



**TOWN OF ABINGDON, VIRGINIA
HISTORIC PRESERVATION REVIEW BOARD
SPECIAL CALLED MEETING
WEDNESDAY, FEBRUARY 15, 2023 – 5:15 P.M.
COUNCIL CHAMBERS, MUNICIPAL BUILDING
CONTACT: GABRIEL CRISTOFARI**

email: gcristofari@abingdon-va.gov Phone : 276-628-3167

Welcome to the Historic Preservation Review Board Special Called Meeting. This is a citizen Board, appointed by the Town Council, to interpret and uphold the Historic Preservation Ordinance, which is Article 8 of the Abingdon Zoning Ordinance that protects the Historic District of Abingdon, which has been designated the Old and Historic District. Our aim on this Board is to provide a positive bridge between the property owners of the district and the design review process, so we welcome you to today's meeting. We appreciate your interest and we encourage public participation in our meeting. Your comments are important to our decision making process. Anyone addressing the Board will approach the podium, identify your first and last name and give your complete mailing address.

A. WELCOME – Byrum Geisler, Chairman

B. ROLL CALL – Gabriel Cristofari, Senior Planner/GIS Specialist

C. CERTIFICATE OF APPROPRIATENESS

- 1. Certificate of Appropriateness – Derek H. Webb, 147 Valley Street NE, Abingdon, VA.; applicant. Application for Certificate of Appropriateness for a two story rear addition. Located at 147 Valley Street NE, Abingdon, VA 24210. Tax Map No. (012-1-43)**

A. Staff report

B. Applicant presentation

C. HPRB discussion and decision

D. PUBLIC COMMENTS

E. BUSINESS/MATTERS NOT ON THE AGENDA

- **Discussion concerning meeting start time changing from 5:15 to 5:30.**

F. ADJOURNMENT



STAFF REPORT

TO: ABINGDON HISTORIC PRESERVATION BOARD (HPRB)

