



**TOWN OF ABINGDON, VIRGINIA
PLANNING COMMISSION MEETING
MONDAY, JANUARY 22, 2024 – 5:30 P.M.
REGULAR MEETING – COUNCIL CHAMBERS
MUNICIPAL BUILDING, 133 W. MAIN STREET
CONTACT: GABRIEL CRISTOFARI
email: gcristofari@abingdon-va.gov
Phone: 276-628-3167**

Welcome to the Town of Abingdon, Virginia Planning Commission Regular Meeting. We appreciate your interest and we encourage public participation in our meeting. Your comments are important to our decision making process. Please note that there will be opportunities during the meeting for you to address the Commission members. The first opportunity will come if there is a public hearing on the agenda when the Chairman declares the hearing open for comment. The second opportunity to address the Commission will come near the end of the agenda when the Chairman will inquire if anyone wishes to address the members of the Commission. Anyone addressing the Commission will approach the podium; give your first and last name and your complete physical address. Comments must be limited to three minutes.

- A. WELCOME – Kenny Shuman**
- B. ROLL CALL – Mayana Rice, Assistant Town Manager**
- C. APPROVAL OF MINUTES: REGULAR MEETING, DECEMBER 18, 2023**
 - December 18, 2023, Regular Meeting**
- D. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA**
- E. CERTIFICATE OF APPROPRIATENESS**
 - 1. Certificate of Appropriateness – Young & Associates, Inc., 5583 Bobby Hicks Hwy Suite 111, Johnson City, TN 37615. Owner. Trish Thompson, Skyway Outdoor Inc.; Applicant. Certificate of Appropriateness for Signage. Located at 480 Cummings Street, Abingdon, VA 24210. Tax Map ID (020-10-2)**

A. Staff report – Caleb Conklin

B. Applicant presentation

C. Public comment concerning item

D. PC discussion and decision

2. *Certificate of Appropriateness – Abingdon Development Company, Inc. Owner. Tumbling Creek Cider Company and Delta Blues Drafthouse; Applicant. Certificate of Appropriateness for Signage. Located at 238 W. Main Street, Abingdon, VA 24210. Tax Map ID (012-1-127)*

A. Staff report – Mayana Rice

B. Applicant presentation

C. Public comment concerning item

D. PC discussion and decision

F. OLD BUSINESS/MATTERS NOT ON THE AGENDA

G. ANNOUNCEMENTS

H. ADJOURNMENT

**TOWN OF ABINGDON
PLANNING COMMISSION
MONDAY, DECEMBER 18, 2023, 5:30 PM
COUNCIL CHAMBERS, MUNICIPAL BUILDING**

A meeting of the Abingdon Planning Commission was held on Monday, December 18, 2023,
at 5:30 PM in the Council Chambers of the Municipal Building.

- A. Kenny Shuman – Chairman called the meeting to Order**
- B. Roll Call – Gabe Cristofari, Senior Planner/GIS**

Members Present:

Mr. Wayne Austin	Present
Mr. Kenny Shuman	Present
Mr. Jeff Johnson	Present
Mr. Scott Wilson	Present
Mr. Kirk Sproles	Present
Mr. Chad Pennington	Present

Members Absent:

Mr. Michael Weaver	Absent
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Comprising a quorum of the Commission – Yes

Administrative Staff Present:

Mr. Gabe Cristofari – Senior Planner/GIS
Mr. Caleb Conklin – Planner I

Guests: None

- C. APPROVAL OF MINUTES: REGULAR MEETING, NOVEMBER 27, 2023.
(VIDEO 5:48 – 6:13)**

- November 27, 2023, Regular Meeting

On a motion by Mr. Johnson, seconded by Mr. Austin, the Planning Commission approved the Regular Meeting Minutes for November 27, 2023.

The roll call vote was as follows:

Mr. Wayne Austin	Aye
Mr. Kenny Shuman	Abstain

Mr. Jeff Johnson	Aye
Mr. Scott Wilson	Aye
Mr. Kirk Sproles	Aye
Mr. Chad Pennington	Aye

D. PUBLIC COMMENTS: None

E. CERTIFICATE OF APPROPRIATENESS

- 1. *Certificate of Appropriateness – Marathon Realty Corporation, Cook Street – Meadows Lot 7, Abingdon, VA 24210. Certificate of Appropriateness for Signage. Located at Cook Street – Meadows Lot 7, Abingdon, VA 24210. Tax Map (021-8-7) (VIDEO 6:36 -)***

Mr. Cristofari provided the staff report.

Marathon Realty Corp. (Owner/Applicant) have requested approval of a Certificate of Appropriateness to add one monument sign, one primary wall sign, and six secondary/minor wall signs. Located at Parcel 021-8-7 in the Town of Abingdon, VA.

The property is within the General Business Zoning District (B-2) and is within the Meadows Planned Unit Development. As such there is a requirement for the approval of an Entrance Corridor Certificate of Appropriateness as well as additional standards identified in the covenant. Approval of the Entrance Corridor Certificate of Appropriates is granted by the Planning Commission.

The site is part of The Meadows Planned Unit Development. The design, uses, entrance locations and the final plat dictate many of the requirements on the parcels located within The Meadows. This project is subject to those requirements as well as the Entrance Corridor requirements identified in the Town of Abingdon Zoning Ordinance.

The applicant is proposing to add one monument sign, one primary wall sign, and six secondary/ minor wall signs to the property.

The monument sign will be a double-sided LED lighted sign with pan faces and vinyl graphics. It will consist of a custom decorative metal topper and a brick base laid in a stretcher bond pattern. The sign structure will be 10 ft. in height and 8 ft. in width. The sign dimensions meet the design requirements stated in the Meadows Restrictive Covenant. The background color of the signage will be white whereas the wording will be red and black as seen in the rendering provided.

The Meadows Restrictive Covenant allows on the Primary Elevation of the structure one or more signs. The size of the sign(s) is permitted up to two square feet of wall sign area for each horizontal linear foot of exterior wall length.

The main wall sign will be LED lighted channel letters on a raceway. The sign will measure 81.5 sq. ft. The primary wall sign's color scheme will match the monument sign's color scheme.

The six secondary wall signs are considered minor wall signs under Section 3. Additional Allowable Signage of the Meadows Restrictive Covenant. Each minor wall sign will be 3 ft. x 6 ft. carved and painted HDU panels. The six signs will be a total of 108 sq. ft.

The applicant provided examples of carved HDU panel signs that the six secondary wall signs will resemble. Many of these carved HDU signs can be found in our Old and Historic District.

The horizontal length of the Front Elevation is 140 ft. allowing for a maximum of 280 sq. ft. of signage area. The applicant has proposed a total of 189.5 sq. ft., which meets the design standards for the Meadows Restrictive Covenant.

Mr. Johnson (PC) asked if the brick, used for the base of the sign, will match the brick used for the main building structure on the property. Mr. Tim Kirkendall (Representative) replied that the brick used for the sign will match the proposed building.

On a motion by Mr. Wilson, seconded by Mr. Johnson, the Planning Commission voted to approve the COA as presented.

The roll call vote was as follows:

Mr. Wayne Austin	Aye
Mr. Kenny Shuman	Aye
Mr. Jeff Johnson	Aye
Mr. Scott Wilson	Aye
Mr. Kirk Sproles	Aye
Mr. Chad Pennington	Aye

F. OLD BUSINESS/MATTERS NOT ON THE AGENDA

G. ANNOUNCEMENTS

H. ADJOURNMENT

On a motion by Mr. Sproles, seconded by Mr. Pennington, recommending that the meeting be adjourned with no further business to address.

The roll call vote was as follows:

Mr. Wayne Austin	Aye
Mr. Kenny Shuman	Aye
Mr. Jeff Johnson	Aye
Mr. Scott Wilson	Aye

Mr. Kirk Sproles
Mr. Chad Pennington

Aye
Aye

Adjourn Time 5:39 p.m.

