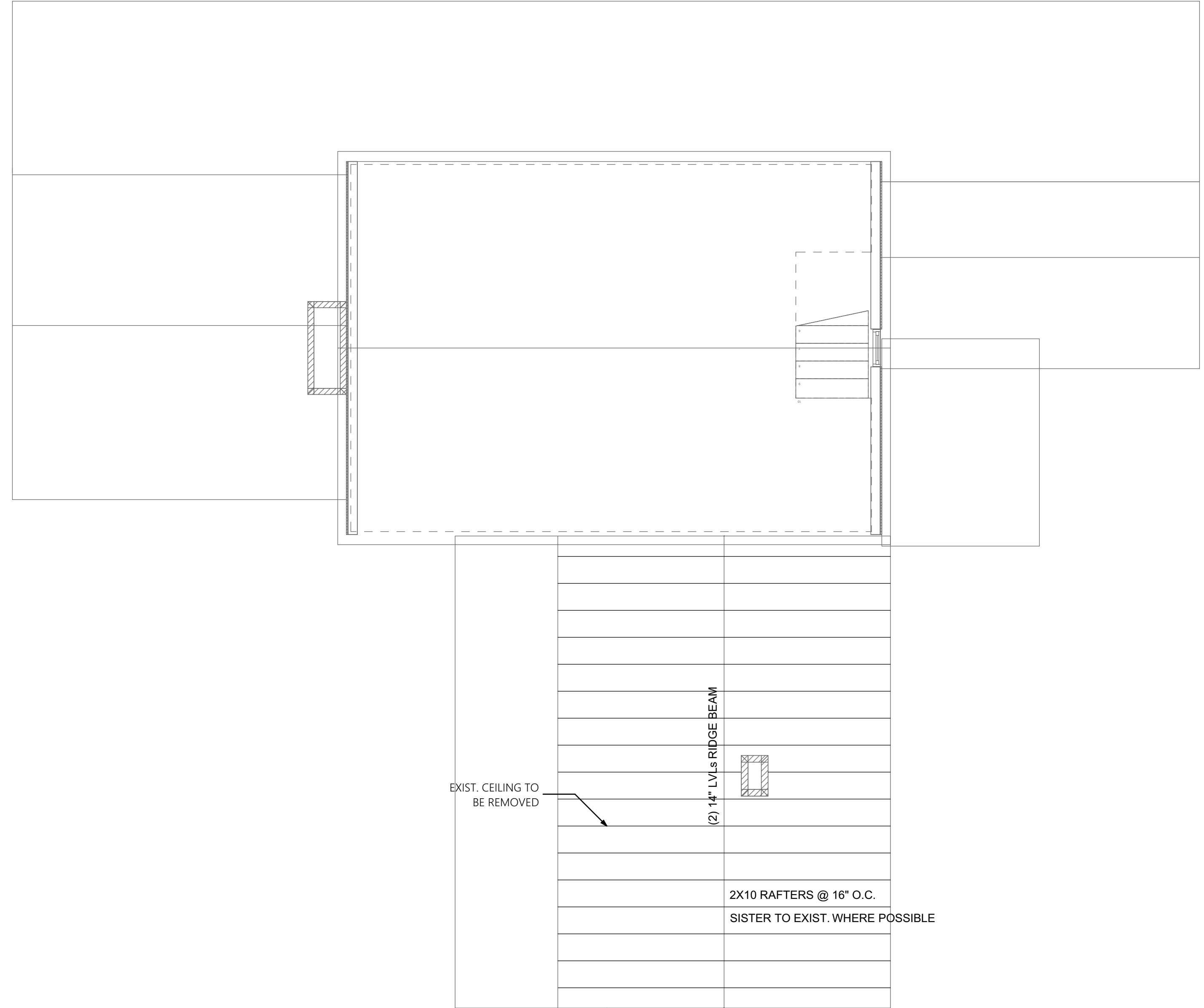




1

FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



2

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

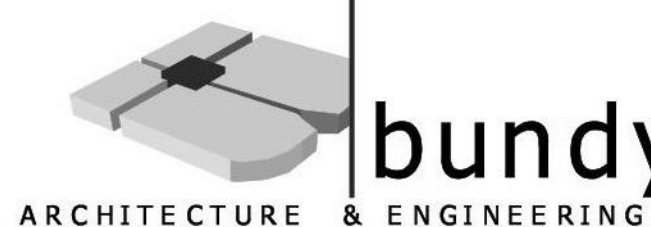
Maddock Residence

223 King St NW Abingdon VA

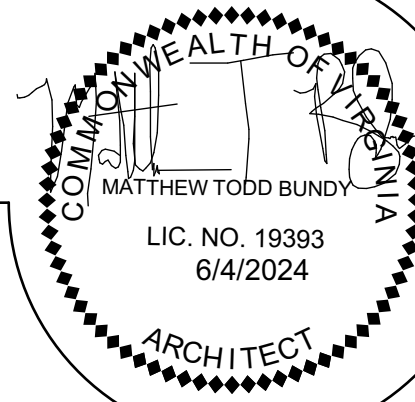
Project No. 24033

Revision History

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TGM  
Checked by  
MTB

Layout ID  
A7





What can we help you find?

0 - \$0.00

Color > Yellow Paint Colors > SW 1668 Pineapple Cream

SW 1668

SW 1667

SW 1666

SW 6908

SW 6913

SW 6914

SW 6915



↑ UPLOAD A PHOTO

SW 1668

# Pineapple Cream

FULL DETAILS ^

LRV: 82 ⓘ

RGB: 242 / 234 / 195

Hex Value: #F2EAC3


Location Number: 138-C1


Available in: Interior

Color Family(s): Yellow

This delicious yellow is bright and clean. Add a little extra joy to sunny bedrooms and bakers' kitchens.

Get this color in a:


  
Color Sample

  
Paint Sample

  
Interior Paint

# Feedback





**Pella® Lifestyle Series Double-Hung**

**\$1,277.38**

PRICE AS BUILT

Interior View
Exterior View

Don't Forget an Installation Kit

Add (1) Installation Kits - \$90.79

-
1
+

**ADD TO CART**

Please review the details of your product(s) below. These specs will be used by the factory to produce your one-of-a-kind product.

**EDIT BUILD**

**SAVE TO PROJECT**

**CONFIGURATION DETAILS**

|                           |                            |
|---------------------------|----------------------------|
| Frame Width               | 30                         |
| Frame Height              | 54                         |
| Operation / Venting       | Double Hung                |
| Package                   | No Package                 |
| Hinged Glass Panel Option | Without Hinged Glass Panel |
| Exterior Paint Grade      | Standard Enduraclad        |
| Interior Color            | White                      |



|                          |                                 |
|--------------------------|---------------------------------|
| Interior Finish          | Prefinished White Paint         |
| Low-E Glass Style        | Advanced Low-E Insulating Glass |
| Glass Strength           | Annealed                        |
| Gas Filled               | Air Filled                      |
| High Altitude            | High Altitude                   |
| Hardware Finish          | White                           |
| Sensor Option            | No Integrated Sensor            |
| Screen Option            | No Screen                       |
| Grille Type              | Grilles-Between-The-Glass       |
| Grille Pattern           | Traditional                     |
| Grille Interior Color    | White                           |
| Grille Exterior Color    | White                           |
| Installation Method      | New Construction                |
| Jamb Extended Wall Depth | 3 11/16"                        |

[Energy Methodology](#)

[Privacy Policy](#)

[Terms of Use](#)

[Product Performance](#)

[Website Accessibility Statement](#)

[California Supply Chain Act](#)

[California Rights Policy](#)

[California Collection Notice](#)

[Pella Individual Rights Request](#)

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Bristol, VA 9PM 24202

What can we help you find today?



Bristol, VA 9PM 24202

Shop All Services DIY Log In

... / Exterior Doors / Front Doors / Wood Doors / Wood Doors With Glass

Internet # 301301600 Model # 76422 Store SKU # 1002347381

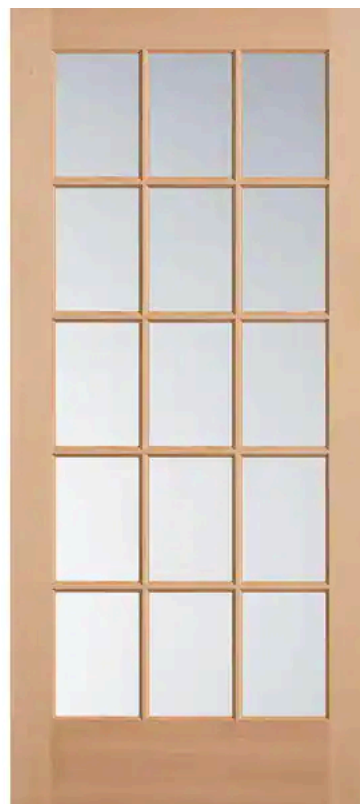
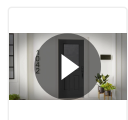
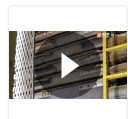
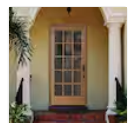
Masonite  
**36 in. x 80 in. 15 Lite Unfinished Fir Front Exterior Door Slab**

★★★★★ (23) Questions & Answers (17)

158

Live Chat

Feedback



Hover Image to Zoom



- 1 +

Add to Cart



Pay in 4 interest-free payments of \$79.50 with [PayPal](#). [Learn more](#)

Product Details

Specifications

Dimensions

|                              |              |
|------------------------------|--------------|
| Door Height (in.)            | 80.5 in      |
| Door Thickness (in.)         | 1.75 in      |
| Door Width (in.)             | 36.25 in     |
| Fits Opening Height (in.)    | 80 to 80 7/8 |
| Fits Opening Width (in.)     | 36 to 36 3/8 |
| Nominal Door Height (in.)    | 80 in        |
| Nominal Door Thickness (in.) | 2 in         |
| Nominal Door Width (in.)     | 36 in        |

Details

|                       |                      |
|-----------------------|----------------------|
| Bore Type             | No Bore              |
| Color Family          | Unfinished Wood      |
| Color/Finish          | Unfinished           |
| Door Configuration    | Single Door          |
| Door Glass Insulation | Tempered             |
| Door Handing          | Universal/Reversible |

Live Chat  
Feedback



|                              |                              |
|------------------------------|------------------------------|
| <b>Door Style</b>            | Traditional                  |
| <b>Door Type</b>             | Exterior Slab                |
| <b>Features</b>              | No Additional Features       |
| <b>Finish Type</b>           | Unfinished                   |
| <b>Glass Caming Finish</b>   | No caming                    |
| <b>Glass Layout</b>          | Full Lite                    |
| <b>Glass Shape</b>           | Rectangle Lite               |
| <b>Glass Style</b>           | Clear Glass                  |
| <b>Included</b>              | No Additional Items Included |
| <b>Material</b>              | Wood                         |
| <b>Number of Lites</b>       | 15 Lite                      |
| <b>Panel Type</b>            | No Panel                     |
| <b>Product Weight (lb.)</b>  | 75                           |
| <b>Suggested Application</b> | Back, Front                  |

### Warranty / Certifications

|                              |                         |
|------------------------------|-------------------------|
| <b>Energy Star Qualified</b> | Not Qualified           |
| <b>Manufacturer Warranty</b> | 1 Year Limited Warranty |

[How can we improve our product information? Provide feedback.](#)

### Questions & Answers

17 Questions



### Customer Reviews

4.1 out of 5 (23)



Live Chat  
 Feedback





## STAFF REPORT

---

**TO:** ABINGDON HISTORIC PRESERVATION REVIEW BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR EXTERIOR CHANGES

**PUBLICATION**

**DATE:** JUNE 26, 2024

**MEETING**

**DATE:** JULY 3, 2024

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

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**REQUEST:**

Jon & Kathy Treadway (Owner) and Tj Pruitt of Twin Enterprises (Representative) has requested approval of a Certificate of Appropriateness for exterior changes. The property is located at 255 W. Valley Street (Parcel 011-5-105).

The property is within the Old and Historic Zoning District, Sub-District 2 (Residential-Focused) and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.



VICINITY MAP:





**ENTRANCE CORRIDOR FRONTAGE:**



View of W. Valley Street looking East



View of W. Valley Street looking West





View of Potts Lane looking North



View of Potts Lane looking South



**ZONING MAP:**



Sources: Esri, DigitalGlobe, Earthstar Geographics, CNES/Airbus DS, GeoEye, USDA FSA, USGS, AeroGRID, IGN, IGP, and the GIS User Community

[www.interactiveGIS.com](http://www.interactiveGIS.com)

Printed 06/26/2024

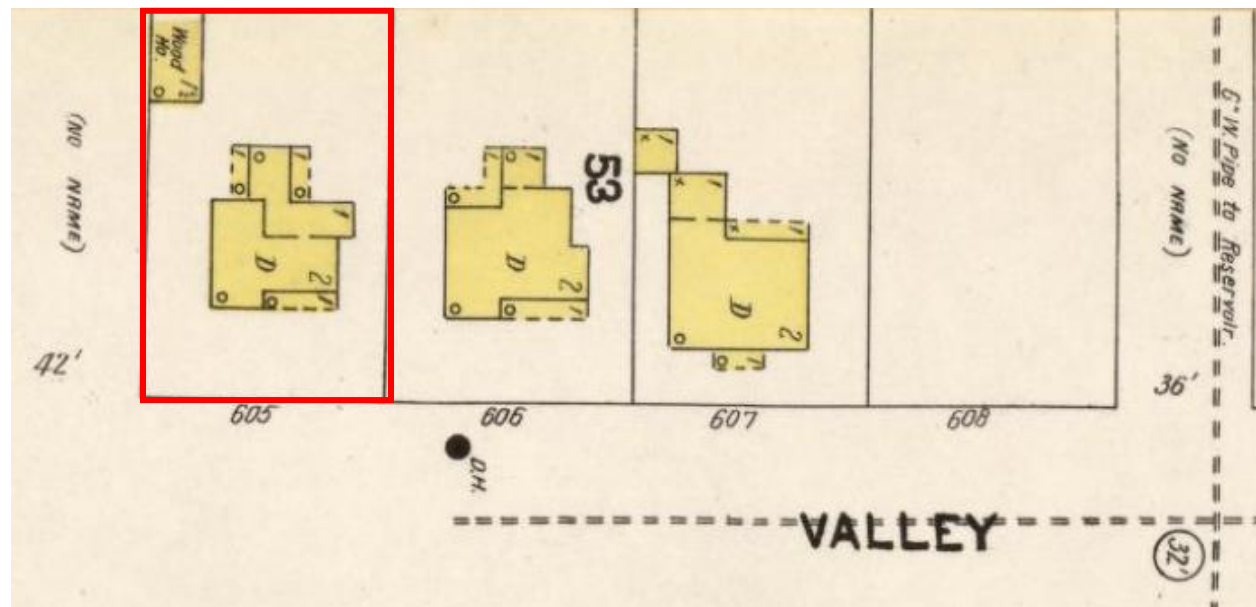


**STAFF FINDINGS:**

1. **Location.** The Subject Property contains approximately 0.250 acres and is legally described as LOT 105 VALLEY ST ACR .25 (Tax Map No. 011-5-105). The parcel is located in the Old and Historic Zoning District, Sub-District 2 (Residential-Focused).
2. **Background.** According to “Places In Time Volume II” written by Nanci C. King, 255 W. Valley Street was built in 1895 and is known as the George R.B. Hagy House.