FROM: GABRIEL CRISTOFARI, SENIOR PLANNER/GIS SPECIALIST

SUBJECT: REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR A REAR TWO-STORY FRAME ADDITION

PUBLICATION DATE: FEBRUARY 8, 2023

MEETING DATE: FEBRUARY 15, 2023

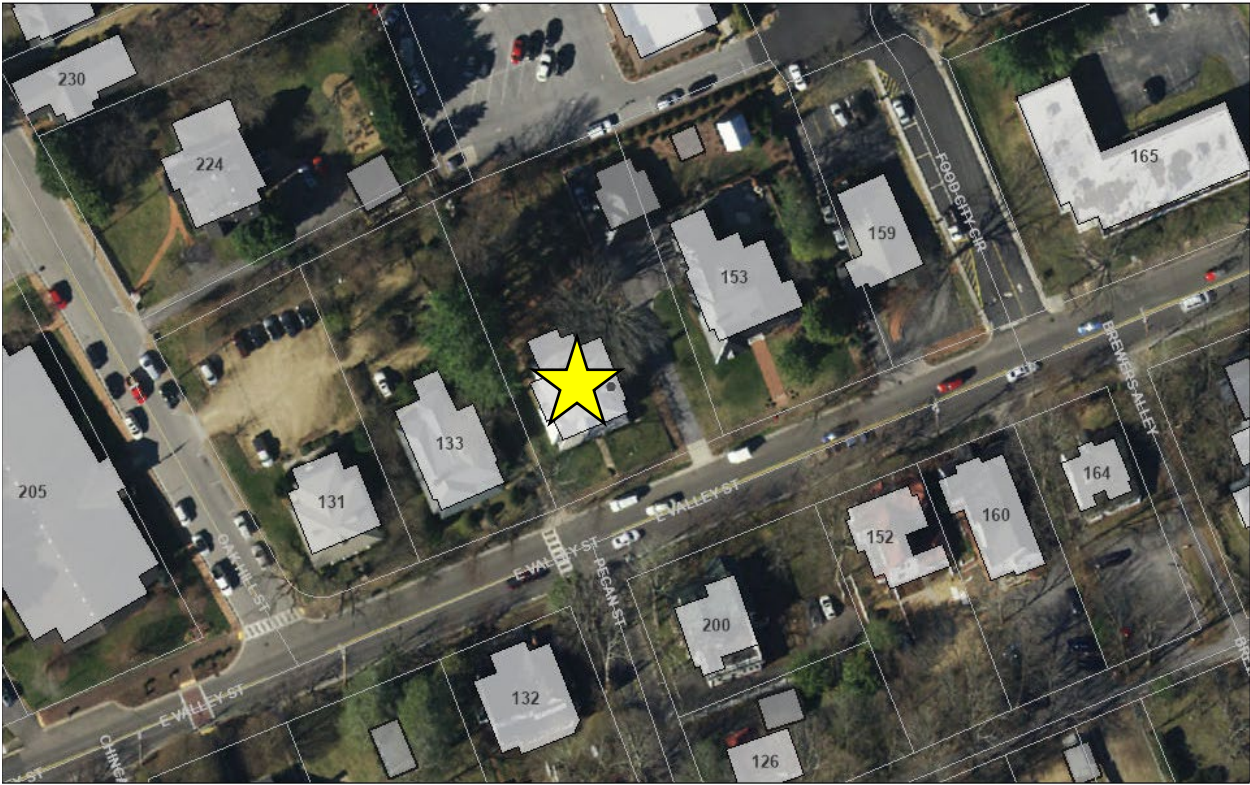
LOCATION: COUNCIL CHAMBERS, TOWN HALL
133 WEST MAIN STREET, ABINGDON, VA

REQUEST:

Derek H. Webb (Applicant/Owner) has requested approval of a Certificate of Appropriateness for a two-story frame addition located at the rear of the existing structure. The property is located on 147 Valley Street NE (Parcel 012-1-43).

The property is within the Old and Historic Zoning District (Sub-District 2), can be seen from a public right of way and is therefore requiring the approval of the HPRB prior to completion.

VICINITY MAP:



ENTRANCE CORRIDOR FRONTAGE:

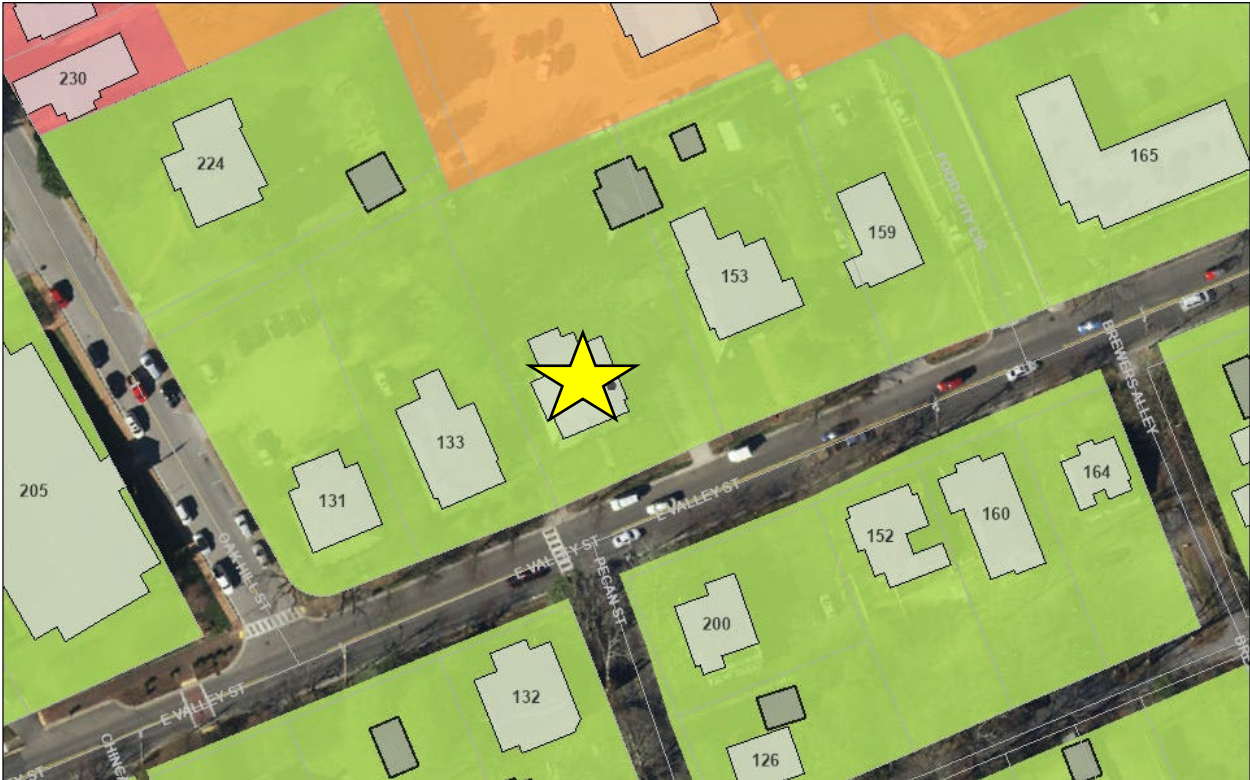


View of E. Valley Street looking West



View of E. Valley Street looking East

ZONING MAP:



STAFF FINDINGS:

1. **Location.** Generally, the Subject Property is located at 147 Valley Street NE.
2. **Background.** According to “Places In Time Volume II” written by Nanci C. King, the building was built in 1909 and is known as the Judge Reuben M. Paige House.

June 1, 2022 Regular Meeting: HPRB approved a roof replacement where the existing Victorian pressed metal shingle (Horseshoe Stamp) roof was replaced with a prefinished black standing seam metal roof.

July 6, 2022 Regular Meeting: HPRB approved the COA as presented. Designs/drawings for the garage would be presented at a future meeting.

- Requested to repaint and repair specific sections of the soffit on both the main building and front porch.
- Proposed a rear access driveway.
- The proposed rear yard fence (wood painted white) was eligible for a waiver because it would be shielded by landscaping, or unseen from any vantage point on E. Valley Street. At this time there is a fence on the side of the house that is temporary until the construction is complete and the fence in the rear can be built.
- Proposed a second story addition on the rear of the structure. There will be very limited visibility of this addition from a public right of way. The addition was identified as mimicking the first floor porch in size and design.
- Proposed a garage located in the rear of the property. Mr. Webb stated he would bring back designs/drawings for the garage when the time comes to undertake the construction of the structure.
- Proposed to repair and replace the damaged front porch decking boards and stairs leading to the elevated front porch. The porch stairs and decking boards are wooden.
- Proposed to repair in kind the existing concrete retaining wall and stairs fronting E. Valley Street.
- Proposed to strip and repaint the existing wooden louvered window shutters black (Black Magic).
- Proposed to remove the overgrown shrubs located at the front of the property is eligible for a waiver.

The HPRB granted the requests by the applicant.

However the rear addition that was proposed to mimic the first floor porch is no longer doing that in the current design. While it is an extremely minimal portion that is visible from Valley Street, it does require the HPRB to review their previous approval as void and conduct a current analysis of the new COA.

3. **Access.** Access to the site will be from E. Valley Street and an access easement to the rear of the structure

4. **Adjacent Land Uses/Zoning.** Adjoining properties are OH on three sides. To the North is an OI (Office and Institutional District) zone.

5. **Applicable Requirements of the Zoning Ordinance.**

Old & Historic District Standards.

8-5-2. *New construction, etc., documentation.*

(a) In the case of new construction, extensive exterior alterations or building additions in the old and historic district, the applicant shall, in addition to any other documentation the board may request, provide at a minimum scale drawings depicting the following:

(1) A design of the proposed improvements detailing distances from any new building or improvement to lot lines, streets, alleys, and sidewalks; and

(2) A design of the proposed improvements in relation to existing structures which are located within the same block.

Design Review Guidelines

The Historic Preservation Review Board may differentiate its requirements on the basis of contributing versus noncontributing structures, visibility from public streets, ways or places and the nature of surrounding properties.

9. *Entrances and Doors for Residences.*

a. Door features such as surrounds, sidelights, hardware and transoms should not be removed or altered, nor should the original size of the door opening be enlarged, reduced or shortened in height.

b. Doors should not be added where they did not originally exist unless needed to meet safety codes or to enhance the use of a property, in which case placement may be at the rear or side of the dwelling or otherwise substantially out of the public view.

c. All doors should be constructed of traditional design appropriate to the architectural style and period of the building concerned. Provided:

(1) New Door Designs. Original doors that are in place at front or side entrances and substantially in the public view should not be replaced with new doors. However, doors that cannot be repaired should be replaced with doors of the same design and materials as the original doors.