Kenny Shuman, Chairman

Mayana Rice, Director of Community
Development



STAFF REPORT

TO: ABINGDON PLANNING COMMISSION

FROM: CALEB CONKLIN, TOWN PLANNER I

SUBJECT: REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR SIGNAGE

PUBLICATION DATE: JANUARY 15, 2023

MEETING DATE: JANUARY 22, 2023

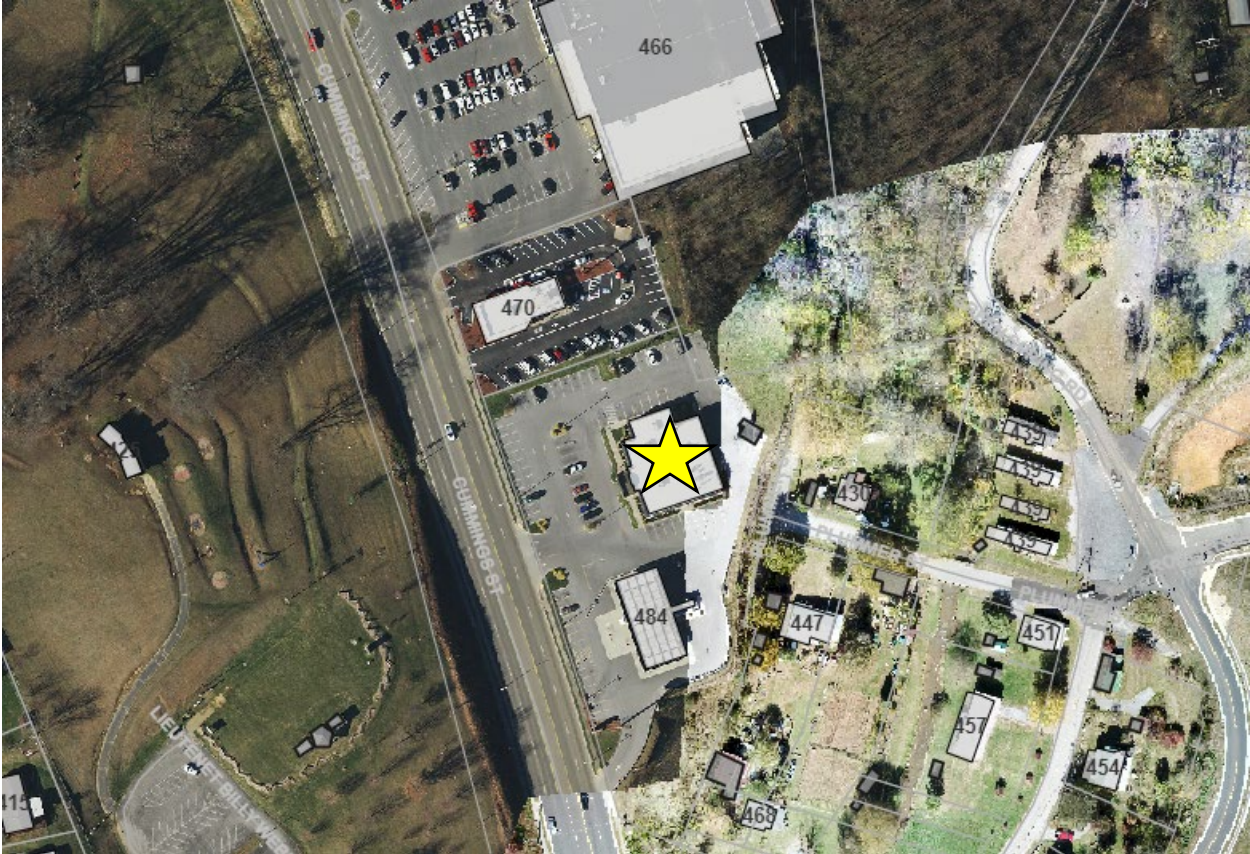
LOCATION: COUNCIL CHAMBERS, TOWN HALL
133 WEST MAIN STREET, ABINGDON, VA

REQUEST:

Young & Associates, Inc. (Owner) and Trish Thompson of Skyway Outdoor, Inc. (Applicant) have requested approval of a Certificate of Appropriateness to remove the existing wall sign and replace two existing freestanding signs. Located at 480 Cummings Street (Parcel 020-10-2).

The property is within the General Business District (B-2) and is within the Entrance Corridor therefore requiring the approval of the Planning Commission prior to completion.

VICINITY MAP:



ENTRANCE CORRIDOR:

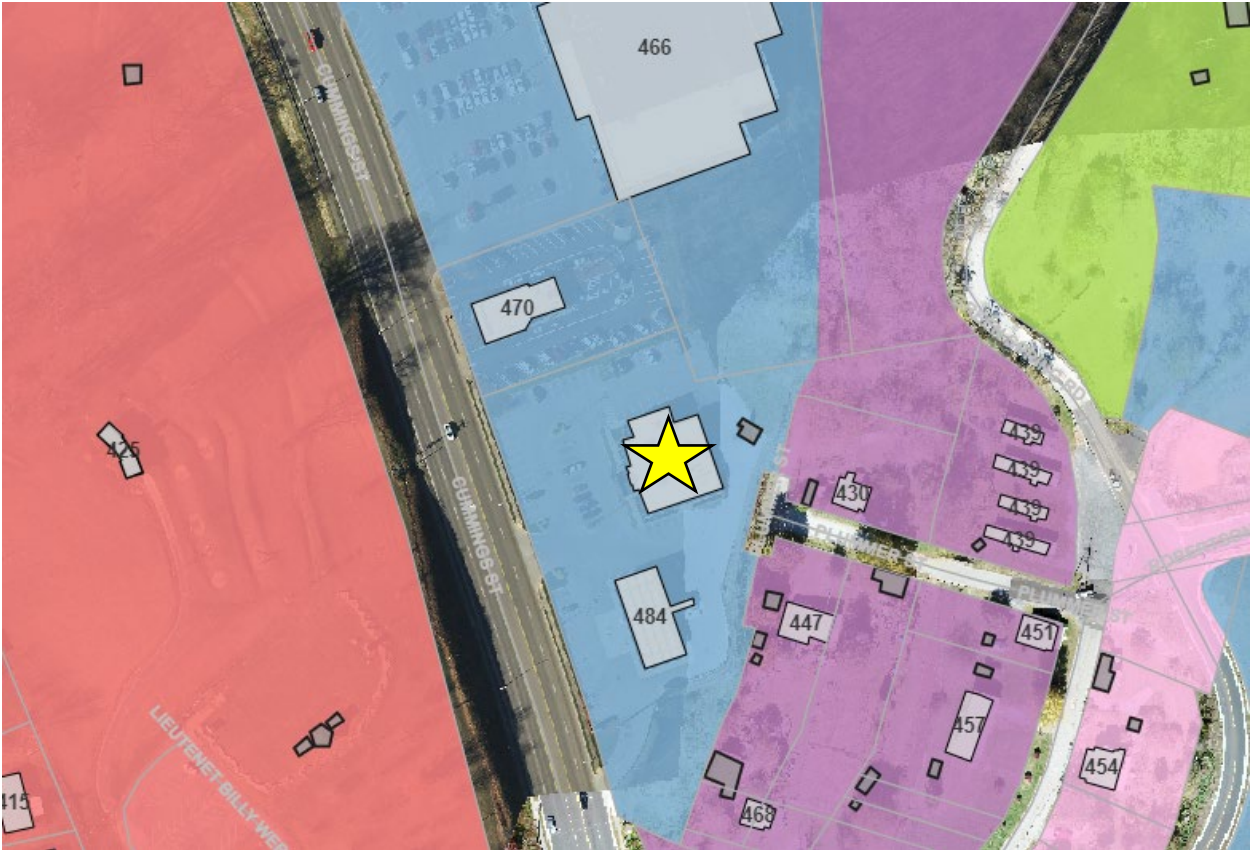


View of Cummings Street looking North



View of Cummings Street looking South

ZONING MAP:



STAFF FINDINGS:

1. **Location.** The Subject Property contains approximately 2.297 acres and is legally described as YOUNG PROPERTY RE-PLAT ACR 2.297 (Tax Map No. 020-10-2). Generally, the Subject Property is located at 480 Cummings Street.
2. **Background.** There is an existing wall sign and two existing freestanding signs used for the business. The building was previously occupied by Shoney's and is currently occupied by Fiddler's Restaurant.
3. **Access.** Access to the site will continue to be Cummings Street.
4. **Adjacent Land Uses/Zoning.** Adjoining properties to the North are zoned General Business District (B-2). To the West the property is adjoined by a Residential District (R-3). To the South and East, the property is adjoined by a Residential District (R-2).

5. **Applicable Requirements of the Zoning Ordinance.**

General Sign Standards.

Division 4. Signs.

Section 8-4-1. Purpose and Intent.

(a) These sign regulations are intended to define, permit, and control the size, material, location, and condition of signs in a manner that as its first priority protects those who travel in and through the Town. Town Council has adopted these regulations in order to achieve the following community goals and objectives:

- (1) Protect the health, safety, and welfare of the public.*
- (2) Equitably distribute the privilege of using the public environs to communicate private information.*
- (3) Safeguard the public use and nature of the streets and sidewalks.*
- (4) Protect and enhance the visual environment of the Town.*
- (5) Discourage the diminishing of property values in the Town.*
- (6) Minimize visual distractions to motorists using the public streets.*
- (7) Promote the economic growth of the Town by creating a community image that is conducive to attracting new business and industrial development.*
- (8) Permit reasonable effectiveness of signs and to prevent their over-concentration, improper placement and excessive height, bulk, density, and area.*

(9) Promote the safety of persons and property by requiring that signs not create a hazard due to collapse, fire, decay, or abandonment.

(10) Ensure that signs do not obstruct fire-fighting efforts or create traffic hazards by confusing or distracting motorists or by impairing drivers' ability to see pedestrians, obstacles, other vehicles, or traffic signs.

(11) Promote commerce and trade, with recognition of the effects of signage on the character of the community.

(b) The Town Council finds that the regulations in this Article advance the significant government interests identified herein and are the minimum amount of regulation necessary to achieve those interests.

Section 8-4-2. Administration.

(b) Application and permit

(7) Sign Permit Required

b. For signs within the Town's entrance corridor, such permit shall conform to the requirements of such district and require Certificate of Appropriateness issued by the Planning Commission.

Section 8-4-5. General.

(a) Standards.

(1) Any sign displayed in the Town of Abingdon, shall comply with:

a. All provisions of this Article;

b. All applicable provisions of the Uniform Statewide Building Code and all amendments thereto; and,

c. All state and federal regulations pertaining to the display of signage.

d. Sign area calculations.

(2) The following method shall be utilized in the calculations of sign area:

a. The sign area permitted under this Article is determined by measuring the entire face of the sign including any wall work incidental to its decoration but excluding support elements for the sole purpose of supporting the sign.

b. For signs that are regular polygons or circles, the area shall be calculated by the mathematical formula for that polygon or circle. For signs that are not regular polygons or circles, the sign area shall be calculated using the area within up to three rectangles that enclose the sign face.

c. The surface area of any sign made up only of individual letters or figures shall include the space between such letters or figures.

d. Whenever one sign contains information on both sides, sign area shall be calculated based on the largest sign face. Sides are not totaled.