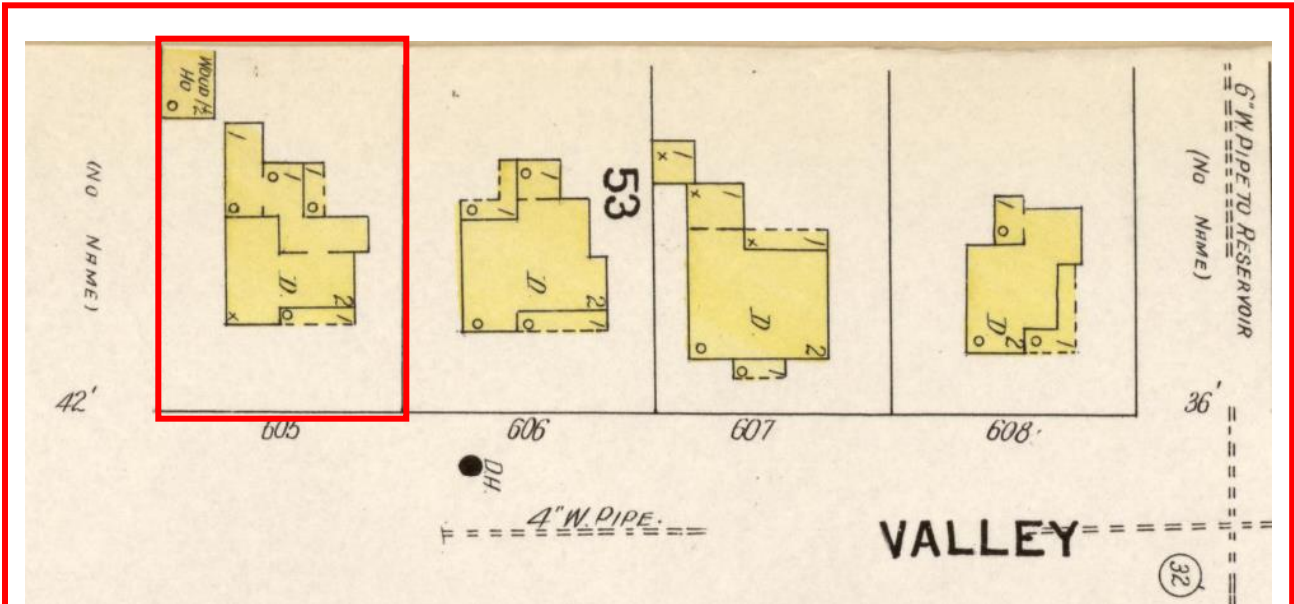
According to the Department of Historic Resources (DHR) VCRIS database the George R.B. Hagy House was built in 1895. The two-and-a-half-story, three-bay building is built in the Queen Anne style. The building possesses good architectural integrity, retaining its overall massing, decorative woodwork and columns, and historic period windows.

Based on the 1902, 1908, 1913, 1922, and 1928 Sanborn Fire Insurance Maps, 255 W. Valley Street’s building footprint has changed many times due to additions and alterations.

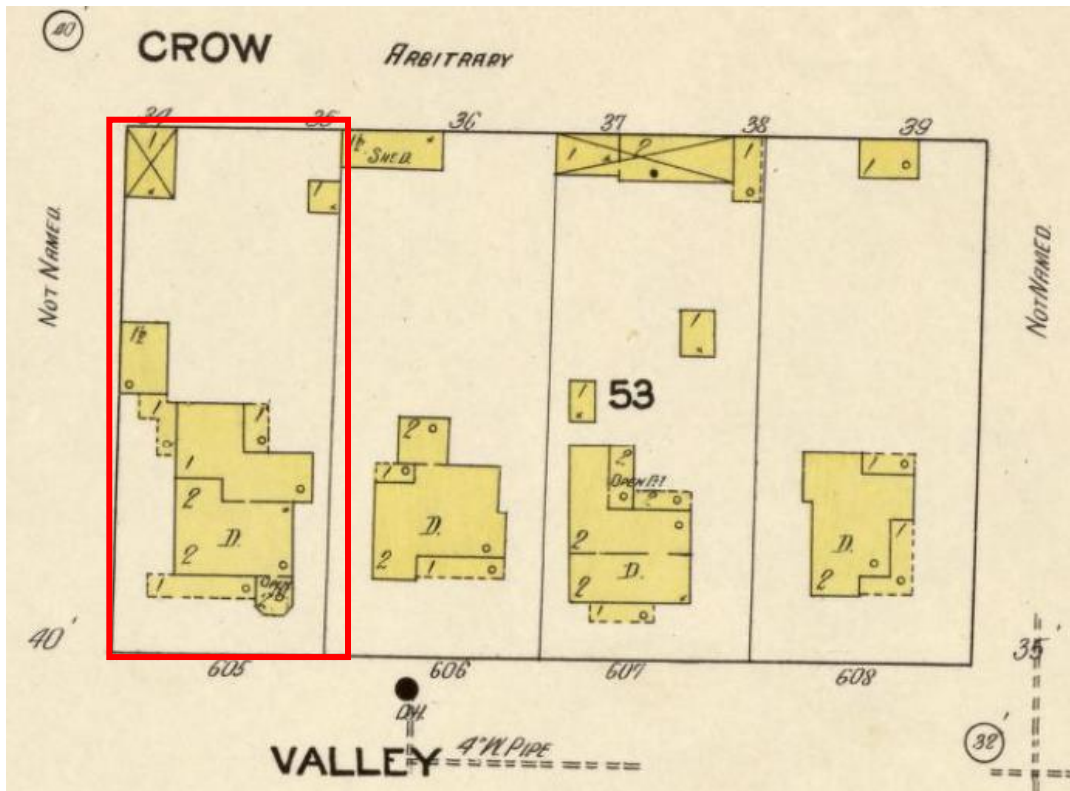


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, November, 1902. Map. [https://www.loc.gov/item/sanborn08966\\_004/](https://www.loc.gov/item/sanborn08966_004/).



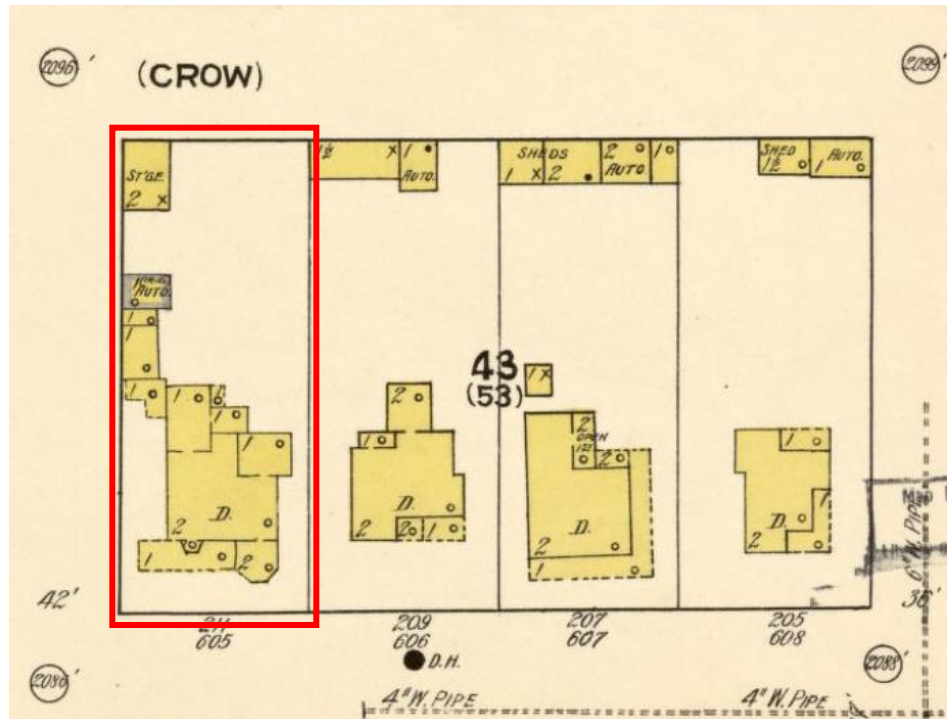


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, February, 1908. Map. [https://www.loc.gov/item/sanborn08966\\_005/](https://www.loc.gov/item/sanborn08966_005/).

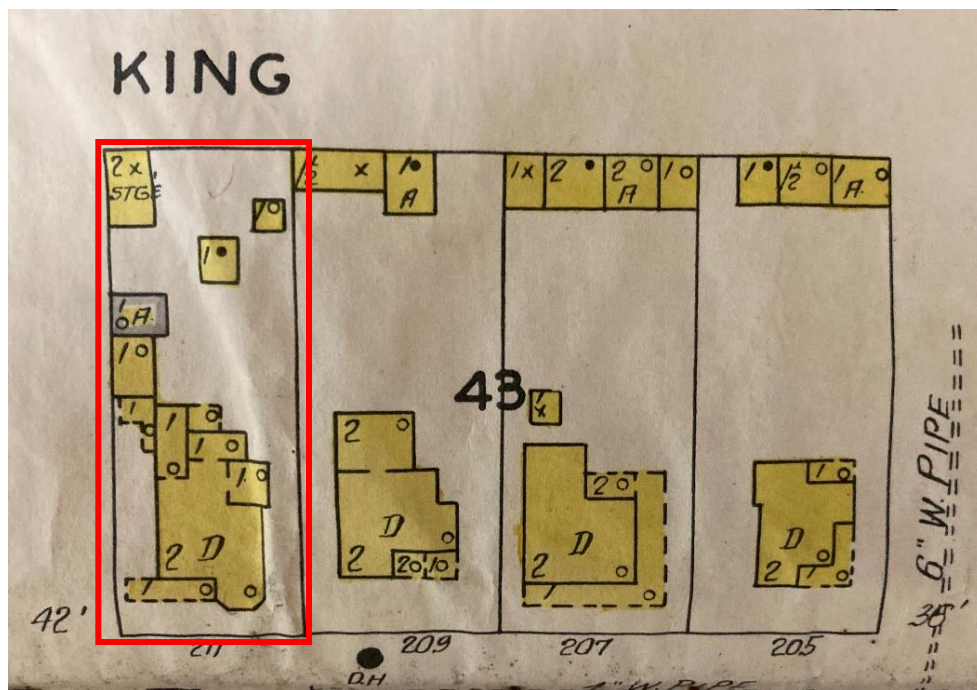


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, March, 1913. Map. [https://www.loc.gov/item/sanborn08966\\_006/](https://www.loc.gov/item/sanborn08966_006/).





Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, June, 1922. Map. [https://www.loc.gov/item/sanborn08966\\_007/](https://www.loc.gov/item/sanborn08966_007/).



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, October, 1928. Map.

3. **Access.** Access to the site will be from W. Valley Street, Potts Lane, and King Street.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned Old & Historic, Sub-District 2 (Residential-Focused) on all sides.

5. **Applicable Requirements of the Zoning Ordinance.**

**Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

**Design Review Guidelines**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

45. *Windows.*

- a. *Windows that are original should be preserved in their original location, size and design and with their original materials and number of panes (glass lights).*
- b. *Unless they are located out of the public view, windows that are not original should not be added to the primary or secondary facade of a building.*
- c. *Windows should be repaired rather than replaced; an appropriate method of repair is by the use of wood epoxy. However, if replacement is necessary the replacement window should match the window being replaced in both material and design. Wood windows clad in vinyl or pre-finished aluminum are acceptable where appropriate to the architectural style of the building if they are located at the rear or sides of buildings and are not readily in the public view.*
- d. *Original windows of steel or aluminum should be repaired, but if repair is not feasible, replaced with new windows appropriate to the period and style of the building.*
- e. *New windows should have raised muntins visible on the outside of the glass surface. True divided-light muntins are preferred, but only if their cross-section profile is appropriate to the architectural style of the building in both size and shape. Properly sized simulated divided lights with muntins permanently attached to the exterior face of the window are acceptable.*



47. *Screen, Storm and Security Windows.*

- a. *Screens should be correctly sized to fit the window openings, including openings for arched windows.*
- b. *Screens should be constructed of either wood or baked-on enamel or anodized aluminum and designed to fit within the window frames without overlap. Screen window panels should be of either a full view design or have the meeting rail match that of the window behind it.*
- c. *Preferably, storm windows should be of wood but aluminum storm windows of full-view design with a baked-on enamel or anodized finish are acceptable. Interior functioning storm windows are recommended.*
- d. *Storm windows should likewise be sized and shaped to fit their respective window openings.*
- e. *Storm windows should be of full-view design or with central meeting rails at the same location as that of the underlying windows.*
- f. *Storm windows with built-in lower screens are acceptable.*

**STAFF FINDINGS:**

**At the April 3, 2024, HPRB Regular Meeting the applicant was approved for a COA to undertake a variety of exterior changes with the following conditions.**

- 1. Addition of two square two-over-two double hung sash windows on the far left.**
- 2. Removal of one square two-over-two double hung sash window on the East elevation of the bump-out and patch with 8 in. aluminum siding to match existing exterior.**
- 3. Reposition one square two-over-two double hung sash window on the North elevation of the bump-out (move to the right) then, patch previous window opening with 8 in. aluminum siding to match existing exterior.**
- 4. Replace the far right existing rectangular two-over-two double hung sash window with one two-over-two double hung sash windows.**
- 5. Eliminate the dog leg roof, raising the roof 2 ft. to have the new roof be on one plane.**

**Now the applicant proposes additional exterior changes concerning windows related to the one-story ell extending toward King Street. The windows proposed at this meeting will match those in design, material, and appearance as those approved in April of 2024, this includes muntins located on the outside face of the windows.**

1. Change the two separate existing two-over-two double hung sash vinyl windows located right of the rear door on the West elevation and move them closer to make one double wood clad two-over-two double hung sash window.
2. Change the existing rectangular two-over-two double hung sash vinyl window located left of the rear door on the West elevation to a 22 in. x 22 in. square two-over-two double hung sash wood clad window.
3. Addition of a new two-over-two double hung sash wood clad window on the right side of the North elevation.



Southwest and West elevations of rear ell extending toward King Street



First, the two separate existing rectangular two-over-two double hung sash vinyl windows to the right of the rear door on the West elevation will be moved closer to make one double wood clad two-over-two double hung sash window as shown in the rendering below.

Second, a rectangular two-over-two double hung sash vinyl window located left of the rear door on the West elevation will be replaced with a 22 in. x 22 in. square two-over-two double hung sash wood clad window as shown in the rendering below.