- (2) *Missing Door. Missing doors at front entrances or at side entrances substantially in the public view should be replaced with new doors appropriate for the style and period of the dwelling and similar in design to the original with regard to style, configuration, materials, glazing (type of glass and area), hardware and lights, if photographic or other evidence exists.*

15. Foundations.

- a. *Foundations should not be replaced but repaired as needed, adhering to the original design features and using original materials whenever possible. If removal of part of a foundation is required to accommodate mechanical unit installation or other upgrades or repairs, the removal should be made at the rear or at some other facade not in public view.*
- b. *Foundations should be cleaned, repaired or re-pointed as needed. See Guideline #24 for masonry treatment.*
- c. *Foundations should not be concealed with concrete block, plywood panels, corrugated metal or other non-original materials.*

29. New Residential Building Additions (Primary Buildings).

- a. *New additions should be compatible with the original building in scale, placement and design including roof shape, materials, color, location of windows, doors, cornice heights and other design elements.*
- b. *New additions should not imitate an earlier historic style or architectural period. For example, a circa 1880 Queen Anne style rear porch addition is not appropriate for a 1920's Craftsman-Bungalow.*
- c. *Construction should be carried out in a manner that avoids extensive removal or loss of historic materials and damage or destruction of significant original architectural features.*
- d. *Construction should impact the exterior walls of the original building as minimally as possible using existing door and window openings for connecting the addition to the original building.*

30. New Residential Building Construction (Primary Buildings).

- a. *New construction of primary buildings should maintain, not disrupt, the existing pattern and rhythm of surrounding historic buildings along the principal street on which the property fronts by being compatible to the following:*

- 1) *Shape: Variations of asymmetrical, rectangular and square forms are the most appropriate for Abingdon.*
- 2) *Scale (height and width) New construction should not vary more than one-half story from the predominate building height typical of dwellings along the block in which the property is situated. In most blocks in Abingdon this would limit new construction to two and one-half stories or less.*
- 3) *Orientation to the Street: Most historic dwellings in Abingdon have their primary facades and main entrances facing towards the principal street on which the property fronts and this orientation should be maintained in any new construction.*
- 4) *Roof Shape and Pitch: The roof slope ratio for new construction should be 11 appropriate to its architectural style. Gable and variations of hipped roofs are more common on most blocks than flat, mansard or gambrel forms of roof.*
- 5) *Placement on the Lot Front and side yard setbacks should respect the setbacks found along the block on which the building is sited.*
- 6) *Location and Proportion of Porches, Entrances and Divisional Bays: A porch may be used if appropriate to the style, period and overall character of the building.*
- 7) *Location and Proportion of Windows: New window designs and locations should be appropriate to the particular architectural style of the associated building.*
- 8) *Foundation Height At the front of the building, foundation height should be consistent with foundation heights in the area. However, foundation height at the sides or rear of the building may be altered as may be required to follow the slope contours of the lot.*
- 9) *Material and Material Color.*
 - a) *Foundations New construction should create the appearance of historic dwelling foundations, most of which were made of stone, brick or cast concrete. Poured concrete, concrete block and split faced concrete are acceptable foundation materials if finished with stucco or other finishes to provide a textured surface.*
 - b) *Brick Dwellings: If the new construction is of brick, the brick should closely match typical mortar and brick color tones found in Abingdon's historic buildings and along the block in which the new construction is situated. White or light mortars should be avoided because they provide too much contrast with typical dark brick colors.*

- c) *Frame Dwelling: If the new construction is of frame, the preferred exterior material is either wood or some material similar to original materials used in the area such as clapboard, shingle and stucco.*
- d) *Windows: While wood construction is preferred for windows, the use of vinyl clad or aluminum clad windows is acceptable so long as their dimensions are compatible with historic window openings. Dark tinted windows or windows with reflective glass and coatings should not be used if they are in the public view.*
- e) *Details and Texture: The details and textures of building 12 materials employed in the construction should be compatible with the architectural style and period of the building being constructed, and such materials applied in a manner consistent with traditional construction methods.*