(b) Minimum setback. The minimum setback from any right-of-way, unless otherwise specified, is half (1/2) the height of the sign.

(c) Illumination.

(1) All permitted signs may be indirectly lighted. Non-residential signs within a residential district may be illuminated as outlined in Section 8-4-6. Signs within a Business or Industrial district may be internally lighted, unless such lighting is specifically prohibited in this Article.

(2) No sign shall be illuminated in such a way that light may shine into on-coming traffic, affect highway safety, or shine directly into a residential dwelling unit zoned.

(3) Any electrical sign shall display the required UL, ETL, CSA, or ULC label.

(4) Illumination shall be no greater than 10,000 nits or foot candles from sunrise to sunset or 700 nits or foot candles from sunset to sunrise and be equipped with automatic brightness control which can dim the display brightness when ambient conditions exist.

(5) Electronic service lines shall be underground.

Section 8-4-6. Districts.

(a) District regulations

(1) The following requirements shall apply in the designated district, as appropriate, to permitted uses by right and special uses as may be permitted, subject to all other requirements of this Ordinance.

(2) Sign area square footage limits are provided per sign unless specified as a total. Total area is calculated as an aggregate of all signs of that type.

Certificate of Appropriateness.

Division 6. Certificates of Appropriateness and Other Historic Permissions.

3-6-3. Standards and procedure.

(f) Standards for Planning Commission review within the EC Overlay District and associated projects.

(1) The Planning Commission shall not consider interior arrangement of the building or structure or features not subject to view from a public street, right-of-way or place. In

addition to those specified in the design review guidelines, the Planning Commission shall consider the following matters in passing on the appropriateness of a particular project:

- a. The following recommendations are provided for architectural styles and general building characteristics:*
 - 1. Materials, colors and general style of buildings within a development should be coordinated.*
 - 2. Heating and air-conditioning units, ventilation units, and mechanical equipment shall be screened from view from public streets.*
 - 3. Loading docks, trash containers, mechanical equipment and any sites for storage facilities shall be screened from view from public streets.*
 - 4. The effective visual mass of large buildings should be reduced by variations in roofline, building angles, dimension, relief, color, architectural detailing and landscaping.*
- b. Design review guidelines. New buildings or exterior alterations to existing structures should include one or a combination of the following materials/methods of construction:*
 - 1. Wood frame (or fiber cement board), with brick, stone, or concrete foundations; brick construction or brick facing; finished concrete block; roof materials of standing seam metal, asphalt shingle, and rubber membrane/parapet for flat roof forms.*
 - 2. Windows should be used to provide interest and surface variations on building elevations. Blank building walls are discouraged for most commercial applications.*
 - 3. The design of gas station canopies, building canopies and other accessory structures should be compatible with the scale, color, materials, and detail of the buildings they serve.*
 - 4. Site walls and retaining walls should be comprised of brick, or concrete; brick facing on a concrete or concrete masonry unit wall is permitted. The use of segmental/modular concrete block is discouraged. Site walls should be considered as part of site terracing in increments; site walls out of proportion with building foundations or the human figure are discouraged.*
 - 5. Roof forms may be single gable, cross gable, gambrel, hip, parapet, or flat forms. Mansard roof forms are not recommended on modern-styled buildings.*

6. *Site materials shall be limited to local stone, asphalt, concrete, and exposed aggregate concrete.*
7. *Facade colors preferably shall be of low reflectance white, earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity, metallic, fluorescent, day glow, or neon colors are discouraged.*
8. *Trademark buildings and related features including signs shall be modified to meet these design standards.*
9. *Parking lots will be interconnected on adjacent parcels whenever possible.*
10. *Small, landscaped and interconnected parking lots, rather than large, central parking lots shall be encouraged.*
11. *Parking lots shall not dominate the image of a site.*
12. *Where sidewalks exist adjacent to individual project sites pedestrian access from the sidewalk into individual project sites as well as within sites and between sites shall be provided.*
13. *Lighting, landscaping, parking, and sign requirements of Article VIII shall be followed.*
14. *The Planning Commission is permitted to reduce the parking space requirement when the interests of the Town are better served.*

Entrance Corridor District.

5-3-1. Boundaries. The boundaries of the EC District shall be the boundaries of the Office and Institutional District, Business Districts, and Limited Industrial Districts (OI, B-1, B-2, B-3, and M-1), as they are found on the following streets of the Town:

- (1) East Main Street, from the OH District to Thompson Drive;*
- (2) West Main Street from the OH District to Porterfield Highway;*
- (3) Cummings Street, from Interstate 81 to the OH District; and*
- (4) Russel Road (full length).*

Staff Findings:

The applicant proposes to remove the existing wall sign above the primary entryway of the building. Staff contacted the applicant to ask if another wall sign will be replacing the existing wall sign. The applicant has stated there will be no replacement at this time.



The town zoning code allows for one monument sign per street frontage in the General Business District (B-2). There are two existing freestanding signs on the property that the previous business used. There is no known date for when these signs were installed.

The pylon sign is a non-conforming sign. No variance was found. The Planning Commission could require the applicants to bring the sign into conformity.

Table 8.4.6(C) Maximum Sign Dimensions: B-1, B-2, B-3, M-1, OI, and PTD Districts			
Sign Type	Number	Area	Height
1. Freestanding	1 per street frontage	60 square feet, except 200 square feet allowed within 660 feet of I-81	15 feet, except 50 feet allowed within 660 feet of I-81

The proposed pylon sign is 140 square feet in area larger than allowed. The proposed sign is 31 feet taller than allowed.

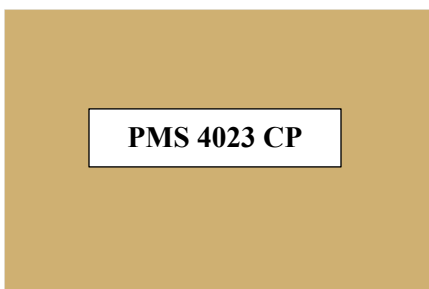
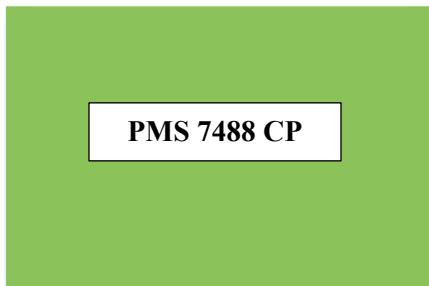
The proposed signs will match the size of the existing monument and pylon freestanding signs. There will be no change in area, height, or location.



The existing pylon freestanding sign and cabinet will be removed and replaced with a new fabricated, internally illuminated, double-sided cabinet with digitally printed panagraphic flex faces. The sign will measure 25 ft. x 8 ft. with a total area of 200 sq. ft. The proposed sign's size will match the existing sign's size. The height of the sign is 46 ft.



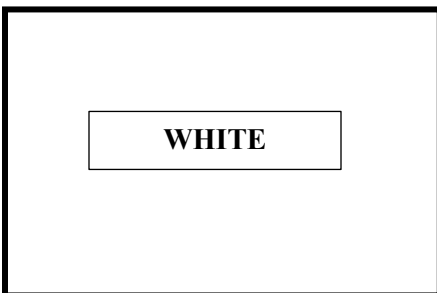
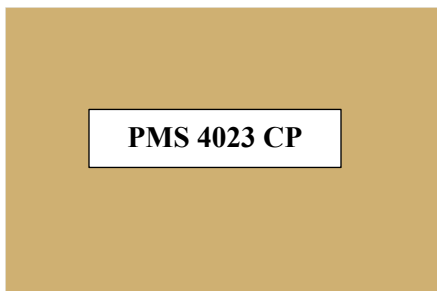
The color of the sign will consist of the outside edge being Pantone 7488 CP, the lettering to use Pantone 2322 CP and Pantone 4023 CP, and the background to be white.



The existing freestanding monument sign's existing faces will be replaced with new faces that are to be decorated with digitally printed, first surface applied vinyl. The proposed sign's size will match the existing sign's size. The existing electronic messaging display below the proposed sign will not be changed.



The color of the sign will consist of the lettering being Pantone 2322 CP and Pantone 4023 CP and the background to be white.



REQUIRED ACTIONS OF THE PLANNING COMMISSION:

- A. **Sample Motions.** The role of the Planning Commission in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the Planning Commission:
- **Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-4 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness
 - **Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-4 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness.
 - **Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue the Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).