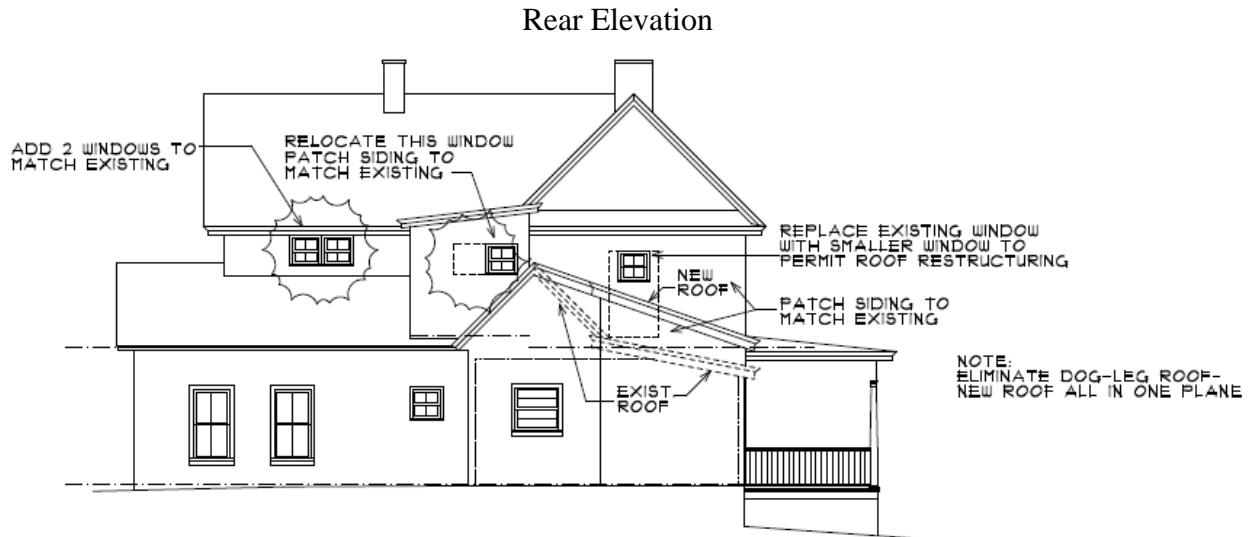


West elevation approved at the April 3, 2024, HPRB Meeting

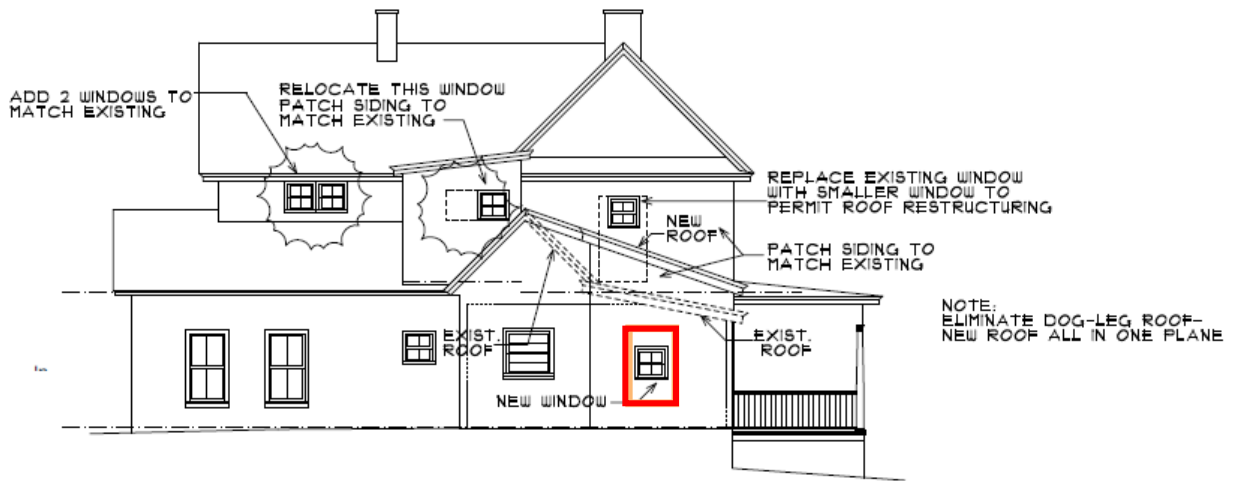


Proposed West elevation

**Third, a 22 in. x 22 in. square two-over-two double hung sash wood clad window will be installed on the right side of the North elevation as shown in the rendering below.**



North elevation approved at the April 3, 2024, HPRB Meeting



Proposed North elevation

**When discussing the various alterations to the rear ell in April of 2024, it was determined the rear ell had seen a significant amount of alteration and possibly is not be the rear ell shown in the Sanborn Fire Insurance Maps.**



Not mentioned in this proposal when compared to the April 2024 proposal, is the use of single 8 in. smooth gray aluminum siding to patch effected exterior wall areas. If exterior wall cladding is required to patch any holes caused by the alteration proposed if approved today, single 8 in. smooth gray aluminum siding must be used to match existing exterior wall cladding.

**REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

- A. **Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 255 W. Valley Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 255 W. Valley Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 255 W. Valley Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).



# Historic District Certificate of Appropriateness Application

Date: 06/19/2024

## Location of Property

Street Address: 255 W Valley St. Parcel #: 011-5-105  
 City, State, Zip: Abingdon, VA 24210

## Applicant Information

Applicant Name: Twin Enterprises Phone: 276-963-8946  
 Mailing Address: 1515 2nd St. Email: tjpruitt@twinenterprisebuilders.com  
 City, State, Zip: Richlands, VA 24261 Relation: Other Builder

## Property Owner

Owner Name: Jon & Kathy Treadway Phone: 276-356-6367  
 Mailing Address: 255 W Valley St. Email: 222valleynw@gmail.com  
 City, State, Zip: Abingdon, VA 24251 Business:

## Project Information

|          |    |             |                                      |
|----------|----|-------------|--------------------------------------|
| Awning:  | No | Foundation: | No                                   |
| Chimney: | No | Lighting:   | No                                   |
| Cornice: | No | Roof:       | No                                   |
| Deck:    | No | Windows:    | Yes Please see the attached drawings |
| Doors:   | No | Signs:      | No                                   |
| Fencing: | No |             |                                      |

Located in Old and Historic District: Yes

Site Plan for New Construction: N/A

Site Plan Location(s) of Proposed vs Current: Yes

Site Plan Callouts w/Alteration(s) and Material(s): N/A

Drawings for Alterations and/or New Construction: Yes

Drawings Contain Structures w/4 Elevations: Yes

Drawings Contain Landscape Features: N/A

Drawings Contain Dimensions: Yes

Drawings Contain Callouts Proposed vs Existing: Yes

Drawings Contain Callouts Material(s) and Color(s): Yes

Driveway/Parking/Paving: No

Gutter and Downspouts: No

## Applicant Signature

I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.

TJ Pruitt

Name

06/19/2024

Date



**Owner Affidavit**

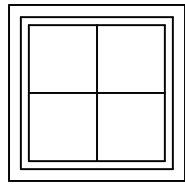
Property Owners or their designee (e.g., Lessees) that are applying as the applicant need to sign the Owner Affidavit section as well as the Applicant section.

My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.

\_\_\_\_\_  
Jon & Kathy Treadway  
Property Owner

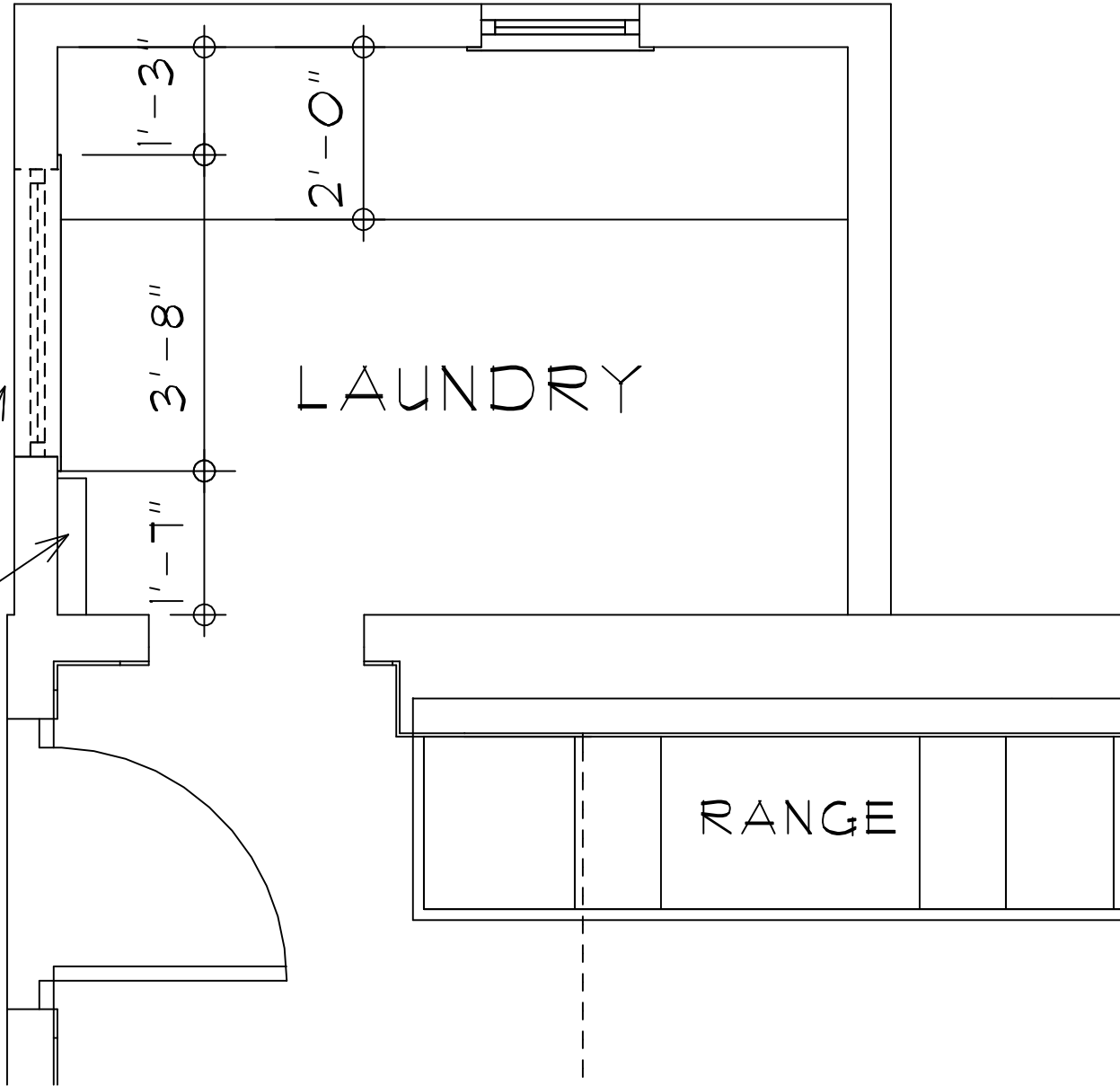
\_\_\_\_\_  
06/19/2024  
Date

PROPOSED  
22" X 22"  
WINDOW



EXISTING  
WINDOW

ELEC





CADFILE - 2304\_DD\_06-12-24.dwg

NOTE:  
ELIMINATE DOG-LEG ROOF-  
NEW ROOF ALL IN ONE PLANE

RAISE EAVE  
APPROX. 2 FT.

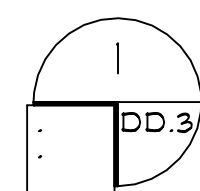
NEW WINDOW

CHANGE #2

PET DOOR

CHANGE #1

NEW DOUBLE WINDOW



LEFT ELEVATION

SCALE : 1/4" = 1'-0"

NOT FOR CONSTRUCTION

PEYTON BOYD  
ARCHITECT PC  
P. O. BOX 2824  
ABINGDON VA 24210-2824  
OFFICE ADDRESS  
2825 W. MAIN ST. SUITE 100  
ABINGDON VA 24210  
PHONE - 776-698-2795  
EMAIL - pboyd@peytonboyd.com

RENOVATION TO:  
**JON & KATHY TREADWAY HOME**  
ABINGDON, VIRGINIA

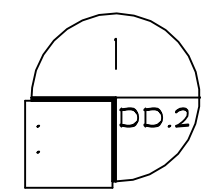
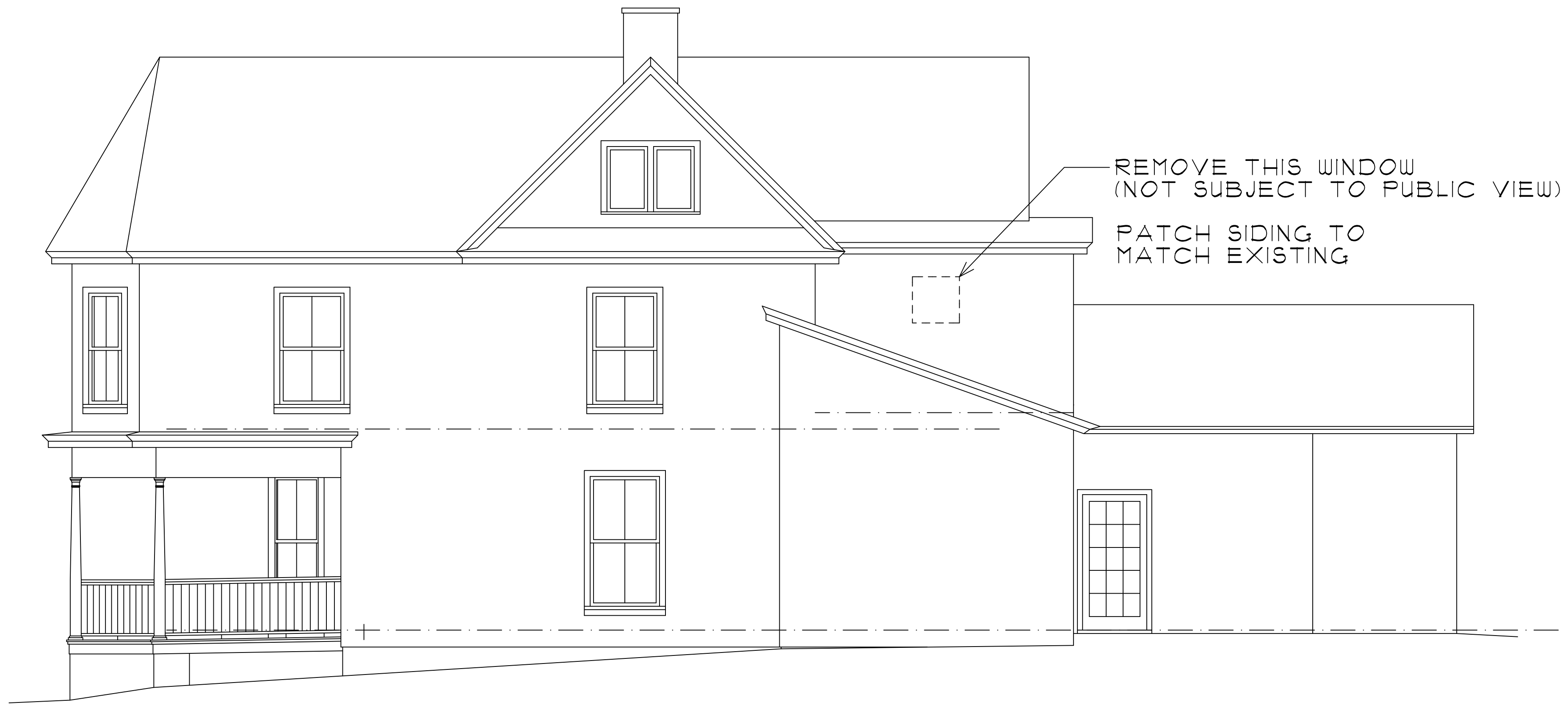
EXTERIOR ELEVATION  
(DESIGN DEVELOPMENT)

SCALE: 1/4" = 1'-0"