TOWN OF ABINGDON COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

Office Use Only
Fees: \$ _____

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS for ENTRANCE CORRIDOR


Location of Property	Street Address 480 Cummings Street	
	City, State, Zip Code Abingdon, VA 24210	Parcel Number
Applicant Information	Name Trish Thompson	
	Mailing Address, City, State, Zip Code	
	Select Applicant Relation to Property below: Contractor <input type="checkbox"/> Property Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other:	Email tthompson@skywayoutdoor.com
Owner Information	Name of Owner Young & Associates, Inc.	
	Mailing Address, City, State, Zip Code	
	Name of Business (if applicable) Fiddler's Restaurant	Phone 276-728-0688
Project Description	1) Is this property located in the Entrance Corridor? <input type="checkbox"/> Yes <input type="checkbox"/> No Yes	
	2) Have you completed and attached the following required items: <input type="checkbox"/> Yes Site Plan for New Construction (more details below in number 3) N/A <input type="checkbox"/> Yes Drawings for Alterations and New Construction (more details below in number 4) N/A	
	3) Does your Site Plan contain the following required items: <input type="checkbox"/> Yes Location(s) of all proposed and current structures on property <input type="checkbox"/> Yes Proposed landscape alterations denoted with callouts denoting what the alteration(s) are and the material(s) used	
	4) Does your Drawings contain the following required items: <input type="checkbox"/> Yes Drawings for structures with all four elevations showing what the completed proposed project would appear as <input type="checkbox"/> Yes Drawings for landscape features (walls & fences) and signs <input type="checkbox"/> Yes Dimensions (length, width & height) are required on all drawings for all structures <input type="checkbox"/> Yes Drawing callouts to distinguish what is being proposed compared to what is existing <input type="checkbox"/> Yes Callouts need to note the material(s) and color(s), if applicable, of any architectural feature related to the proposed project	



TOWN OF ABINGDON

COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

	<p>Have you attached the following related to your Standard Materials required: (use additional sheets as necessary)</p> <p><input type="checkbox"/> Yes Photos showing the current proposed area for alteration and/or new construction.</p> <p>Yes</p> <p><input type="checkbox"/> Yes An overall and a detail of any architectural feature or building system (foundation, walls, windows, etc.)</p> <p>5) Existing Shoney's Sign and Cabinet to be Removed and Scrapped. To be Replaced with (1) Newly Fabricated, Internally Illuminated, Double Sided Cabinet with Digitally Printed Panagraphic Flex Faces. Graphic and Flex Face Retainer to be Painted to Match Color Key. Overall Height of Existing Pylon is Approximately 46' 0".</p> <p>Replace Existing monument Faces with New Faces that are to be Decorated with Digitally Printed, First Surface Applied Vinyl. If allowed.</p> <p><input type="checkbox"/> Yes Samples are highly recommended concerning specific types of materials such as brick type and color, mortar type and color, roofing sheathing material, and paint or sealant colors</p> <p>N/A</p>	
Applicant Signature	<p>I understand that the deadline for applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans and post public notices per VA code section 15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If applications is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application. Applicants need to submit a complete application with sufficient information to enable clear understanding of the proposal by the Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations, or changes will result in delays.</p>	
	<p>I understand that I must be present at the Planning Commission Meeting on the date assigned by staff to present my proposal and that failure to attend may result in denial of my proposal by the members due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before received Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from that date of approval.</p>	
	<p>I understand if any changes to previously approved drawings or materials occurs for any reason, the applicant and/or representative must submit another Certificate of Appropriateness with the revised plans and materials for review by the HPRB. I further understand not complying will result in a stop work order.</p>	
	<p>I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.</p>	
	<p>Applicant (Print Name) Trish Thompson /Skyway Outdoor, Inc.</p>	<p>Signature of Applicant </p>
Owner Affidavit	<p>My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.</p>	



TOWN OF ABINGDON
COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

	<p>Property Owner (Print Name) Trish Thompson</p>	<p>Signature of Property Owner <i>Trish Thompson</i></p>	<p>Date December 21, 2023</p>
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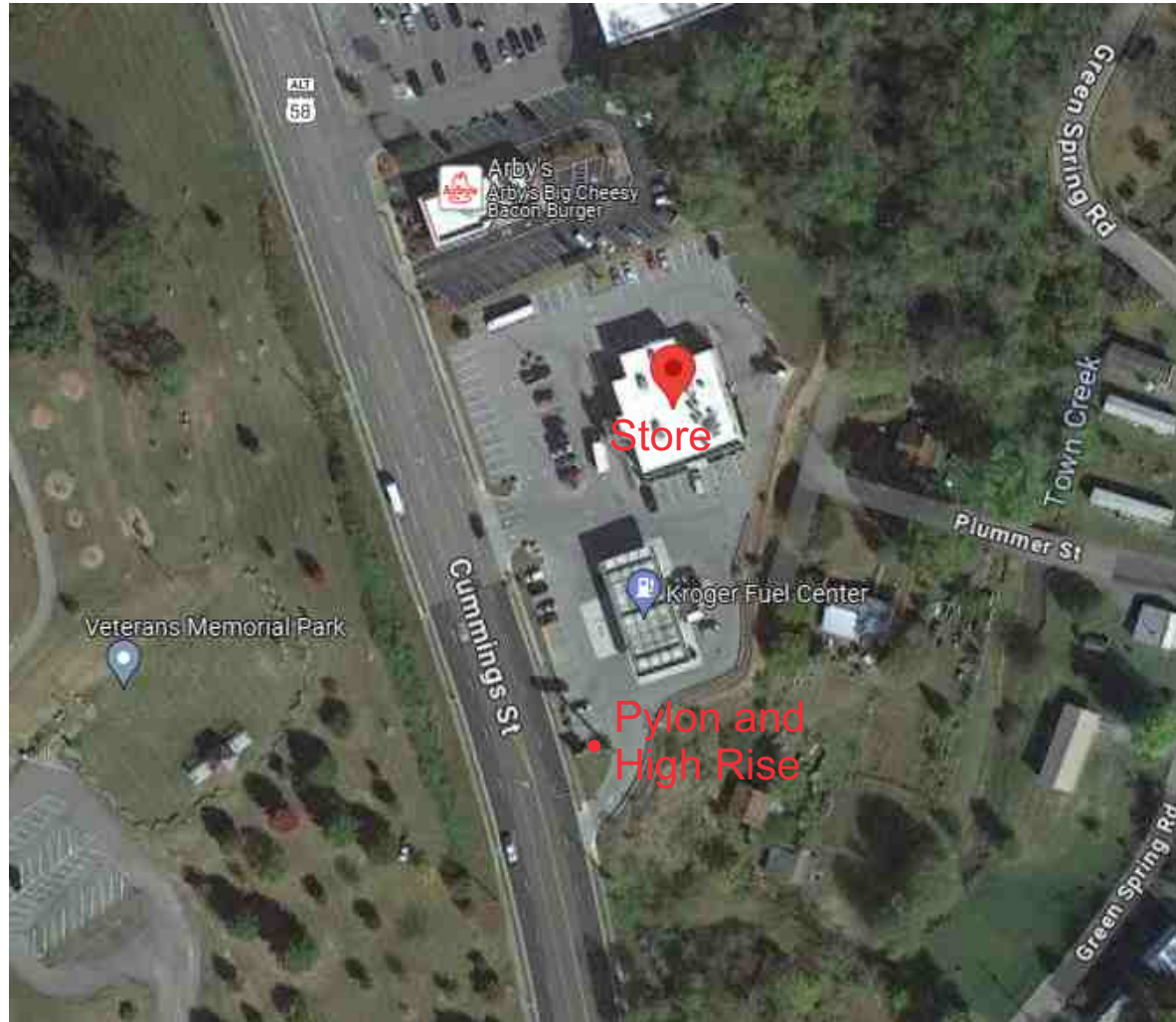
Attachment for the Site Plan: , MB

Attachment for Drawings: , MB

Attachment for Photos: IS112308 Abingdon VA.pdf, 0.31MB

Site Plan

Scale: Not to Scale



Storefront

Scale: Not to Scale



Existing High Rise

Scale: Not to Scale



Existing Pylon

Scale: Not to Scale



65 Progress Drive
Bastian, VA 24314

800-293-0248
Local: 276-688-0248
www.skywayoutdoor.com

PROJECT # **230478**

Date	11/22/23
Dwg. No.	IS 112308
Revision	MM/DD/YY
Revision	MM/DD/YY
Sales	Steve Nolley
Scale	As Noted
Design	IRS
Size	As Noted

CLIENT INFORMATION



Abingdon, VA

COLOR KEY

- PMS 7488 CP
Color Information
- PMS 2322 CP
Color Information
- PMS 4023 CP
Color Information
- PMS ###
Color Information
- PMS ###
Color Information
- PMS ###
Color Information
- PMS ###
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Color Information



CUSTOMER APPROVAL

Sign Elevation

Scale: 1/4" = 1'-0"



SIGN SPECIFICATIONS:

Existing Shoney's Sign and Cabinet to be Removed and Scrapped. To be Replaced with (1) Newly Fabricated, Internally Illuminated, Double Sided Cabinet with Digitally Printed Panagraphic Flex Faces. Graphic and Flex Face Retainer to be Painted to Match Color Key. Overall Height of Existing Pylon is Approximately 46' 0".

Square Feet: 200 Sq. Ft.

Sign Elevation

Scale: 1" = 1'-0"



SIGN SPECIFICATIONS:

Replace Existing Faces with New Faces that are to be Decorated with Digitally Printed, First Surface Applied Vinyl. Survey Needed for Measurements.

Existing Signs to be Removed

Scale: Not to Scale



SIGN SPECIFICATIONS:

Signs to be Removed and Scrapped.

Photo Overlay

Scale: Not to Scale



Photo Overlay

Scale: Not to Scale



65 Progress Drive
Bastian, VA 24314

800-293-0248
Local: 276-688-0248
www.skywayoutdoor.com

PROJECT # **230478**

Date	11/22/23
Dwg. No.	IS 112308
Revision	MM/DD/YY
Revision	MM/DD/YY
Sales	Steve Nolley
Scale	As Noted
Design	IRS
Size	As Noted

CLIENT INFORMATION



COLOR KEY

	PMS 7488 CP Color Information
	PMS 2322 CP Color Information
	PMS 4023 CP Color Information
	White Color Information
	PMS ### Color Information
	PMS ### Color Information
	PMS ### Color Information
	PMS ### Color Information



CUSTOMER APPROVAL



STAFF REPORT

TO: ABINGDON PLANNING COMMISSION

FROM: MAYANA RICE, ASSISTANT TOWN MANAGER

SUBJECT: REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR SIGNAGE

PUBLICATION DATE: JANUARY 15, 2023

MEETING DATE: JANUARY 22, 2023

LOCATION: COUNCIL CHAMBERS, TOWN HALL
133 WEST MAIN STREET, ABINGDON, VA

REQUEST:

Development Company (Owner) and Tumbling Creek Cider Company and Delta Blues Drafthouse (Applicants) have requested approval of a Certificate of Appropriateness to add wall signage to the Abingdon Commons building for their respective businesses. Located at 238 W. Main Street (Parcel 012-1-127).

The property is within the Central Business District (B-3) and is within the Entrance Corridor therefore requiring the approval of the Planning Commission prior to completion.

VICINITY MAP:



ENTRANCE CORRIDOR:



View of W. Main Street looking West



View of W. Main Street looking East

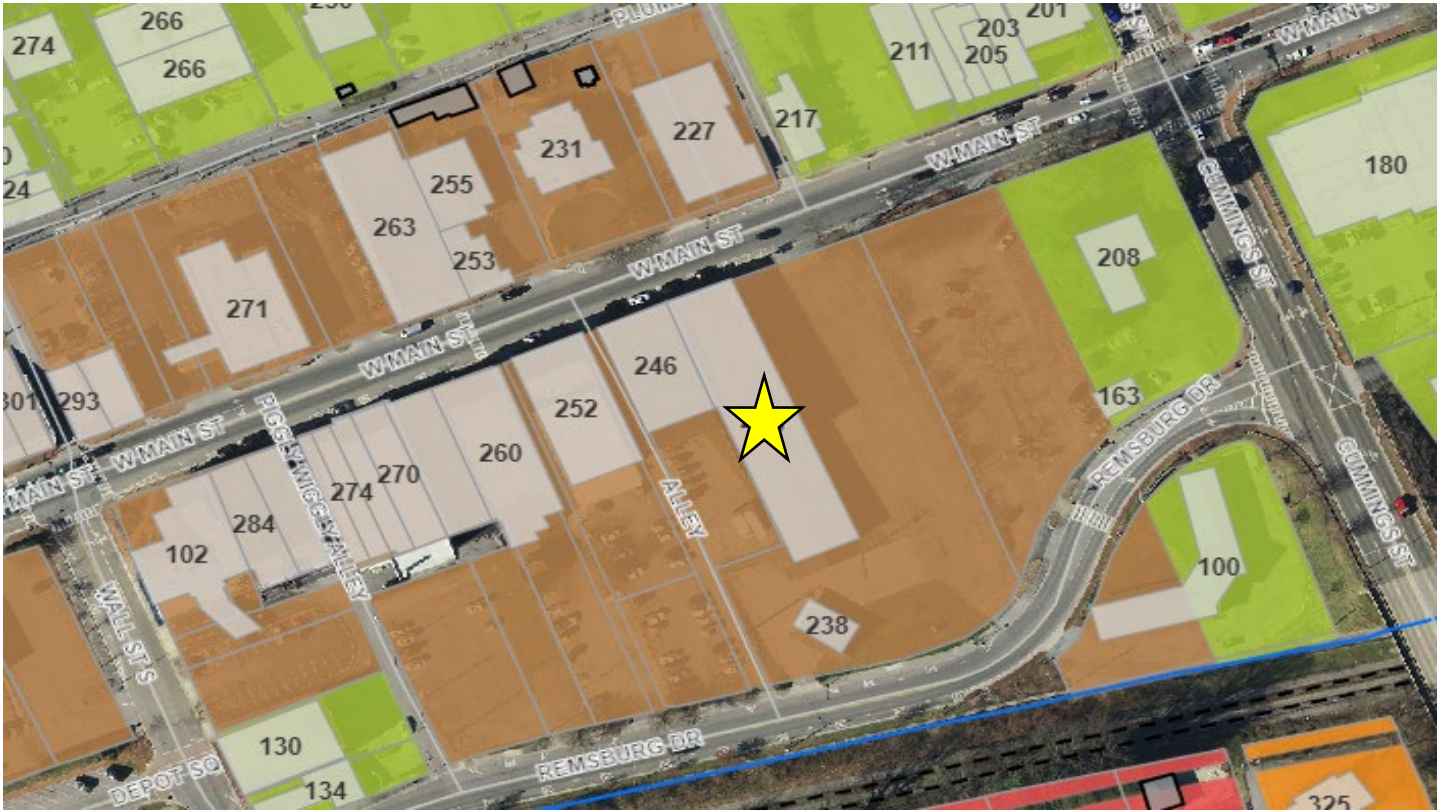


View of Remsburg Drive looking West



View of Remsburg Drive looking East

ZONING MAP:



STAFF FINDINGS:

1. **Location.** The Subject Property contains approximately 5.08 acres and is legally described as APPALACHIAN POWER BLDG MAIN ST (Tax Map No. 012-1-127). Generally, the Subject Property is located at 238 W. Main Street.
2. **Background.** Abingdon Commons will be occupying Carter Bank & Trusts' former location. The existing rear building is made of CMU.
3. **Access.** Access to the site will continue to be W. Main Street and Rensburg Drive.
4. **Adjacent Land Uses/Zoning.** Adjoining properties on the North, East, and West sides are zoned Central Business District (B-3). A portion of the Northeast property adjoins the Old and Historic District (OH). The South side of the property is adjoined by a Residential District (R-3).

5. **Applicable Requirements of the Zoning Ordinance.**

General Sign Standards.

Division 4. Signs.

Section 8-4-1. Purpose and Intent.

(a) These sign regulations are intended to define, permit, and control the size, material, location, and condition of signs in a manner that as its first priority protects those who travel in and through the Town. Town Council has adopted these regulations in order to achieve the following community goals and objectives:

- (1) Protect the health, safety, and welfare of the public.*
- (2) Equitably distribute the privilege of using the public environs to communicate private information.*
- (3) Safeguard the public use and nature of the streets and sidewalks.*
- (4) Protect and enhance the visual environment of the Town.*
- (5) Discourage the diminishing of property values in the Town.*
- (6) Minimize visual distractions to motorists using the public streets.*
- (7) Promote the economic growth of the Town by creating a community image that is conducive to attracting new business and industrial development.*
- (8) Permit reasonable effectiveness of signs and to prevent their over-concentration, improper placement and excessive height, bulk, density, and area.*

(9) Promote the safety of persons and property by requiring that signs not create a hazard due to collapse, fire, decay, or abandonment.

(10) Ensure that signs do not obstruct fire-fighting efforts or create traffic hazards by confusing or distracting motorists or by impairing drivers' ability to see pedestrians, obstacles, other vehicles, or traffic signs.

(11) Promote commerce and trade, with recognition of the effects of signage on the character of the community.

(b) The Town Council finds that the regulations in this Article advance the significant government interests identified herein and are the minimum amount of regulation necessary to achieve those interests.

Section 8-4-2. Administration.

(b) Application and permit

(7) Sign Permit Required

b. For signs within the Town's entrance corridor, such permit shall conform to the requirements of such district and require Certificate of Appropriateness issued by the Planning Commission.

Section 8-4-5. General.

(a) Standards.

(1) Any sign displayed in the Town of Abingdon, shall comply with:

a. All provisions of this Article;

b. All applicable provisions of the Uniform Statewide Building Code and all amendments thereto; and,

c. All state and federal regulations pertaining to the display of signage.

d. Sign area calculations.

(2) The following method shall be utilized in the calculations of sign area:

a. The sign area permitted under this Article is determined by measuring the entire face of the sign including any wall work incidental to its decoration but excluding support elements for the sole purpose of supporting the sign.

b. For signs that are regular polygons or circles, the area shall be calculated by the mathematical formula for that polygon or circle. For signs that are not regular polygons or circles, the sign area shall be calculated using the area within up to three rectangles that enclose the sign face.

c. The surface area of any sign made up only of individual letters or figures shall include the space between such letters or figures.

d. Whenever one sign contains information on both sides, sign area shall be calculated based on the largest sign face. Sides are not totaled.

(b) Minimum setback. The minimum setback from any right-of-way, unless otherwise specified, is half (1/2) the height of the sign.

(c) Illumination.

(1) All permitted signs may be indirectly lighted. Non-residential signs within a residential district may be illuminated as outlined in Section 8-4-6. Signs within a Business or Industrial district may be internally lighted, unless such lighting is specifically prohibited in this Article.

(2) No sign shall be illuminated in such a way that light may shine into on-coming traffic, affect highway safety, or shine directly into a residential dwelling unit zoned.

(3) Any electrical sign shall display the required UL, ETL, CSA, or ULC label.

(4) Illumination shall be no greater than 10,000 nits or foot candles from sunrise to sunset or 700 nits or foot candles from sunset to sunrise and be equipped with automatic brightness control which can dim the display brightness when ambient conditions exist.

(5) Electronic service lines shall be underground.

Section 8-4-6. Districts.

(a) District regulations

(1) The following requirements shall apply in the designated district, as appropriate, to permitted uses by right and special uses as may be permitted, subject to all other requirements of this Ordinance.

(2) Sign area square footage limits are provided per sign unless specified as a total. Total area is calculated as an aggregate of all signs of that type.

Certificate of Appropriateness.

Division 6. Certificates of Appropriateness and Other Historic Permissions.

3-6-3. Standards and procedure.

(f) Standards for Planning Commission review within the EC Overlay District and associated projects.