DATE

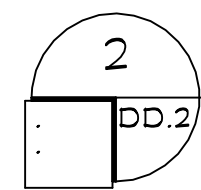
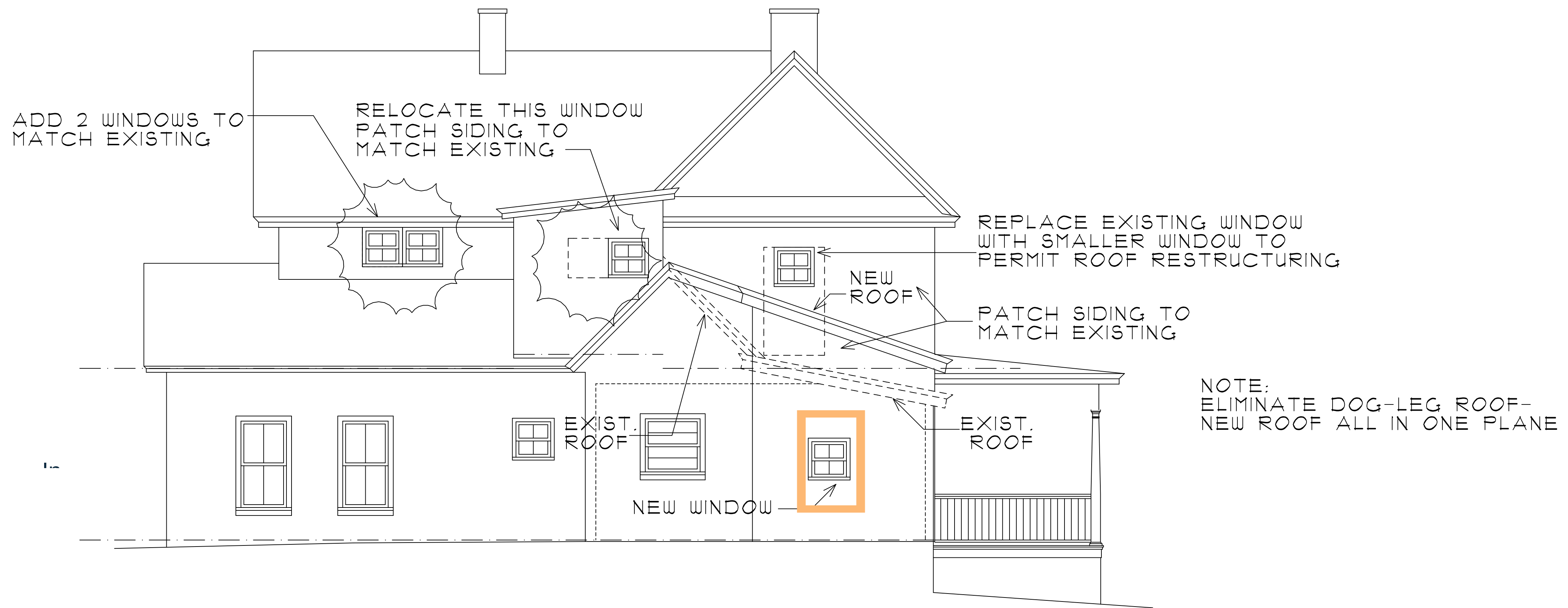
DRAWING

DD.3b



**RIGHT ELEVATION**

SCALE : 1/4" = 1'-0"



**REAR ELEVATION**

SCALE : 1/4" = 1'-0"

NOT FOR CONSTRUCTION

**PEYTON BOYD  
ARCHITECT PC**  
P. O. BOX 2824  
ABINGDON VA 24210-2824  
OFFICES AT  
ABINGDON VA 24210  
VOICE 276-698-2793  
pboyd@peytonboyd.com

RENOVATION TO:  
**JON & KATHY TREADWAY HOME**  
ABINGDON, VIRGINIA

**EXISTING EXTERIOR**  
(DESIGN DEVELOPMENT)

SCALE: 1/4" = 1'-0"

DATE

DRAWING

**DD.2**





# Historic District Certificate of Appropriateness Application

Date: 03/20/2024

---

## Location of Property

Street Address: 255 Valley Street NW Parcel #: 011-5-105  
City, State, Zip: Abingdon, VA 24210

---

## Applicant Information

Applicant Name: TJ Pruitt Phone: (276) 963-8946  
Mailing Address: 1515 2nd Street Email: tjpruitt@twinenterprisebuilders.com  
City, State, Zip: Richlands, VA 24641 Relation: Other Builder

---

## Property Owner

Owner Name: Jon & Kathy Treadway Phone: 276-356-6367  
Mailing Address: 255 Valley Street NW Email: 255valleynw@gmail.com  
City, State, Zip: Abingdon, VA 24210 Business:

---

## Project Information

|          |  |             |   |
|----------|--|-------------|---|
| Awning:  | No   | Foundation: | No  |
| Chimney: | No   | Lighting:   | No  |
| Cornice: | Yes Please see attached drawings for reference | Roof:       | Yes Please see attached drawings for reference on roof changes. Sample shingle can be presented at the board meeting. |
| Deck:    | No   | Windows:    | Yes Pella Lifestyle (Please see attached drawings for reference)  |
| Doors:   | No   | Signs:      | No  |
| Fencing: | No   |             |   |

Located in Old and Historic District: Yes

Site Plan for New Construction: N/A

Site Plan Location(s) of Proposed vs Current:

Site Plan Callouts w/Alteration(s) and Material(s):

Drawings for Alterations and/or New Construction: Yes

Drawings Contain Structures w/4 Elevations:

Drawings Contain Landscape Features:

Drawings Contain Dimensions:

Drawings Contain Callouts Proposed vs Existing:

Drawings Contain Callouts Material(s) and Color(s):

Driveway/Parking/Paving: No

Gutter and Downspouts: No

---

**Applicant Signature**

I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.

\_\_\_\_\_  
TJ Pruitt  
Name

\_\_\_\_\_  
03/20/2024  
Date

---

**Owner Affidavit**

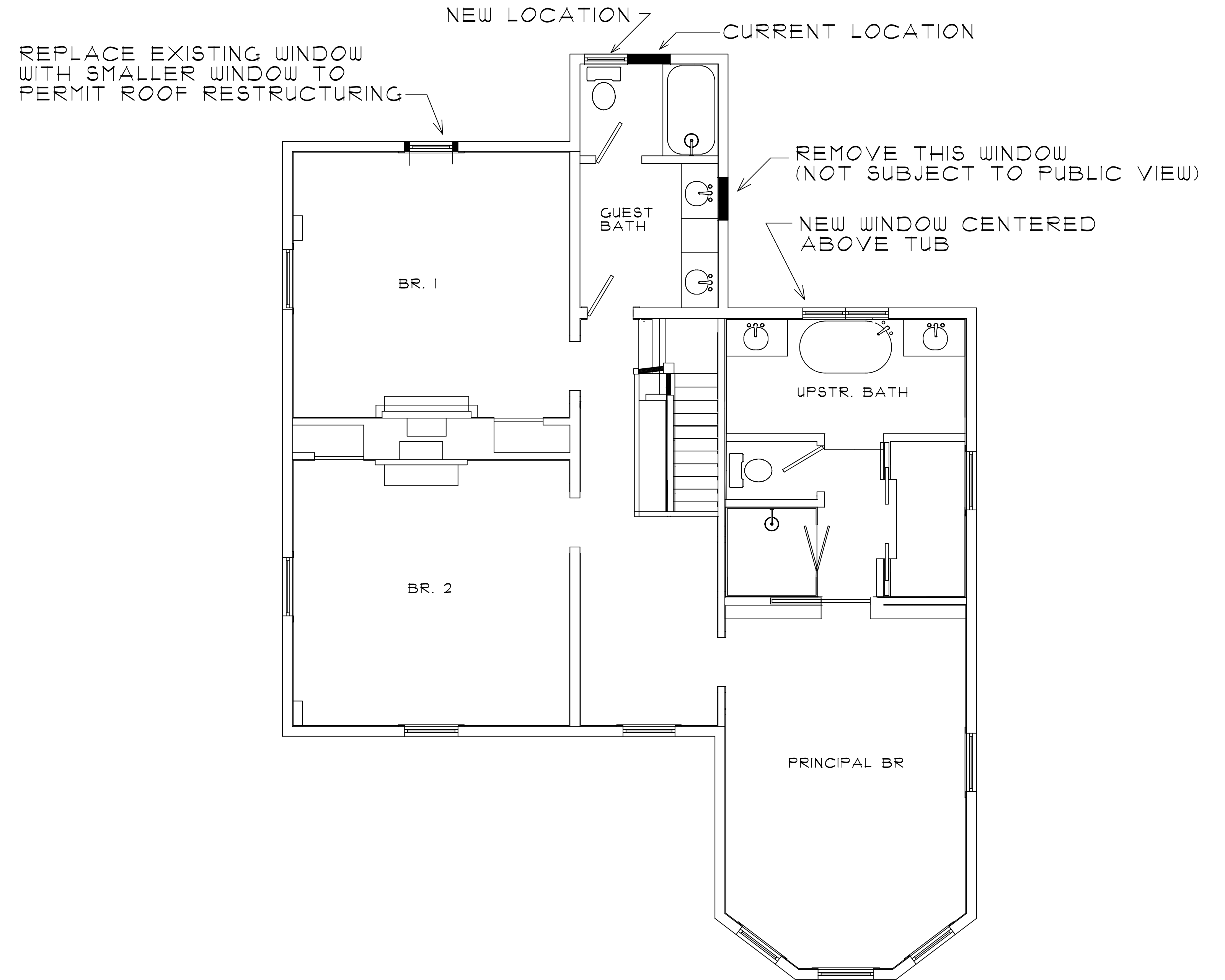
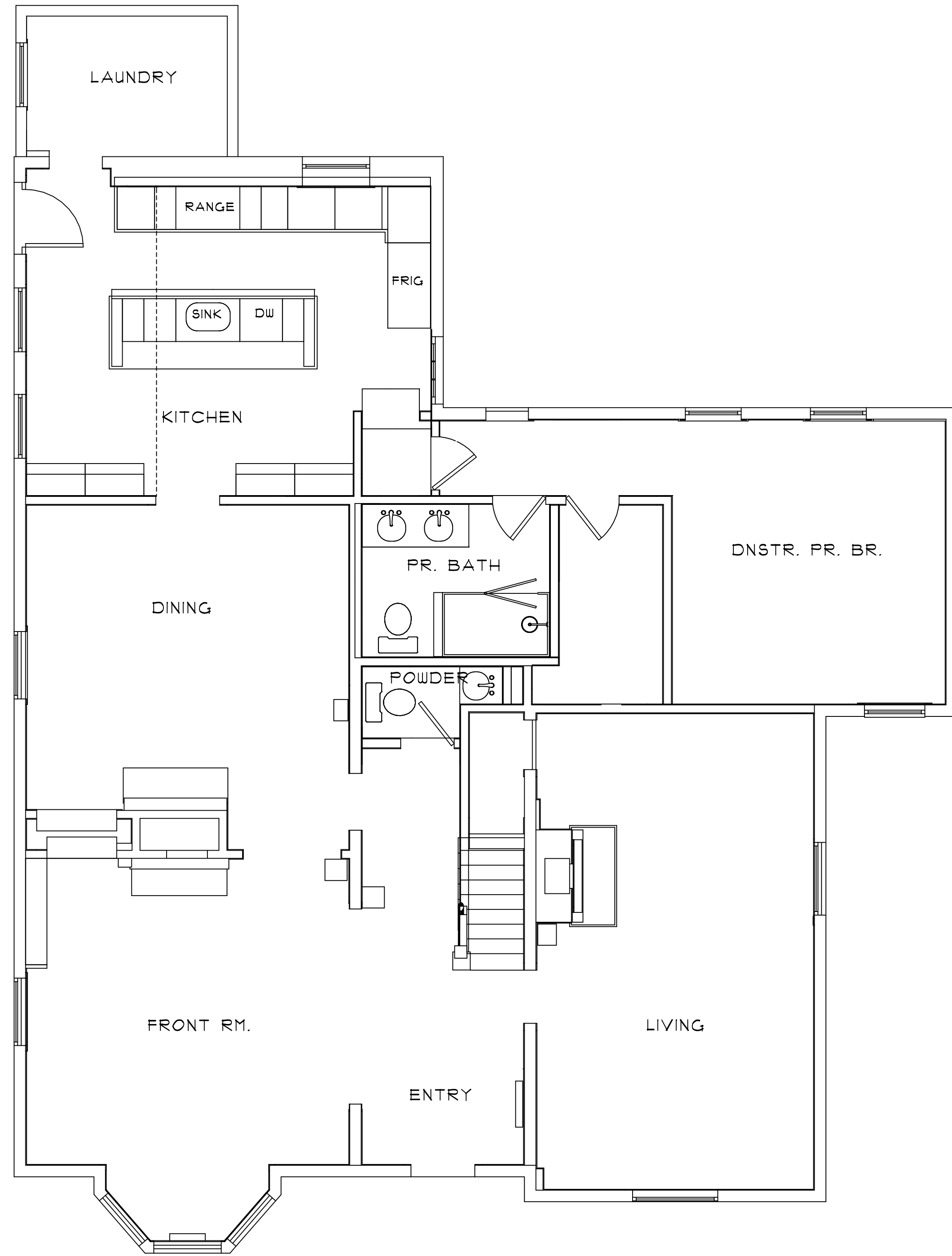
Property Owners or their designee (e.g., Lessees) that are applying as the applicant need to sign the Owner Affidavit section as well as the Applicant section.

My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.

\_\_\_\_\_  
Jon & Kathy Treadway  
Property Owner

\_\_\_\_\_  
03/20/2024  
Date





NOT FOR CONSTRUCTION

PEYTON BOYD  
ARCHITECT PC

P. O. BOX 2824  
ABINGDON VA 24210-2824

OFFICE A PLACE  
ABINGDON VA 24250

VOICE 276-698-2735  
pboyd@peytonboyard.com

RENOVATION TO:  
**JON & KATHY TREADWAY HOME**  
ABINGDON, VIRGINIA

FLOOR PLANS  
(DESIGN DEVELOPMENT)

SCALE: 1/4" = 1'-0"

DATE

DRAWING

DD.1

TWIN ENTERPRISES

# PROPOSAL TO MODIFY EXTERIOR

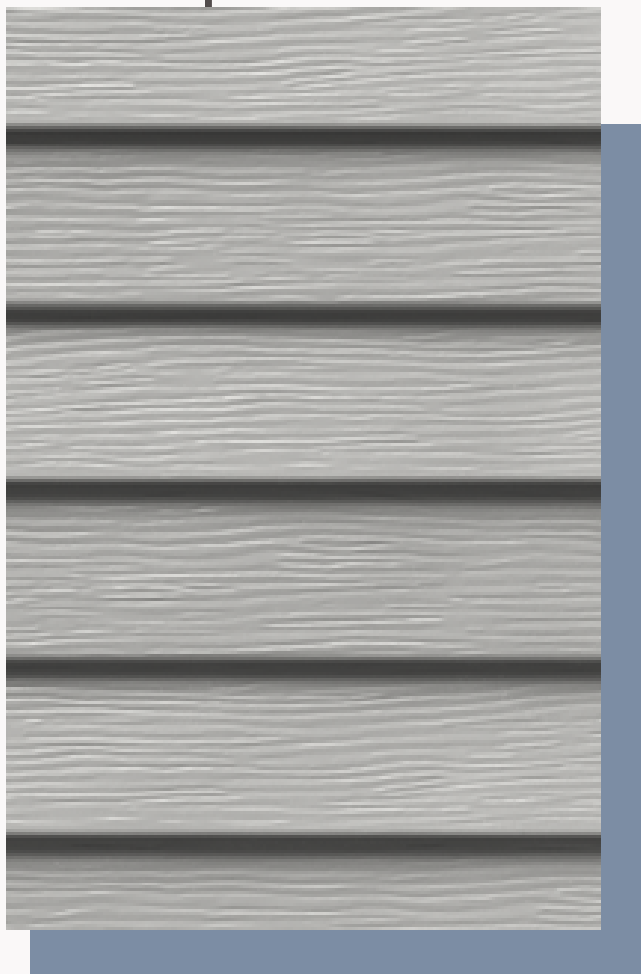


*Exterior  
Remodel  
Partnered with  
Melissa Golden  
Interiors.*

**255 Valley St.**  
NW, ABINGDON, VA 24210



ORDER WHITE & PAINT GRAY TO MATCH.