(1) The Planning Commission shall not consider interior arrangement of the building or structure or features not subject to view from a public street, right-of-way or place. In

addition to those specified in the design review guidelines, the Planning Commission shall consider the following matters in passing on the appropriateness of a particular project:

- a. The following recommendations are provided for architectural styles and general building characteristics:*
 - 1. Materials, colors and general style of buildings within a development should be coordinated.*
 - 2. Heating and air-conditioning units, ventilation units, and mechanical equipment shall be screened from view from public streets.*
 - 3. Loading docks, trash containers, mechanical equipment and any sites for storage facilities shall be screened from view from public streets.*
 - 4. The effective visual mass of large buildings should be reduced by variations in roofline, building angles, dimension, relief, color, architectural detailing and landscaping.*
- b. Design review guidelines. New buildings or exterior alterations to existing structures should include one or a combination of the following materials/methods of construction:*
 - 1. Wood frame (or fiber cement board), with brick, stone, or concrete foundations; brick construction or brick facing; finished concrete block; roof materials of standing seam metal, asphalt shingle, and rubber membrane/parapet for flat roof forms.*
 - 2. Windows should be used to provide interest and surface variations on building elevations. Blank building walls are discouraged for most commercial applications.*
 - 3. The design of gas station canopies, building canopies and other accessory structures should be compatible with the scale, color, materials, and detail of the buildings they serve.*
 - 4. Site walls and retaining walls should be comprised of brick, or concrete; brick facing on a concrete or concrete masonry unit wall is permitted. The use of segmental/modular concrete block is discouraged. Site walls should be considered as part of site terracing in increments; site walls out of proportion with building foundations or the human figure are discouraged.*
 - 5. Roof forms may be single gable, cross gable, gambrel, hip, parapet, or flat forms. Mansard roof forms are not recommended on modern-styled buildings.*

6. *Site materials shall be limited to local stone, asphalt, concrete, and exposed aggregate concrete.*
7. *Facade colors preferably shall be of low reflectance white, earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity, metallic, fluorescent, day glow, or neon colors are discouraged.*
8. *Trademark buildings and related features including signs shall be modified to meet these design standards.*
9. *Parking lots will be interconnected on adjacent parcels whenever possible.*
10. *Small, landscaped and interconnected parking lots, rather than large, central parking lots shall be encouraged.*
11. *Parking lots shall not dominate the image of a site.*
12. *Where sidewalks exist adjacent to individual project sites pedestrian access from the sidewalk into individual project sites as well as within sites and between sites shall be provided.*
13. *Lighting, landscaping, parking, and sign requirements of Article VIII shall be followed.*
14. *The Planning Commission is permitted to reduce the parking space requirement when the interests of the Town are better served.*

Entrance Corridor District.

5-3-1. Boundaries. The boundaries of the EC District shall be the boundaries of the Office and Institutional District, Business Districts, and Limited Industrial Districts (OI, B-1, B-2, B-3, and M-1), as they are found on the following streets of the Town:

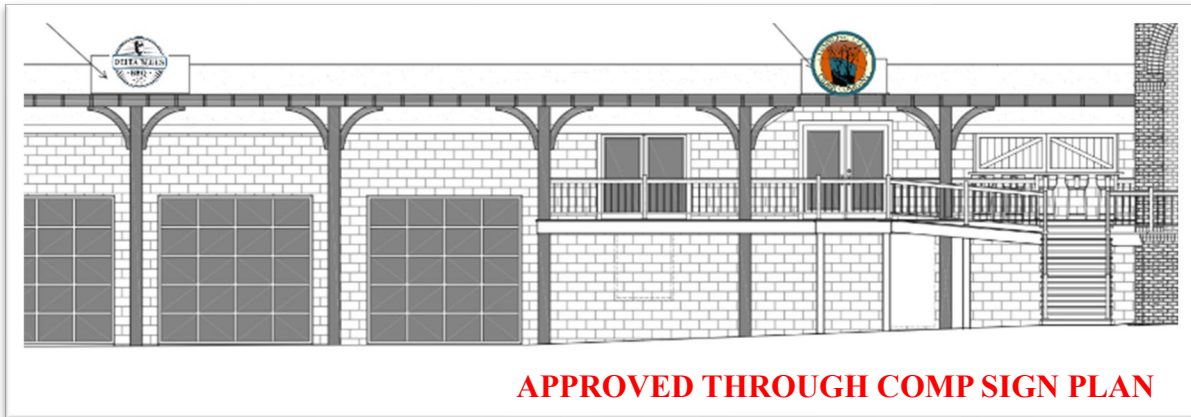
- (1) East Main Street, from the OH District to Thompson Drive;*
- (2) West Main Street from the OH District to Porterfield Highway;*
- (3) Cummings Street, from Interstate 81 to the OH District; and*
- (4) Russel Road (full length).*

Staff Findings:

There are two (2) businesses that want to add signage to the structure. These businesses acknowledged that there is existing approval through the Comprehensive Sign Plan (August 2023) for signage. However, they are wanting additional square footage.

	Allowable sign area	Approved with Comprehensive Sign Plan	Additional square footage requested
Tumbling Creek Cider	86 sq. ft.	24 sq. ft.	6 sq. ft. (total 30 sq. ft.)
Delta Blues	118 sq. ft.	24 sq. ft.	12 sq. ft. (total 36 sq. ft.)

The businesses are proposing to add signage onto the East elevation of the Abingdon Commons rear CMU addition for their respective businesses. Both proposed signs will go above and on top of the existing pergola. The signs will be attached with appropriate hardware and fasteners.



The Tumbling Creek Cider Company wall sign will be a single row 12 in. x 18 in. metal or vinyl freestanding lettering.

The square footage will be 18 in. x 240 in. for a total of 30 sq. ft. The lettering color will be white with black borders.

TUMBLING CREEK CIDER COMPANY

The Delta Blues BBQ sign will be stacked 12 in. x 18 in. metal or vinyl freestanding lettering.

The square footage will be 36 in. x 144 in. for a total of 36 sq. ft. The lettering color will be blue.

DELTA BLUES
DRAFTHOUSE

Both additional sign areas meet the underlying zoning district maximum square footage.



REQUIRED ACTIONS OF THE PLANNING COMMISSION:

- A. **Sample Motions.** The role of the Planning Commission in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the Planning Commission:
- **Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-4 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness
 - **Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 44-3-4 of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness.
 - **Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue the Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).



TOWN OF ABINGDON COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

Office Use Only
Fees: \$ _____

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS for ENTRANCE CORRIDOR


Location of Property	Street Address 238 W Main St	
	City, State, Zip Code Abingdon, VA 24210	Parcel Number
Applicant Information	Name Tumbling Creek Cider Company and Delta Blues Drafhouse	
	Phone 7192981163	
	Mailing Address, City, State, Zip Code	
Select Applicant Relation to Property below: Lessee <input type="checkbox"/> Property Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other:		Email tc3@tumblingcreekcider.com
Owner Information	Name of Owner Abingdon Development Company	
	Mailing Address, City, State, Zip Code	
	Name of Business (if applicable)	
		Phone 828-545-3283
		Email doug.ellington@medstream.biz
Project Description	1)	Is this property located in the Entrance Corridor? <input type="checkbox"/> Yes <input type="checkbox"/> No Yes
	2)	Have you completed and attached the following required items: <input type="checkbox"/> Yes Site Plan for New Construction (more details below in number 3) N/A <input type="checkbox"/> Yes Drawings for Alterations and New Construction (more details below in number 4) Yes
	3)	Does your Site Plan contain the following required items: <input type="checkbox"/> Yes Location(s) of all proposed and current structures on property <input type="checkbox"/> Yes Proposed landscape alterations denoted with callouts denoting what the alteration(s) are and the material(s) used
	4)	Does your Drawings contain the following required items: <input type="checkbox"/> Yes Drawings for structures with all four elevations showing what the completed proposed project would appear as N/A <input type="checkbox"/> Yes Drawings for landscape features (walls & fences) and signs Yes <input type="checkbox"/> Yes Dimensions (length, width & height) are required on all drawings for all structures N/A <input type="checkbox"/> Yes Drawing callouts to distinguish what is being proposed compared to what is existing N/A <input type="checkbox"/> Yes Callouts need to note the material(s) and color(s), if applicable, of any architectural feature related to the proposed project N/A



TOWN OF ABINGDON

COMMUNITY DEVELOPMENT


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	<p>Have you attached the following related to your Standard Materials required: (use additional sheets as necessary)</p> <p><input type="checkbox"/> Yes Photos showing the current proposed area for alteration and/or new construction.</p> <p>N/A</p> <p><input type="checkbox"/> Yes An overall and a detail of any architectural feature or building system (foundation, walls, windows, etc.)</p> <p>This is a proposal from Tumbling Creek Cider Company and Delta Blues Draffthouse to add signage onto the Abingdon Commons building for their respective shops. Both signs will go above/on top of the pergola. Materials will be similar to existing approved signage.</p> <p>Tumbling Creek Sign: 1) Tumbling Creek Cider Company lettering, of similar size as existing Abingdon Commons signs, across frontage of space 2) 4x4 Company logo sign with the text "taproom" in the center.</p> <p>Delta Blues BBQ: Lettering of similar size as existing Abingdon Commons signs, stacked, across frontage of their space.</p> <p><input type="checkbox"/> Yes Samples are highly recommended concerning specific types of materials such as brick type and color, mortar type and color, roofing sheathing material, and paint or sealant colors</p> <p>N/A</p>		
5)			
Applicant Signature	<p>I understand that the deadline for applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans and post public notices per VA code section 15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If applications is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application. Applicants need to submit a complete application with sufficient information to enable clear understanding of the proposal by the Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations, or changes will result in delays.</p> <p>I understand that I must be present at the Planning Commission Meeting on the date assigned by staff to present my proposal and that failure to attend may result in denial of my proposal by the members due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before received Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from that date of approval.</p> <p>I understand if any changes to previously approved drawings or materials occurs for any reason, the applicant and/or representative must submit another Certificate of Appropriateness with the revised plans and materials for review by the HPRB. I further understand not complying will result in a stop work order.</p> <p>I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.</p>		
	<p>Applicant (Print Name) Mark Finney</p>	<p>Signature of Applicant</p> 	<p>Date January 10, 2024</p>
Owner Affidavit	<p>My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.</p>		



TOWN OF ABINGDON
COMMUNITY DEVELOPMENT

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	<p>Property Owner (Print Name) Doug Ellington</p>	<p>Signature of Property Owner</p> 	<p>Date January 10, 2024</p>
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Attachment for the Site Plan: , MB

Attachment for Drawings: TC3andDBSigns.pdf, 0.96MB

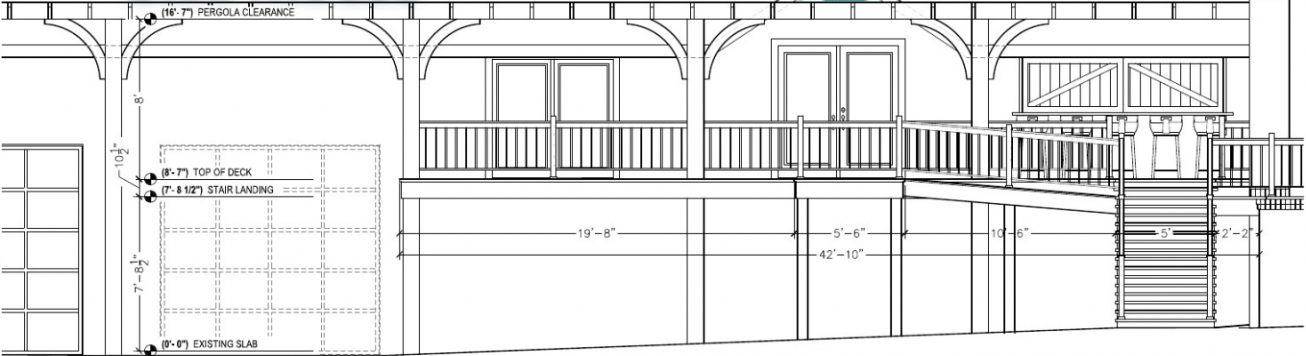
Attachment for Photos: , MB

DELTA BLUES DRAFTHOUSE

TUMBLING CREEK

TAPROOM

CIDER COMPANY





TOWN OF ABINGDON

COMMUNITY DEVELOPMENT

Office Use Only
Fees: \$ _____

Building • Planning • Code Enforcement

APPLICATION FOR WAIVER OF CERTIFICATE OF APPROPRIATENESS

Location of Property	Street Address 260 W. Main St.	
	City, State, Zip Code Abingdon, VA, 24210	Parcel Number 011-1-86A
Applicant Information	Name Matt T. Bundy	
	Mailing Address, City, State, Zip Code 190E E Main St, Abingdon, VA, 24210, USA	
	Select Applicant Relation to Property below: <input type="checkbox"/> Property Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other:	Phone 276-628-1067
Owner's Representative		Email mbundy@bundya.com
Owner Information	Name of Owner Taylor Lindsey	
	Mailing Address, City, State, Zip Code 260 W Main St, Abingdon, VA, 24210, USA	
	Name of Business (if applicable) Bonefire	
		Phone 276-964-6707
		Email tlindsey2@gmail.com
Important Information	<p>Application is hereby made for waiver of Certificate of Appropriateness under Article 8, Section 8-4-1, (b) of the Zoning Ordinance of the Town of Abingdon. Such waiver is limited to the following under the Guidelines adopted on May 5, 2004 by the Board of Architectural Review as follows:</p> <ul style="list-style-type: none"> ➤ The Zoning Administrator of the Town may determine that certain minor actions involving buildings and structures within the Old and Historic District and/or Entrance Corridor will have no permanent effect on the character of the District, and, by written waivers exempt the minor actions from review by the Board of Architectural Review. Such minor action shall be limited to the following: <ul style="list-style-type: none"> A. Repainting in a paint scheme that duplicates the existing paint colors. Provided, however, <ul style="list-style-type: none"> • The paint used should be of high quality to provide long lasting finish. • Paint colors should be appropriate for the building or structure's architectural style and design, as to which the Board of Architectural Review will provide recommendations at the owner's request. • Unpainted masonry should be left unpainted. B. Addition or deletion of storm windows and doors, window gardens, awnings, temporary canopies, window air conditioners, or similar appurtenances. C. Addition or deletion of television or radio antennas, skylights, or solar collectors in locations not visible from a public street, right-of-way, or place. D. Any alterations or other changes within the building or structure, which are not visible from a public street, right-of-way, or place. E. Relocation of heating and cooling systems on the property provided they are screened per the Design Guidelines. F. Planting of grass, trees, or shrubs, and other landscape improvements, excluding, however, any landscape, or involve construction of fences, walls, walkways, pools, fountains, and like improvements, which might affect the appearance of the site. G. Repair/replacement using materials that replicate existing material. 	
Project	1) What is the subject of this request from the list above in Important Information:	

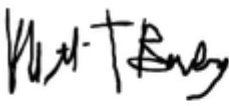

Continued on Page 2



TOWN OF ABINGDON

COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

	<p>D</p> <p><input type="checkbox"/> A</p> <p><input type="checkbox"/> B</p> <p><input type="checkbox"/> C</p> <p><input type="checkbox"/> D</p> <p><input type="checkbox"/> E</p> <p><input type="checkbox"/> F</p> <p><input type="checkbox"/> G</p>	<p>List Item(s) and Details</p> <p>A - Materials and Paint colors for the added items have been previously approved and no changes will be made.</p> <p>D - Addition of new metal stairs and metal roof cover on the side of the building, facing the rear of the property. Additional posts from the fire-escape may be required. These additions are not visible from the public street.</p> <p>Please see submitted plans for more details.</p>	
2)	<p>Have you included the appropriate drawings, plans, or other depiction of the proposed addition, deletion, or other alterations; together with samples of the materials and colors to be used in taking the minor actions? <input type="checkbox"/> Yes <input type="checkbox"/> N/A</p> <p>Yes</p>		
Applicant Signature	<p>I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that the code official or his authorized representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.</p>		
	<p>Applicant (Print Name) Matt T. Bundy</p>	<p>Signature of Applicant</p> 	<p>Date December 20, 2023</p>
Owner Affidavit	<p>My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.</p>		
	<p>Property Owner (Print Name) Taylor Lindsey</p>	<p>Signature of Property Owner</p> 	<p>Date December 20, 2023</p>



TOWN OF ABINGDON
COMMUNITY DEVELOPMENT

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Office Use Only	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Approved Reasoning: The additional East elevation exterior egress stairs leading from the second floor of the building to the back of the parcel will match the previously approved East elevation exterior egress stairs leading from the second floor of the building onto W. Main Street in material, design, and appearance. The proposed East elevation exterior egress stairs will be shielded from public view.	Official Signature <i>Gabe Cristofari</i>	Date 1/11/2024
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Attachment for Drawings, Plans, Depiction, Etc.: FOR CONSTRUCTION 12-05-23.pdf, 3.53MB

BONEFIRE - Change of Use Application

260 W Main Street Abingdon, VA 24210



GERENERIC 3D VIEW - REAR 1/4" = 1'-0"



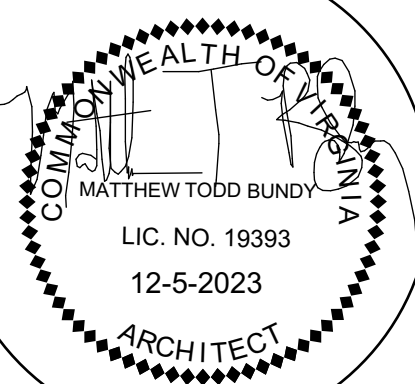
GERENERIC 3D VIEW - LEFTSIDE 1:61.42

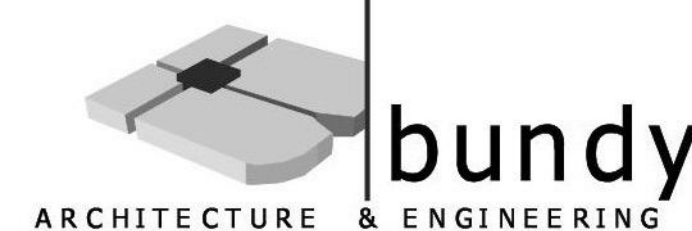


GERENERIC 3D VIEW - RIGHT SIDE 1:61.42

**BONEFIRE - Change of Use
Application**
 260 W Main Street Abingdon, VA 24210

Revision History	
Change Name	Date
SUBMITTAL	5-17-2023
REVISED SUBMITTAL	8-28-2023
OFFICIAL COMMENT REV	10-10-2023
OFFICIAL COMMENT REV	10-18-2023
M E P SUBMITTAL	11-8-2023
M E P REV SUBMITTAL	11-13-2023
FOR CONSTRUCTION	12-5-2023