# SIDING MASTIC ENVOY

ALUMINUM  
SIDING

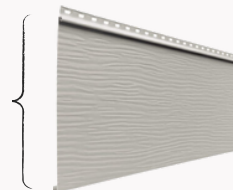
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*Single 8" Smooth*

From historic homes to commercial buildings, Envoy aluminum siding is a beautiful choice. With an ultra-tough finish over our thickest, high-grade aluminum panel, it outperforms the competition in the harshest weather. Best of all, Envoy is eco-friendly and 100 percent recyclable.



8"



TWIN ENTERPRISES | 255 VALLEY ST.

# WINDOWS

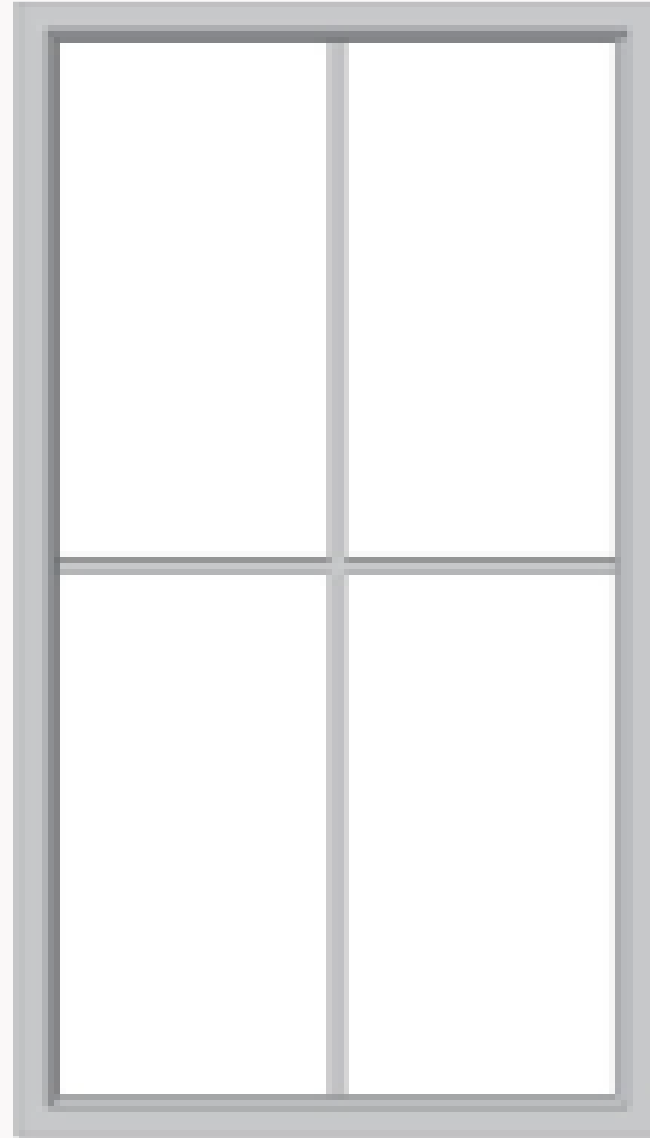
## PELLA LIFESTYLE

---

*Source product to match existing color & style. Wood-clad windows with Grid/Grille outside of glass.*



TWIN ENTERPRISES | 255 VALLEY ST.





# ROOFING

## ATLAS SHINGLES

---

*Source product to  
match existing color  
& style*



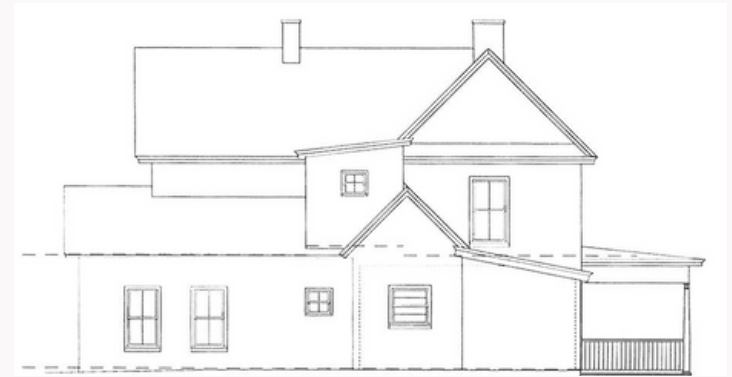
TWIN ENTERPRISES | 255 VALLEY ST.



# REAR ELEVATION

## PROPOSED MODIFICATION

REAR ELEVATION  
EXISTING  
EXTERIOR



» **TOP LEVEL:** Add two windows on the far left. Remove the small window on the left side of the bump-out, reposition the second small window (move to the right) then, match the siding to the existing exterior. Replace the far-right existing window with a smaller version.

» **BOTTOM LEVEL BUMP OUT:** Raise the roof 2' to allow more height and a single plane.



ADD 2 WINDOWS TO MATCH EXISTING

RELOCATE THIS WINDOW PATCH SIDING TO MATCH EXISTING

REPLACE EXISTING WINDOW WITH SMALLER WINDOW TO PERMIT ROOF RESTRUCTURING

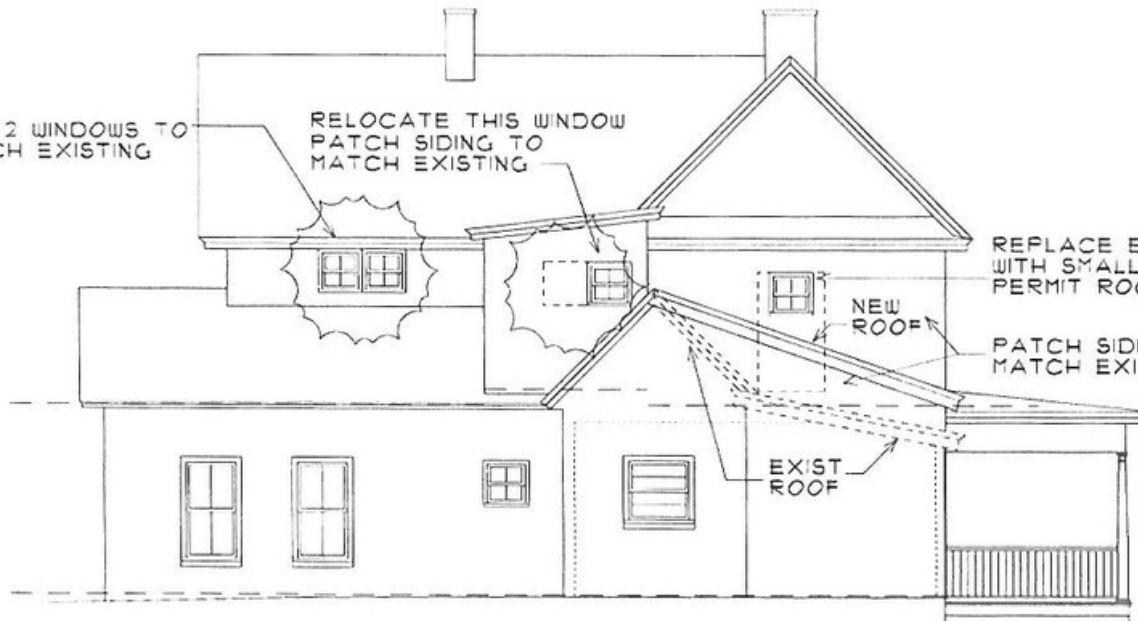
PATCH SIDING TO MATCH EXISTING

NEW ROOF

EXIST ROOF

NOTE:  
ELIMINATE DOG-LEG ROOF-  
NEW ROOF ALL IN ONE PLANE

REAR ELEVATION  
ALTERATIONS





# LEFT ELEVATION

## PROPOSED MODIFICATION

- » **LEFT ELEVATION:**  
Raise the eave on the  
bumpout two feet.



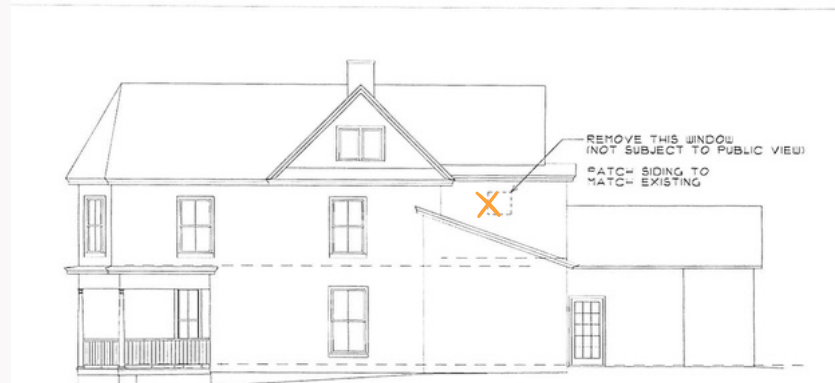
LEFT ELEVATION  
EXISTING EXTERIOR



# RIGHT ELEVATION

## PROPOSED MODIFICATION

» **RIGHT ELEVATION | TOP LEVEL**  
(Left to Right): Delete the small window (to the right, above the bump out). Patch area with siding to match),



RIGHT ELEVATION  
EXISTING EXTERIOR





# PROJECT RECAP



255 Valley St.  
NW, ABINGDON, VA 24210



## **SHINGLES**

Source product to match existing style & color.



## **WINDOWS**

Rear Elevation: Add two, delete one, move one, and change the size of another. Right Elevation: Delete two.



## **REPLACE SIDING**

Remove all existing siding on the bump-out/rear exterior on the first floor. Use excess for patching window removal. \*\*New siding to be installed and painted to match existing color.

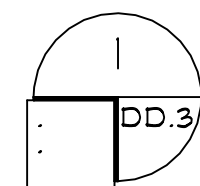


## **MODIFY SIDEWALL & ROOF DESIGN**

Raise eave 2' on bump-out connected to left and rear elevation.

NOTE:  
ELIMINATE DOG-LEG ROOF-  
NEW ROOF ALL IN ONE PLANE

RAISE EAVE  
APPROX. 2 FT.



LEFT ELEVATION

SCALE : 1/4" = 1'-0"

NOT FOR CONSTRUCTION

PEYTON BOYD  
ARCHITECT PC  
P. O. BOX 2824  
ABINGDON VA 24210-2824  
OFFICE: 703.441.1111  
FAX: 703.441.1112  
VOICE: 776.628.2735  
pboyd@peytonboyd.com

RENOVATION TO:  
JON & KATHY TREADWAY HOME  
ABINGDON, VIRGINIA

EXTERIOR ELEVATION  
(DESIGN DEVELOPMENT)

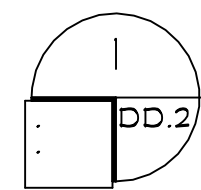
SCALE: 1/4" = 1'-0"

DATE

DRAWING

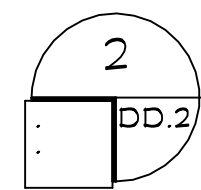
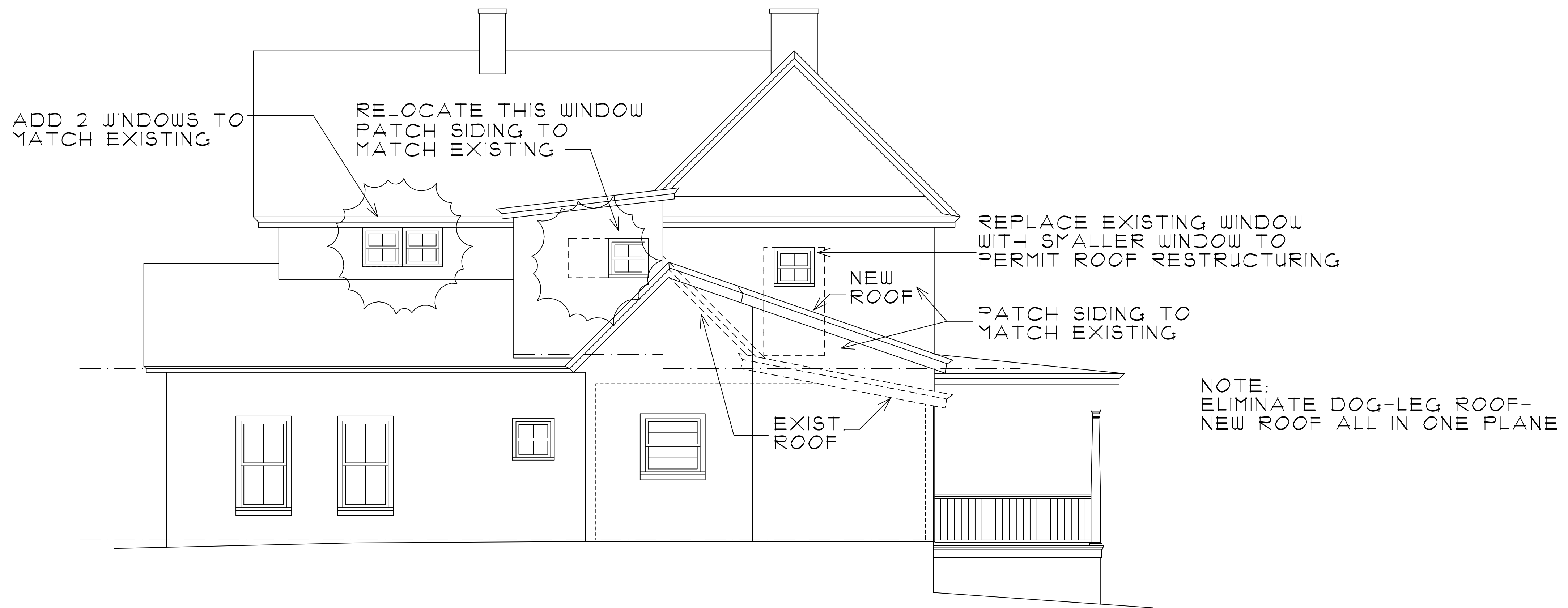
DD.3





**RIGHT ELEVATION**

SCALE : 1/4" = 1'-0"



**REAR ELEVATION**

SCALE : 1/4" = 1'-0"

NOT FOR CONSTRUCTION

PEYTON BOYD  
ARCHITECT PC  
P. O. BOX 2824  
ABINGDON VA 24210-2824  
OFFICES AT PLACE  
ABINGDON VA 24250  
VOICE 276-698-2793  
pboyd@peytonboyd.com

RENOVATION TO:  
**JON & KATHY TREADWAY HOME**  
ABINGDON, VIRGINIA

**EXISTING EXTERIOR**  
(DESIGN DEVELOPMENT)

SCALE: 1/4" = 1'-0"

DATE

DRAWING

**DD.2**



## MEMO

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**TO:** HISTORIC PRESERVATION REVIEW BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** COA/WAIVER VIOLATION (INAPPROPRIATE ROOF CLADDING ON FRONT PORCH)

**PUBLICATION DATE:** JUNE 26, 2024

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### COA/WAIVER VIOLATION:

A COA Application was submitted in December of 2023 for 108 E. Main Street requesting the following items.

- To permanently remove the existing front porch roof's wooden painted white balustrade.
- Replacement of existing half-round gutters and round downspouts on the front porch with new half-round gutters prefinished the same color, but replacements would be 1 in. larger than existing.
- Replace all the rotted and damaged wood on the front porch and paint it white to match existing. All wood will look the same as it does now.
- Replace the existing prefinished black standing seam metal roof with no ribs, striations, or exposed fasteners on the front porch with a new black standing seam roof to match existing.

Soon after the project was completed staff observed the roof cladding used is a prefinished black standing seam roof with striations and ribs. Pictures of the inappropriate roof cladding can be found on the next page of this memo. The installed roof cladding does not match the approved roof cladding material and is not allowed per the Design Guidelines.