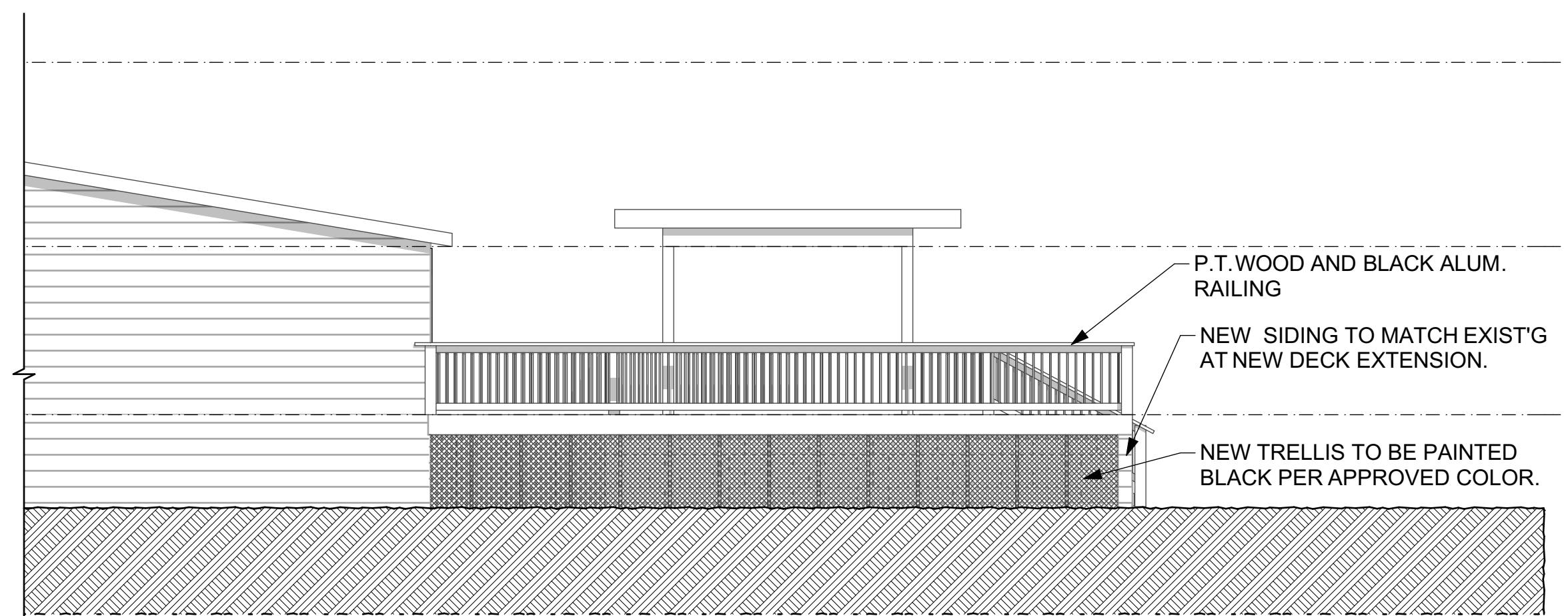
190 E MAIN ST ABINGDON, VA P. 276.628.1067 F. 276.698.3088

Project #: 23054

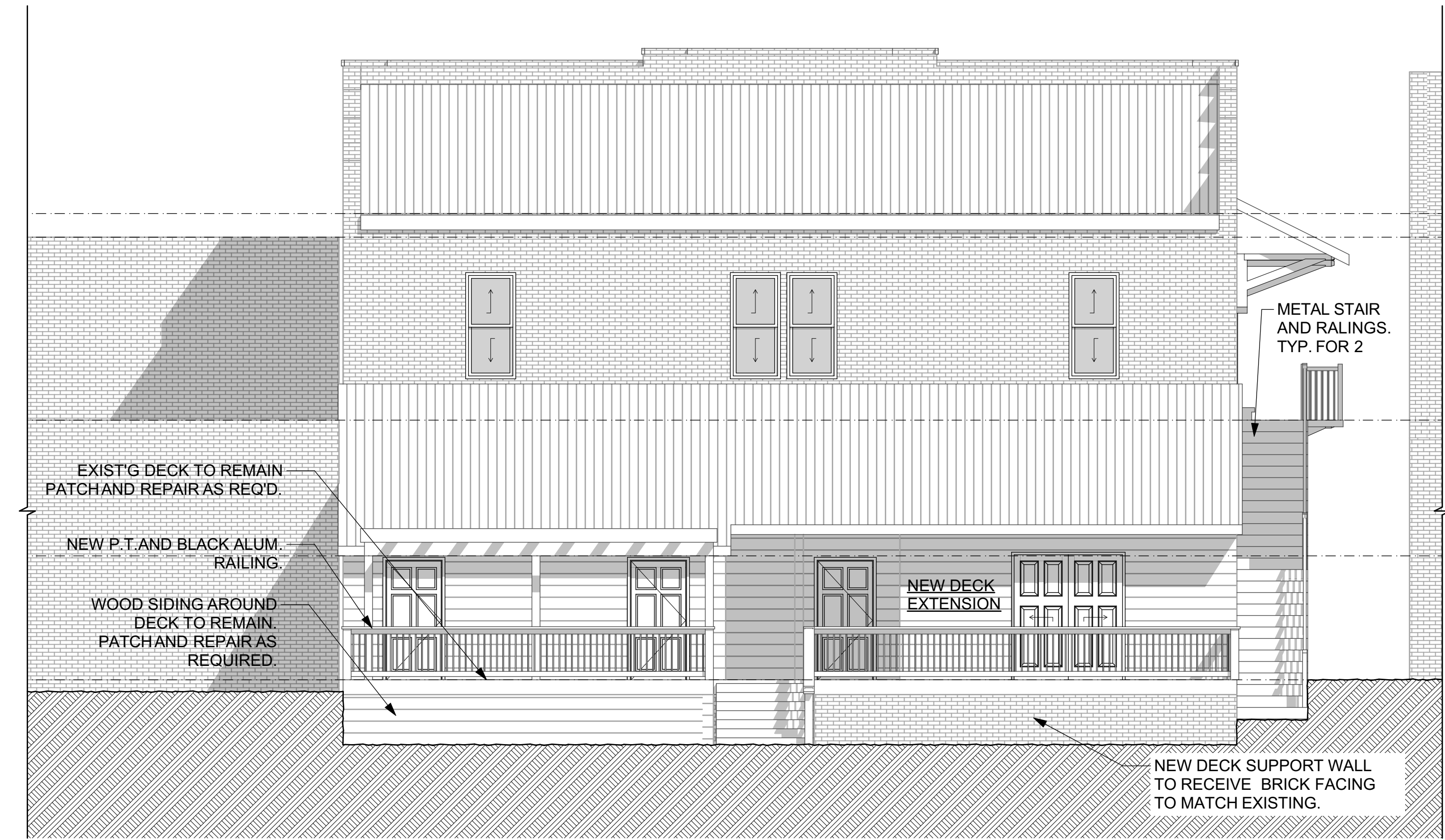
Modified by
N.R.

Checked by
M.T.B.

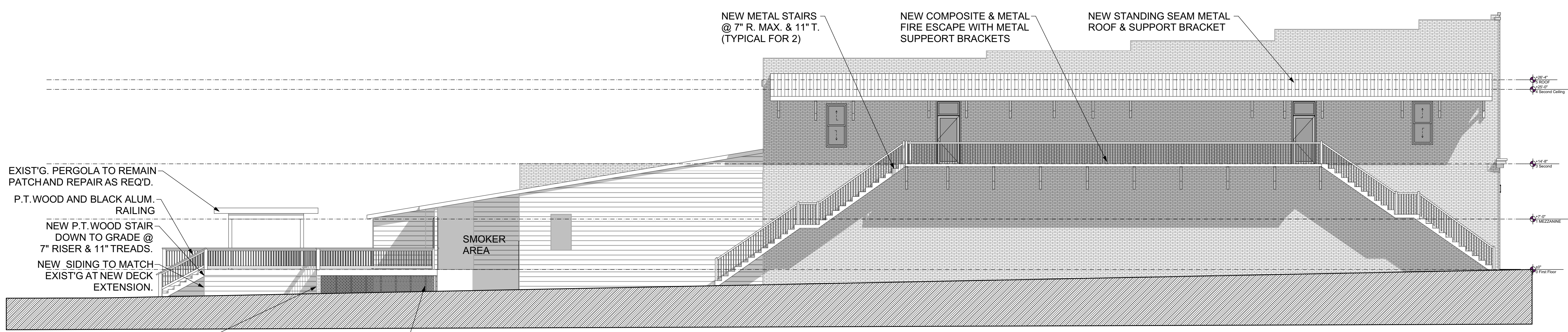
A-0



PARTIAL SIDE (WEST) ELEVATION 3/16" = 1'-0"



PARTIAL REAR (SOUTH) ELEVATION 3/16" = 1'-0"



PARTIAL SIDE(EAST) ELEVATION 1/8" = 1'-0"

BONFIRE - Change of Use
Application
260 W Main Street Abingdon, VA 24210

Revision History	Date
Submit	5-17-2023
REVISION SUBMITTAL	8-20-2023
OFFICIAL COMMENT REV.	10-10-2023
OFFICIAL COMMENT REV.	10-18-2023
M E P SUBMITTAL	11-8-2023
M E P REV. SUBMITTAL	11-13-2023
FOR CONSTRUCTION	12-5-2023

ARCHITECTURE & ENGINEERING
 190 E MAIN ST ABINGDON, VA P. 276.628.1067 F. 276.698.3088



Project #: 23054
 Modified by: N.R.
 Checked by: M.T.B.