Staff requests direction from the HPRB concerning if enforcement is required to bring the project into compliance with the terms of the approval.

See the attached COA Application, Staff Report, December 2023 COA/Decision Letter, and field photos as reference.





North elevation of 108 E. Main Street



Northwest elevation of wooden front porch





Replacement roof cladding with striations and ribs





## STAFF REPORT

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**TO:** ABINGDON HISTORIC PRESERVATION BOARD (HPRB)

**FROM:** GABRIEL CRISTOFARI, SENIOR PLANNER/GIS

**SUBJECT:** REQUEST FOR A CERTIFICATE OF APPROPRIATENESS TO REMOVE FRONT PORCH ROOF WOODEN BALUSTRADE

**PUBLICATION DATE:** NOVEMBER 29, 2023

**MEETING DATE:** DECEMBER 6, 2023

**LOCATION:** COUNCIL CHAMBERS, TOWN HALL  
133 WEST MAIN STREET, ABINGDON, VA

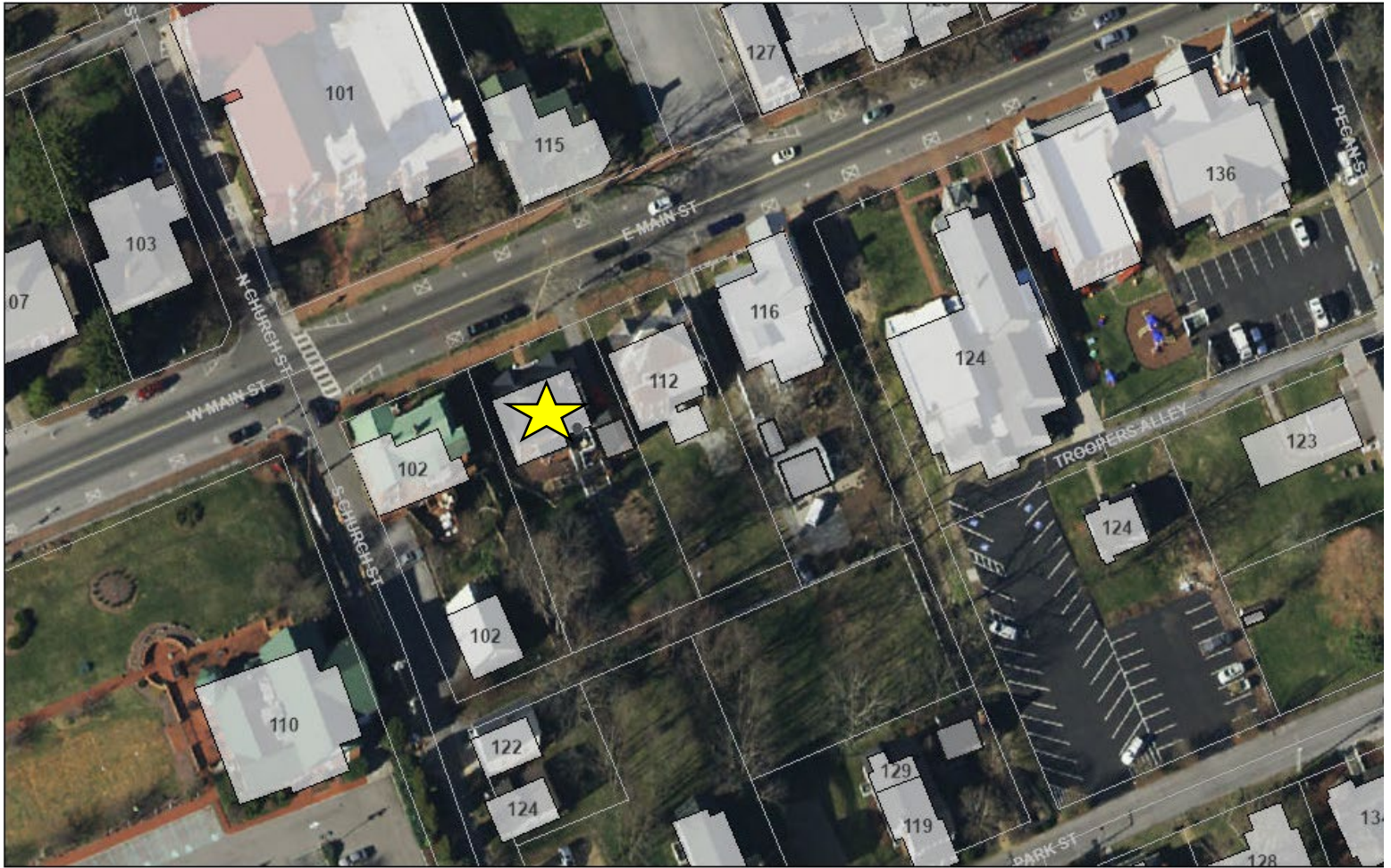
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**REQUEST:**

Mark Goodman (Owner/Applicant) has requested approval of a Certificate of Appropriateness to remove the front porch roof's wooden balustrade. The property is located at 108 E. Main Street (Parcel 012-1-101).

The property is within the Old and Historic Zoning District (Sub-District 1), Entrance Corridor Overlay, and can be seen from a public right of way therefore requiring the approval of the HPRB prior to completion.

**VICINITY MAP:**





**ENTRANCE CORRIDOR:**



View of E. Main Street looking East



View of E. Main Street looking West

**ZONING MAP:**





**STAFF FINDINGS:**

1. **Location.** The Subject Property contains approximately 0.279 acres and is legally described as LOT 6 MAIN ST (Tax Map No. 012-1-101). The parcel is located in the OH Civic/Business-Focused Subdistrict (Subdistrict 1).
2. **Background.** According to “Places In Time Volume II” by Nanci C. King the Sutton House was constructed sometime from 1893-1895 by John F. and Charles C. Sutton. The current 2 ½- story three bay wide brick building took the place of the removed Barr House, a 2-story brick house. The Barr House located on this lot was constructed in 1861 by John W. Barr.



108 E. Main Street as seen in “Places In Time Volume II” by Nanci C. King

3. **Access.** Access to the site will continue to be E. Main Street.
4. **Adjacent Land Uses/Zoning.** Adjoining properties are zoned Old & Historic District (OH) on all sides of the property.

## **5. Applicable Requirements of the Zoning Ordinance.**

### **General OH Old & Historic District Standards.**

*8-4 Certificate of appropriateness required to erect, construct, reconstruct, alter, restore, move or demolish a building.*

### **Design Review Guidelines.**

*The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.*

#### *33. Porches.*

- a. Porches which are intact and totally or partly original should not be replaced but repaired as needed, adhering to original design features in scale and placement and using original materials whenever possible to match the original. If the original design is unknown and cannot readily be determined, the owner should employ a traditional design which is compatible with the architectural style of the particular building to which the associated porch is planned, using appropriate materials and detailing.*
- b. New construction porches should employ a traditional design which is compatible with the architectural style and period of the particular associated building.*
- c. Porches on the front of buildings should not be enclosed with wood, 13 glass or other materials which would alter the porch's open appearance.*
- d. Porches should not be altered by replacing wood floors and steps with brick or concrete. However, masonry porch floors or masonry patio and terrace surfaces may use poured concrete steps.*
- e. Porches may be screened if:*
  - 1) The screen panels are placed behind the original features such as columns or railings.*
  - 2) The screen panels do not hide decorative details or result in the removal of original porch materials.*
  - 3) The structural framework for the screen panels is minimal, so that the open appearance of the porch is maintained.*



- f. *Open areas in the foundation of porches should be filled in as appropriate to the original design of the porch, or if the original design is unknown or totally new construction is involved, with decorative wood framed skirting, vertical slats or lattice panels of traditional design.*

34. *Porch Columns and Balustrades.*

- a. *Porch columns and balustrades should be preserved and maintained. Where repair is required, the owner should use materials to match the original dimensions and detailing. If the original columns and balustrades have been removed or replaced, the porch should be restored to its original design, or if that is unknown and cannot readily be determined, to a traditional design compatible with the architectural style of the associated building.*
- b. *Porch columns often deteriorate first at the bottom next to the porch floor, in which case the owner should consider removing and replacing the deteriorated area rather than replacing the entire column. Similarly, the deteriorated area may also be boxed in the case of square cross section porch columns, or the deteriorated wood repaired with wood epoxy.*
- c. *Front porches may require new balusters (also called spindles or pickets) for the balustrade, in which case the replacements should be of appropriate size and design for the building's style and period. Balusters should only be attached to the top and bottom rails, not to the floor or face of porch floor.*

**Staff Findings:**

**The applicant proposes to permanently remove the existing front porch roof's wooden balustrade painted white. According to the applicant the balustrade was replaced approximately 4 years ago and is causing related water damage to the front porch. This has caused significant wood damage over the years. Several beams were replaced in 2015 and more will need to be replaced now. The goal is to bring the porch back to its apparent 1913 appearance.**

**Other items related to the overall project that have been waived by staff include.**

- 1. Replacement of existing half-round gutters and round downspouts on the front porch with new half-round gutters prefinished the same color, but replacements would be 1 in. larger than existing.**
- 2. Replace all the rotted and damaged wood on the front porch and paint it white to match existing. All wood will look the same as it does now.**
- 3. Replace the existing prefinished black standing seam metal roof with no ribs, striations, or exposed fasteners on the front porch with a new black standing seam roof to match existing.**

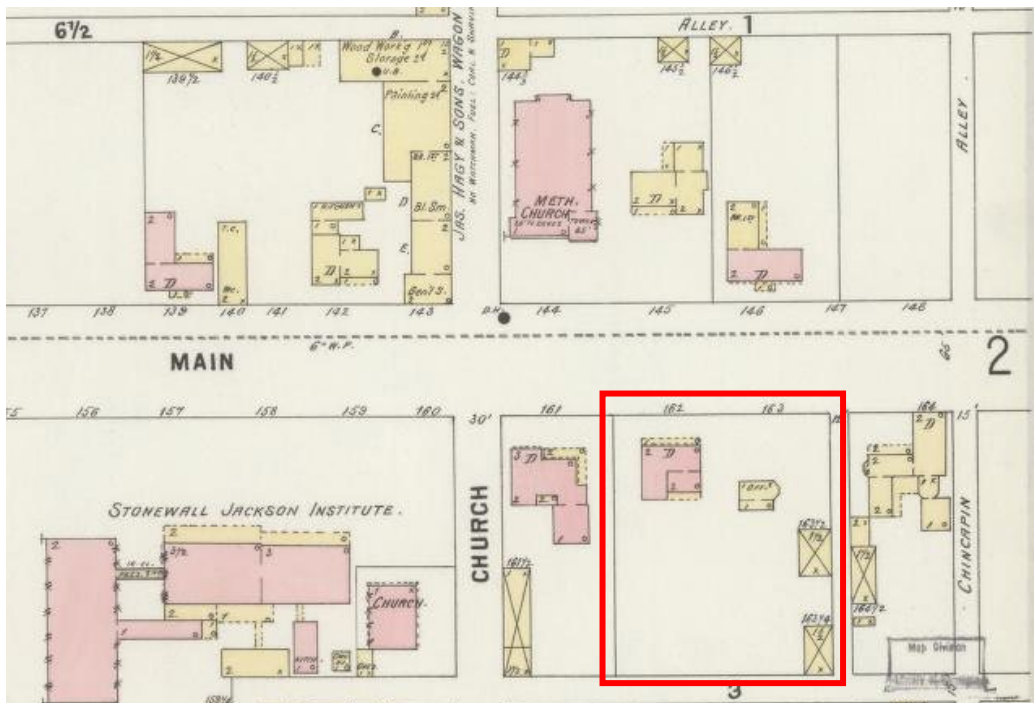
Through studying various Sanborn maps staff have observed the front porch for this building has gone through numerous iterations throughout the building's history. In 1897 the Sutton House had a wooden full length 1-story porch. By 1902 the wooden 1-story full length front porch was taken in on either side creating a partial full-length porch. Then in 1913 the center portion of the wooden full length 1-story porch was extended towards E. Main Street. The wooden 1-story partial full length front porch has maintained its 1913 footprint. Staff cannot confirm if the full-length front porch as seen in the 1897 Sanborn map was simply altered throughout the years or demolished and replaced.

According to "Places In Time Volume II" the Sutton House's front porch is shown with a standing seam metal roof but no balustrade. The roof shape of the front porch pictured below is cascading hipped, sheathed in standing seam metal.



108 E. Main Street as seen in "Places In Time Volume II" by Nanci C. King

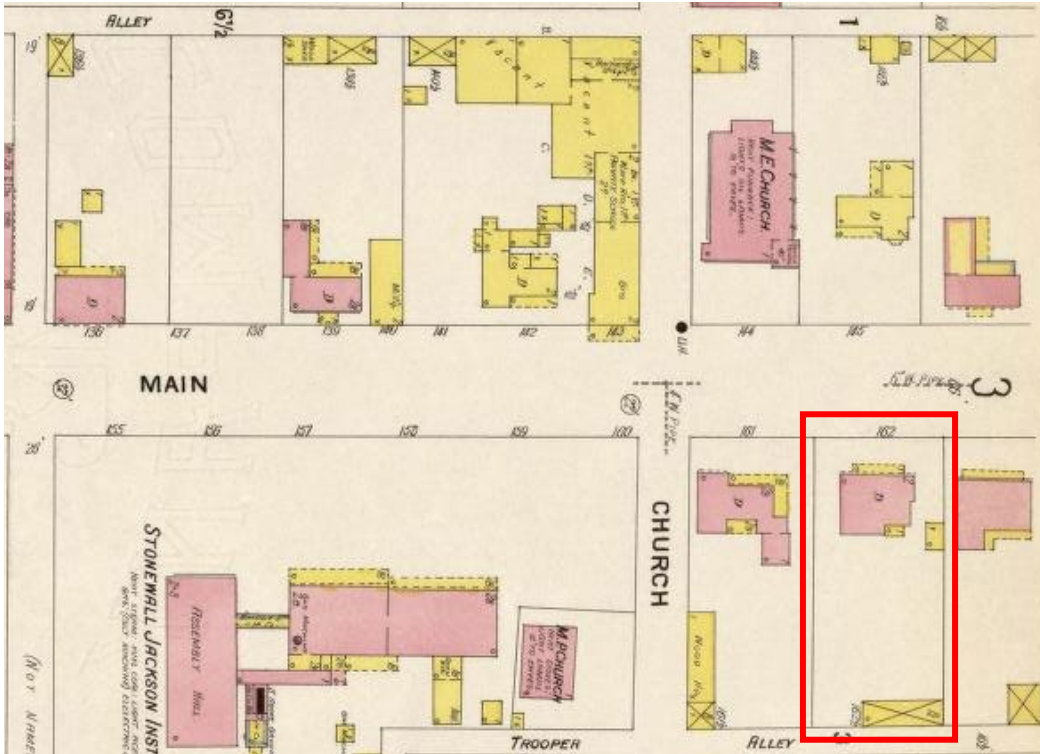




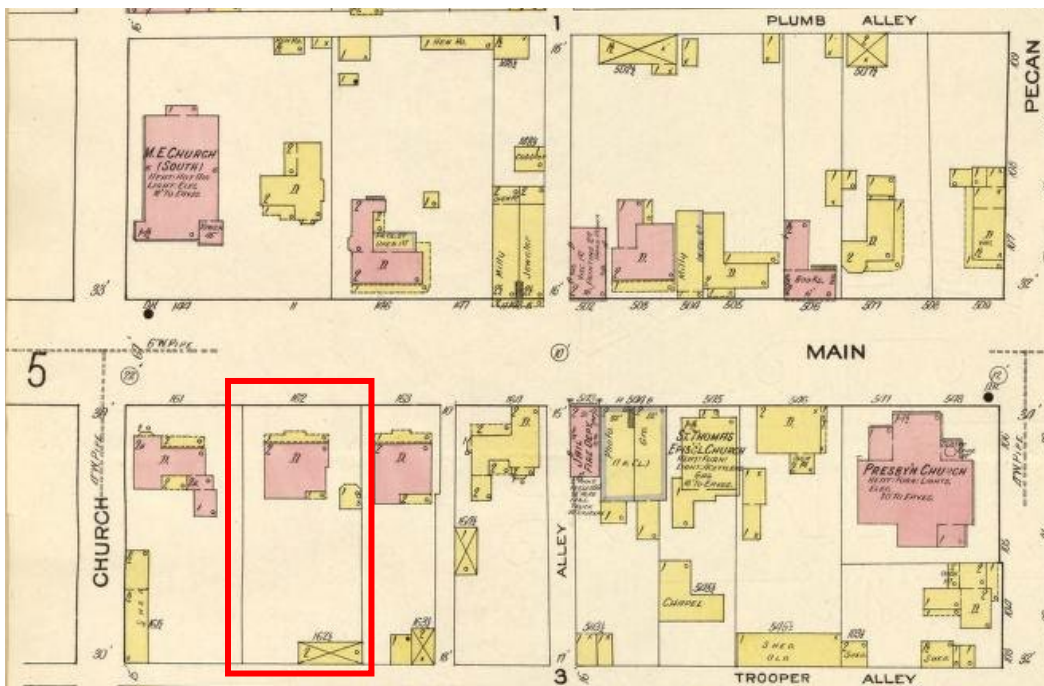
Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, July 1897. Map. [https://www.loc.gov/item/sanborn08966\\_003/](https://www.loc.gov/item/sanborn08966_003/).



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, November 1902. Map. [https://www.loc.gov/item/sanborn08966\\_004/](https://www.loc.gov/item/sanborn08966_004/).

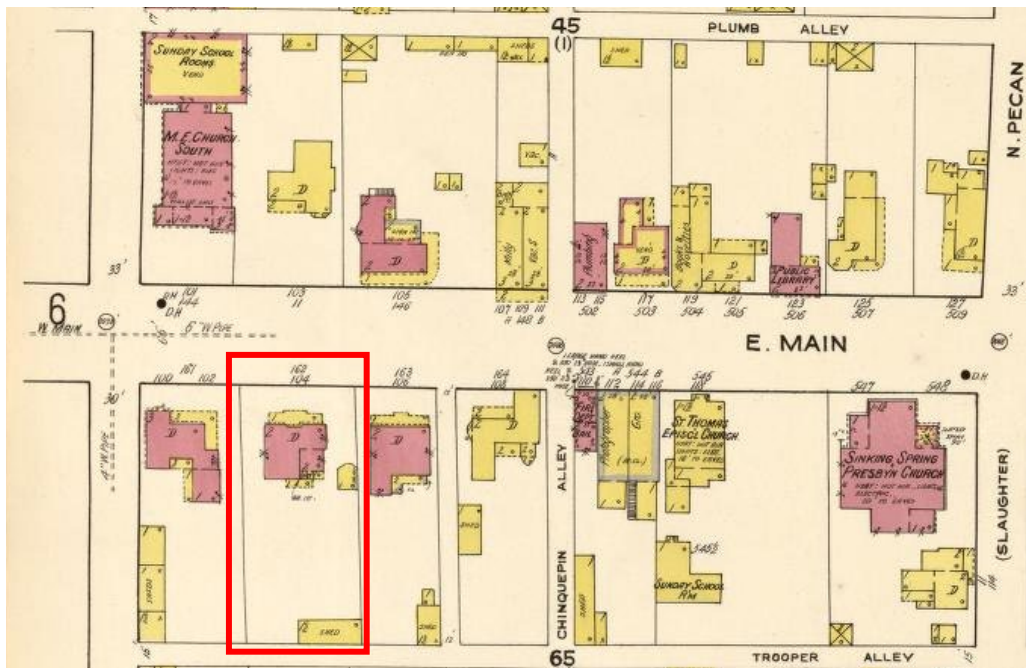


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, February 1908. Map. [https://www.loc.gov/item/sanborn08966\\_005/](https://www.loc.gov/item/sanborn08966_005/).

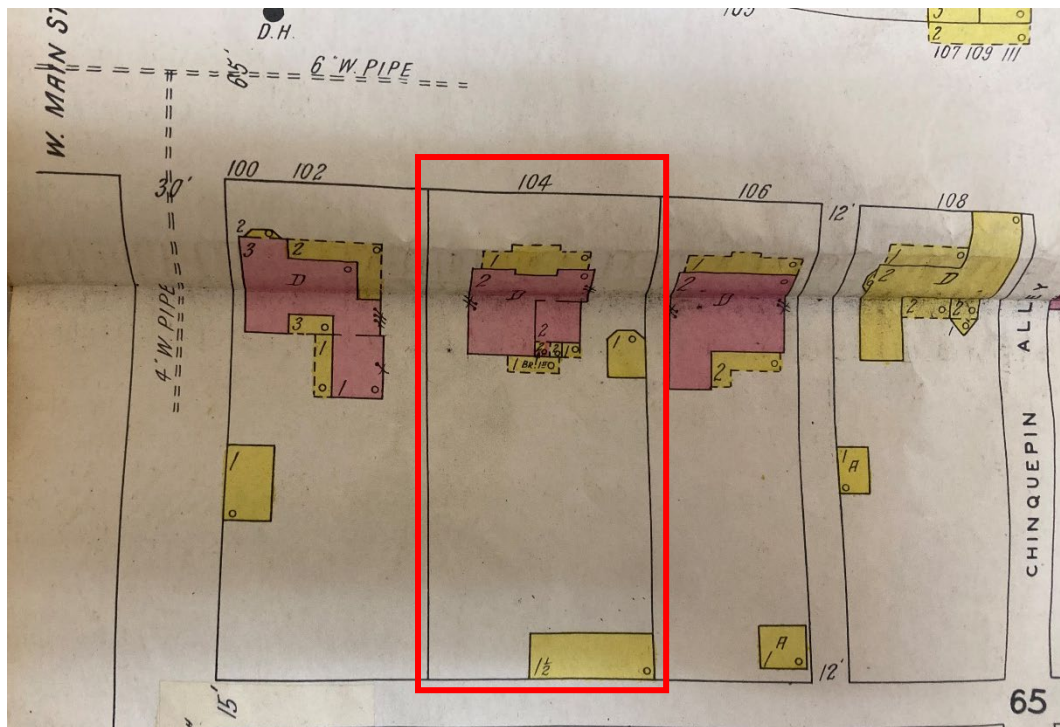


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, March 1913. Map. [https://www.loc.gov/item/sanborn08966\\_006/](https://www.loc.gov/item/sanborn08966_006/).



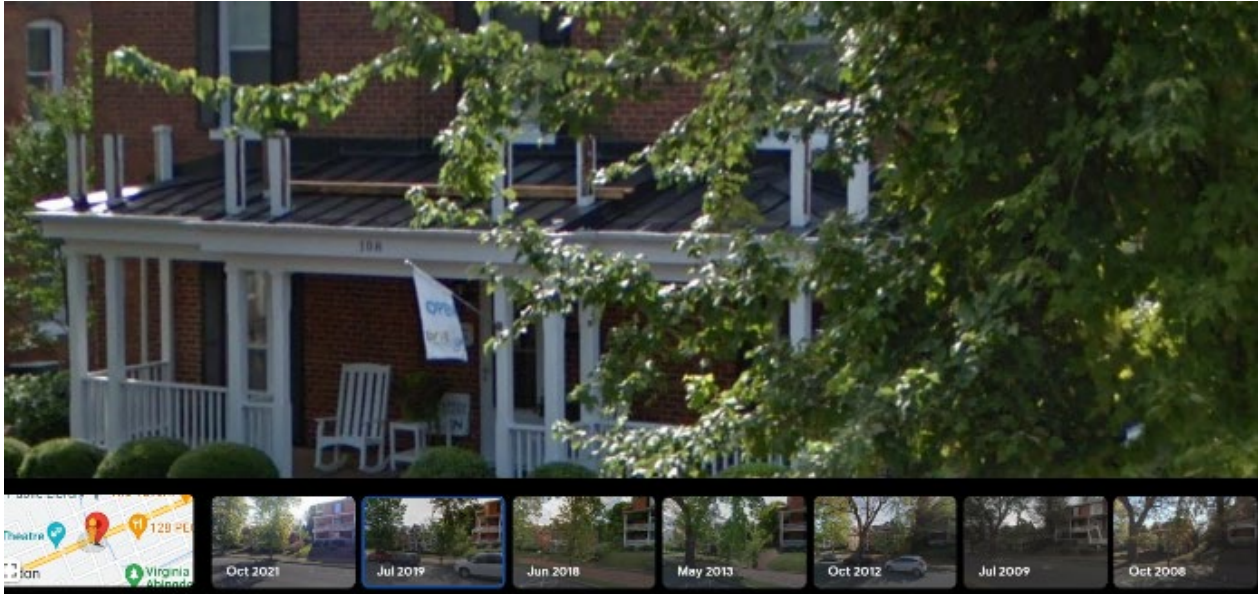


Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, June 1922. Map. [https://www.loc.gov/item/sanborn08966\\_007/](https://www.loc.gov/item/sanborn08966_007/).



Sanborn Fire Insurance Map from Abingdon, Washington County, Virginia. Sanborn Map Company, October 1928. Map

The current roof shape of the front porch is hipped with a centrally shaped rectangle extruding vertically.



2019 Google Street View

#### **REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:**

The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by staff for consideration by the HPRB:

**Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 108 E. Main Street, with approval subject to all applicable laws and regulations.

**Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-6 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 108 E. Main Street.

**Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue 108 E. Main Street Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).





# TOWN OF ABINGDON COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

|                        |
|------------------------|
| <b>Office Use Only</b> |
| Fees: \$ _____         |

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS for OLD AND HISTORIC DISTRICT

|                              |   |  |
|------------------------------|---|--|
| <b>Location of Property</b>  | Street Address<br><b>108 East Main Street</b>   |  |
|                              | City, State, Zip Code<br><b>Abingdon</b>  | Parcel Number                            |
| <b>Applicant Information</b> | Name<br><b>Mark Goodman</b>   |  |
|                              | Mailing Address, City, State, Zip Code<br><b>108 East Main Street, Abingdon, VA 24210</b>   |  |
|                              | Select Applicant Relation to Property below:<br><b>Property Owner</b><br><input type="checkbox"/> Property Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other:  | Phone<br><b>2766763110</b>               |
|                              |   | Email<br><b>mark@goodmanjewelers.com</b> |
| <b>Owner Information</b>     | Name of Owner<br><b>Mark Goodman LLC</b>  |  |
|                              | Mailing Address, City, State, Zip Code<br><b>108 East Main Street, Abingdon, VA 24210</b>   |  |
|                              | Name of Business (if applicable)<br><b>Goodman Jewelers of Abingdon, Inc</b>  |  |
|                              |   | Phone<br><b>276-676-3110</b>             |
|                              |   | Email<br><b>mark@goodmanjewelers.com</b> |
| <b>Project Description</b>   | 1) Is this property located in the Old and Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No<br><b>Yes</b>  |  |
|                              | 2) Have you completed and attached the following required items:<br><input type="checkbox"/> Yes   Site Plan for New Construction (more details below in number 3)<br><b>N/A</b><br><input type="checkbox"/> Yes   Drawings for Alterations and New Construction (more details below in number 4)<br><b>N/A</b>   |  |
|                              | 3) Does your Site Plan contain the following required items:<br><input type="checkbox"/> Yes   Location(s) of all proposed and current structures on property<br><input type="checkbox"/> Yes   Proposed landscape alterations denoted with callouts denoting what the alteration(s) are and the material(s) used   |  |
|                              | 4) Does your Drawings contain the following required items:<br><input type="checkbox"/> Yes   Drawings for structures with all four elevations showing what the completed proposed project would appear as<br><input type="checkbox"/> Yes   Drawings for landscape features (walls & fences) and signs<br><input type="checkbox"/> Yes   Dimensions (length, width & height) are required on all drawings for all structures<br><input type="checkbox"/> Yes   Drawing callouts to distinguish what is being proposed compared to what is existing<br><input type="checkbox"/> Yes   Callouts need to note the material(s) and color(s), if applicable, of any architectural feature related to the proposed project   |  |
| <b>Applicant Signature</b>   | I understand that the deadline for applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans and post public notices per VA code section 15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If applications is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application. Applicants need to submit a complete application with sufficient information to enable clear understanding of the proposal by the HPRB members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations, or changes will result in delays. |  |
|                              | I understand that I must be present at the HPRB Meeting on the date assigned by staff to present my proposal and that failure to attend may result in denial of my proposal by the members due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before received Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from that date of approval.  |  |
|                              | I understand if any changes to previously approved drawings or materials occurs for any reason, the applicant and/or representative must submit another Certificate of Appropriateness with the revised plans and materials for review by the HPRB. I further understand not complying will result in a stop work order.  |  |



# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

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|  |  |   |
|--|--|---|
| <p>I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.</p> |  |   |
| <p><b>Applicant (Print Name)</b><br/>Mark D, Goodman</p>   | <p><b>Signature of Applicant</b><br/></p>  | <p><b>Date</b><br/>November 1, 2023</p> |
| <b>Owner Affidavit</b>   | <p>My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.</p> |   |
| <p><b>Property Owner (Print Name)</b><br/>Mark Goodman LLC</p>   | <p><b>Signature of Property Owner</b><br/></p>   | <p><b>Date</b><br/>November 1, 2023</p> |

### CERTIFICATE OF APPROPRIATENESS SUBMITTAL MATERIALS CHECKLIST

| Check the Appropriate Boxes Below Related to Changes/Additions to be Made  | Required Submittal Materials   | Detailed Description |
|--|--|----------------------|
| <p><b>IMPORTANT:</b> Include a detailed description in the far left column of all requirements listed in the middle column pertaining to the appropriate boxes you check. (use additional sheets if necessary)</p> |  |                      |
| <p><input type="checkbox"/> <b>Awning</b><br/>No</p>   | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Color of material</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol> |                      |





# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

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|  |  |   |
|--|--|---|
| <input type="checkbox"/> <b>Chimney</b><br>No                            | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Type of brick, sample needed</li> <li>3. Type of mortar, sample needed</li> <li>4. Dimensions (length, width &amp; height)</li> </ol>   |   |
| <input type="checkbox"/> <b>Cornice</b><br>No                            | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Color of material</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol>           |   |
| <input type="checkbox"/> <b>Decks</b><br>No                              | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> <li>6. Mechanism of attachment to structure</li> </ol> |   |
| <input type="checkbox"/> <b>Driveway, Parking and Paving</b><br>No       | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Material</li> <li>3. Dimensions (length, width &amp; height)</li> </ol>   |   |
| <input type="checkbox"/> <b>Doors Residential &amp; Commercial</b><br>No | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>  |   |
| <input type="checkbox"/> <b>Fences</b><br>No                             | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>  |   |
| <input type="checkbox"/> <b>Foundation</b><br>No                         | <ol style="list-style-type: none"> <li>1. Material</li> <li>2. Paint color with applicable</li> <li>3. Dimensions (length, width &amp; height)</li> </ol>  |   |
| <input type="checkbox"/> <b>Gutter &amp; Downspouts</b><br>Yes           | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>  | <p>Replace the current half-round gutter on the front porch with new half-round gutter, same white gold, 1 inch larger than the current gutter. New 1 inch larger downspouts. Replace all rotted and damaged wood on the front porch and paint back to the same</p> |



# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

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|  |  |   |
|--|--|---|
|  |  | white color. All wood would look the same as it does now. Remove the upper railing on the front porch. It was replaced approximately 4 years ago and is leaking and rotting again. This has caused significant wood damage over the years. Several beams were replaced in 2015 and more will need to be replaced now. Bring the porch back to it's look of 1913. We may need to add |
| <input type="checkbox"/> <b>Lighting</b><br>No | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            |   |
| <input type="checkbox"/> <b>Roof</b><br>Yes    | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Material</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                            | Replace the roof on the front porch with a new black standing seam roof. The current roof has many holes in it for the upper railing and is leaking. We need to remove the upper railing and put on a new roof.   |
| <input type="checkbox"/> <b>Windows</b><br>No  | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Materials</li> <li>4. Type of glass</li> <li>5. Paint color with applicable</li> <li>6. Dimensions (length, width &amp; height)</li> </ol> |   |
| <input type="checkbox"/> <b>Signs</b><br>No    | <ol style="list-style-type: none"> <li>1. Location</li> <li>2. Style/Design</li> <li>3. Materials</li> <li>4. Paint color with applicable</li> <li>5. Dimensions (length, width &amp; height)</li> </ol>                           |   |

**Attachment for Site Plan:** , MB

**Attachment for Drawings:** , MB





Certificate of Appropriateness  
Town of Abingdon Historic Preservation  
Review Board

Project Address: 108 E. Main  
Street

Tax Map#: 012-1-101

Applicant: Mark Goodman

Historic Preservation Review Board

Meeting: December 6, 2023

Action Taken By Historic Preservation Review Board

Disapproved (See below for explanation)

Approved with Modifications (See below for explanation)

Approved (As presented, with no modifications)

**Approval Modifications / Conditions:**

1. The existing front porch metal standing seam roof prefinished black with no ribs, striations, or exposed fasteners, will be replaced with a metal standing seam roof prefinished black with no ribs, striations, or exposed fasteners to match existing.
2. The existing front porch roof's shape will remain the same as existing.
3. The existing wooden painted white balustrade will be removed and not replaced.
4. The applicant reached out to staff on 12/7/2023 about wanting to place roof cleats on the front porch matching the roof cleats found on the main building's roof. Staff approved the installation of the roof cleats on the front porch to match existing cleats found on the main building's roof.

**Next Step(s):**

1. Apply for any and all required Building Permits.

**Signature:** *Gabe Cristofari*

Date: 12/11/2023

Senior Planner/GJS

Town of Abingdon

Historic Preservation Review Board

THIS CERTIFICATE OF APPROPRIATENESS IS VALID FOR A PERIOD OF ONE (1) YEAR FROM THE DATE ABOVE. IF YOUR PROJECT HAS NOT COMMENCED WITHIN THIS ONE-YEAR PERIOD, PLEASE CONTACT THE TOWN OF ABINGDON COMMUNITY DEVELOPMENT DEPARTMENT TO DISCUSS AN EXTENSION.





**TOWN OF ABINGDON**

133 WEST MAIN STREET • P. O. BOX 789 • ABINGDON, VIRGINIA • 24212  
gcrstofari@abingdon-va.gov  
276.492.2234  
Community Development Department

December 11, 2023

Mark Goodman  
108 E. Main Street  
Abingdon, VA 24210

Re: Certificate of Appropriateness 108 E. Main Street, Abingdon, Virginia

Dear Mark Goodman:

This letter is being provided to you, per requirements under the Town of Abingdon Code of Ordinances §3-6, to serve as notice regarding the decision(s) rendered by the Historic Preservation Review Board at its December 6, 2023, meeting with regard to the above referenced site and the application for a Certificate of Appropriateness for front porch roof replacement.

The Historic Preservation Review Board voted unanimously to recommend approval with the following conditions.

1. The existing front porch metal standing seam roof prefinished black with no ribs, striations, or exposed fasteners, will be replaced with a metal standing seam roof prefinished black with no ribs, striations, or exposed fasteners to match existing.
2. The existing front porch roof's shape will remain the same as existing.
3. The existing wooden painted white balustrade will be removed and not replaced.
4. The applicant reached out to staff on 12/7/2023 about wanting to place roof cleats on the front porch matching the roof cleats found on the main building's roof. Staff approved the installation of the roof cleats on the front porch to match existing cleats found on the main building's roof.

**Next Step(s):**

1. Apply for any and all required Building Permits.

Please see the attached Certificate of Appropriateness Approval Sheet provided for reference. If any of the above features are proposed to be altered there may need to be additional review by the HPRB.

Please do not hesitate to contact our offices should you have questions or concerns regarding this matter.

Sincerely,

A handwritten signature in cursive script that reads "Gabe Cristofari".

Gabriel Cristofari  
Senior Planner/GIS  
Town of Abingdon, VA





# Waiver for Certificate of Appropriateness Application

Date: 05/30/2024

## Location of Property

|                   |                    |         |          |
|-------------------|--------------------|---------|----------|
| Street Address:   | 117 W Valley St.   | Parcel: | 012-1-25 |
| City, State, Zip: | Abingdon, VA 24210 |         |          |

## Applicant / Owner

|                   |                            |                   |                            |
|-------------------|----------------------------|-------------------|----------------------------|
| Applicant Name:   | Peyton Boyd                | Owner Name:       | James Peyton Boyd, Jr.     |
| Address:          | 117 W Valley St.           | Address:          | 117 W Valley St.           |
| City, State, Zip: | Abingdon, VA 24210         | City, State, Zip: | Abingdon, VA 24210         |
| Phone:            | 276-608-3095               | Phone:            | 276-608-3095               |
| Email:            | pbarchitect@peytonboyd.com | Email:            | pbarchitect@peytonboyd.com |
| Relation:         | Property Owner             | Business:         |                            |

## Project

|            |                          |            |                                     |
|------------|--------------------------|------------|-------------------------------------|
| Subject A: | <input type="checkbox"/> | Subject E: | <input type="checkbox"/>            |
| Subject B: | <input type="checkbox"/> | Subject F: | <input type="checkbox"/>            |
| Subject C: | <input type="checkbox"/> | Subject G: | <input checked="" type="checkbox"/> |
| Subject D: | <input type="checkbox"/> | Plans:     | N/A                                 |

Description: Brick chimney above roof ridge and front porch brick steps repaired using Portland cement-based mortar to match existing.

Items and Details: 1) Reconstruction of brick chimney above roof ridge (like for like) 2) Reconstruction of brick front porch steps (like for like)

I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that the code official or his authorized representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.

James Peyton Boyd, Jr.  
Name

05/30/2024  
Date

Property Owners or their designee (e.g., Lessees) that are applying as the applicant need to sign the Owner Affidavit section as well as the Applicant section.

My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.

James Peyton Boyd, Jr.  
Date

05/30/2024  
Date



# Waiver for Certificate of Appropriateness

## General/Location

|                      |            |                        |                      |
|----------------------|------------|------------------------|----------------------|
| <b>Permit No:</b>    | 20242136   | <b>Site Address:</b>   | 117 W. Valley Street |
| <b>Permit Date:</b>  | 05/30/2024 | <b>City/State/Zip:</b> | Abingdon, VA 24210   |
| <b>Use Type:</b>     |            | <b>Parcel No:</b>      | 012-1-25             |
| <b>Project Cost:</b> | 0          | <b>Lot:</b>            |                      |
|                      |            | <b>Subdivision:</b>    |                      |

## Applicant

|                          |                      |                        |                            |
|--------------------------|----------------------|------------------------|----------------------------|
| <b>Name:</b>             | Peyton Boyd          | <b>Bus. Phone:</b>     |                            |
| <b>Mailing Addr.:</b>    | 117 W. Valley Street | <b>Email:</b>          | pbarchitect@peytonboyd.com |
| <b>City, State, Zip:</b> | Abingdon, VA 24210   | <b>Prop. Relation:</b> | Property Owner             |
| <b>Phone:</b>            | 276-608-3095         |                        |                            |

**Applicant Proposal:** 1) Reconstruction of brick chimney above roof ridge (like for like). 2) Reconstruction of brick front porch steps (like for like).

## Owner Information

|                        |                        |                       |                            |
|------------------------|------------------------|-----------------------|----------------------------|
| <b>Owner:</b>          | James Peyton Boyd, Jr. | <b>Phone:</b>         | 276-608-3095               |
| <b>Address:</b>        | 117 W. Valley Street   | <b>Email:</b>         | pbarchitect@peytonboyd.com |
| <b>City/State/Zip:</b> | Abingdon, VA 24210     | <b>Business Name:</b> |                            |

## Approved

Reasoning: The existing partially collapsed brick chimney above the ridge line will be reconstructed/repared using bricks that had broken away from the chimney, a like for like repair. The brick front porch steps will be reconstructed/repared using both existing brick or new brick to match the existing found beyond repair. The front porch brick steps must maintain the the existing 1/4 in. lip/nosing. Both reconstructions/repairs will use a Portland cement-based mortar to match existing.

*Gabe Cristofari*  
Official Signature

06/06/2024  
Date

























**TOWN OF ABINGDON**  
**COMMUNITY DEVELOPMENT**

|                        |
|------------------------|
| <b>Office Use Only</b> |
| Fees: \$ _____         |

Building • Planning • Code Enforcement

**APPLICATION FOR WAIVER OF CERTIFICATE OF APPROPRIATENESS**

|  |   |   |
|--|---|---|
| <b>Location of Property</b>                                  | Street Address<br><b>158 VALLEY STREET NW</b>   |   |
|  | City, State, Zip Code<br><b>ABINGDON VA 24210</b>   | Parcel Number                             |
| <b>Applicant Information</b>                                 | Name<br><b>CHARLES W. GOOLSBY (PRES) GOOLSBY RENTALS LLC</b>  |   |
|  | Phone<br><b>276 356 6822</b>  |   |
|  | Mailing Address, City, State, Zip Code<br><b>158 VALLEY ST. NW Abingdon, VA 24210</b>   |   |
| Select Applicant Relation to Property below:<br><b>OWNER</b> |   | Email<br><b>charleswgoolsby@gmail.com</b> |
| <b>Owner Information</b>                                     | Name of Owner<br><b>CHARLES W. GOOLSBY (PRES) GOOLSBY RENTALS LLC</b>   |   |
|  | Phone<br><b>276 356 6822</b>  |   |
|  | Mailing Address, City, State, Zip Code<br><b>158 VALLEY STREET NW Abingdon VA 24210</b>   |   |
|  | Name of Business (if applicable)<br><b>Goolsby Rentals LLC</b>  | Email<br><b>charleswgoolsby@gmail.com</b> |
| <b>Important Information</b>                                 | <p>Application is hereby made for waiver of Certificate of Appropriateness under Article 8, Section 8-4-1, (b) of the Zoning Ordinance of the Town of Abingdon. Such waiver is limited to the following under the Guidelines adopted on May 5, 2004 by the Board of Architectural Review as follows:</p> <ul style="list-style-type: none"> <li>➤ The Zoning Administrator of the Town may determine that certain minor actions involving buildings and structures within the Old and Historic District and/or Entrance Corridor will have no permanent effect on the character of the District, and, by written waivers exempt the minor actions from review by the Board of Architectural Review. Such minor action shall be limited to the following:           <ul style="list-style-type: none"> <li>A. Repainting in a paint scheme that duplicates the existing paint colors. Provided, however,               <ul style="list-style-type: none"> <li>• The paint used should be of high quality to provide long lasting finish.</li> <li>• Paint colors should be appropriate for the building or structure's architectural style and design, as to which the Board of Architectural Review will provide recommendations at the owner's request.</li> <li>• Unpainted masonry should be left unpainted.</li> </ul> </li> <li>B. Addition or deletion of storm windows and doors, window gardens, awnings, temporary canopies, window air conditioners, or similar appurtenances.</li> <li>C. Addition or deletion of television or radio antennas, skylights, or solar collectors in locations not visible from a public street, right-of-way, or place.</li> <li>D. Any alterations or other changes within the building or structure, which are not visible from a public street, right-of-way, or place.</li> <li>E. Relocation of heating and cooling systems on the property provided they are screened per the Design Guidelines.</li> <li>F. Planting of grass, trees, or shrubs, and other landscape improvements, excluding, however, any landscape, or involve construction of fences, walls, walkways, pools, fountains, and like improvements, which might affect the appearance of the site.</li> <li>G. Repair/replacement using materials that replicate existing material.</li> </ul> </li> </ul> |   |
| <b>Project Description</b>                                   | <p>What is the subject of this request from the list above in Important Information:<br/>List Item(s) and Details</p> <p>1) <b>Replace Back exterior staircase - Replicate the existing stairs.</b></p>   |   |

Continued on Page 2





# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

|                            |   |  |                    |  |
|----------------------------|---|--|--------------------|--|
|                            | 2)  | Have you included the appropriate drawings, plans, or other depiction of the proposed addition, deletion, or other alterations; together with samples of the materials and colors to be used in taking the minor actions?<br><i>See A Hatched Photo - New stairs will replicate current ones with same materials/colors.</i> |                    |  |
| <b>Applicant Signature</b> | I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that the code official or his authorized representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below. |  |                    |  |
|                            | Applicant (Print Name)  | Signature of Applicant   | Date               |  |
|                            | <i>CHARLES W. GOOLSBY</i>   | <i>[Signature]</i>   | <i>5/25/2024</i>   |  |
| <b>Owner Affidavit</b>     | My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.   |  |                    |  |
|                            | Property Owner (Print Name)   | Signature of Property Owner  | Date               |  |
|                            | <i>GOOLSBY Rentals LLC</i>  | <i>GOOLSBY Rentals LLC by [Signature], Pres.</i>   | <i>5/25/2024</i>   |  |
| <b>Office Use Only</b>     | <input type="checkbox"/> Approved<br><input type="checkbox"/> Denied  |  | Official Signature |  |
|                            | Reasoning:  |  |                    |  |









**TOWN OF ABINGDON**  
**COMMUNITY DEVELOPMENT**

|                        |
|------------------------|
| <b>Office Use Only</b> |
| Fees: \$ _____         |

Building • Planning • Code Enforcement

**APPLICATION FOR WAIVER OF CERTIFICATE OF APPROPRIATENESS**

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Continued on Page 2



# TOWN OF ABINGDON

## COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

|                            |   |  |                        |                 |
|----------------------------|---|--|------------------------|-----------------|
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| <b>Applicant Signature</b> | I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that the code official or his authorized representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below. |  |                        |                 |
|                            | Applicant (Print Name)  | Signature of Applicant   | Date                   |                 |
|                            | <i>CHARLES W. GOOLSBY</i>   | <i>[Signature]</i>   | <i>5/25/2024</i>       |                 |
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|                            | Property Owner (Print Name)   | Signature of Property Owner  | Date                   |                 |
|                            | <i>GOOLSBY Rentals LLC</i>  | <i>GOOLSBY Rentals LLC by [Signature], Pres.</i>   | <i>5/25/2024</i>       |                 |
| <b>Office Use Only</b>     | <input type="checkbox"/> Approved<br><input checked="" type="checkbox"/> Denied <b>Approved</b>   |  | Official Signature     | Date            |
|                            | Reasoning:<br>The western wooden newel post painted white will be replaced with a wooden newel post painted white to match the existing in material, design, and appearance. The unpainted wooden steps will be replaced with unpainted wooden steps matching the existing in material, design, and appearance.   |  | <i>Gabe Cristofari</i> | <i>6/6/2024</i> |



