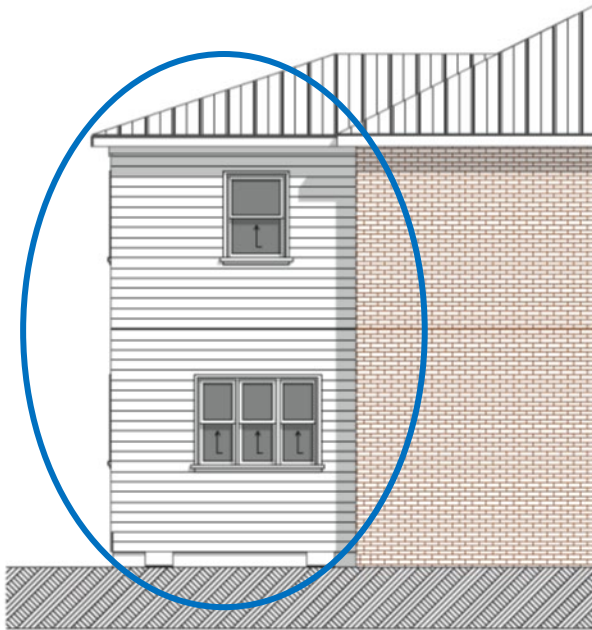
b. Replications (new construction that closely imitates historic buildings such as those found in the Old and Historic District) are acceptable if they are consistent with true historic buildings in their overall form and plan, porch design and placement, window and door treatments, roof forms and architectural details. However, it is important for replications to be identified as such through the use of signs or plaques displayed on the front of the building or otherwise prominent in the public view.

STAFF FINDINGS:

The applicant is proposing a two-story frame addition onto the rear of the existing brick structure laid in a running bond pattern. Foundation for the two-story rear addition will consist of 8 in. exposed CMU. Sheathing for the frame structure will consist of LP SmartSide 6 in. lap siding painted white. All trim architectural features will be painted white to match existing. A plain 5 ½ in. wide frieze will run along the additions fascia matching the back or North elevation of the existing structure, and a standing seam metal roof prefinished black with k-style gutters with round downspouts will match existing.

In total, there will be nine one-over-one single hung sash windows and a modern door associated with the rear addition. Based on the last discussion with the applicant, the proposed windows will be vinyl. The configuration of the windows and door are such:

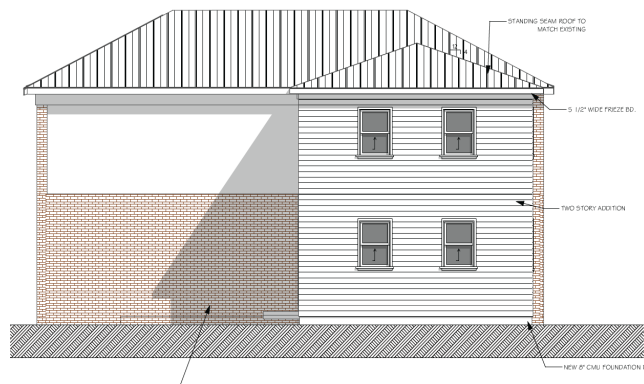
West Elevation: Three narrower one-over-one single hung sash windows will be centered on the first floor level, and a one-over-one single hung sash window will be centered on the second floor level directly above the first floor level window. The West elevation is the only visible elevation of the addition seen from a public right of way.



East Elevation: A modern door centered on the first floor level leading out into the back yard. A one-over-one single hung sash window centered on the second floor level directly above the modern door. A landing will be located directly outside the modern door. Staff has concluded based on site visits the East elevation cannot be seen from a public right of way.



North Elevation. Two one-over-one single hung sash windows will be evenly spaced on the first floor level, and two one-over-one single hung sash windows will be evenly spaced on the second floor level directly above the windows located on the first floor level. Staff has concluded based on site visits the North elevation cannot be seen from a public right of way.



There is an existing one-story frame enclosed porch/sunroom located at the proposed location of the two-story frame addition. Wooden panels painted white, and a reddish tinted metal low sloped roof make up the envelop of the one-story structure. Three pane by three pane casement windows create a central horizontal band running along the East, North, and West facing elevations of the framed enclosure. Centered on the North facing elevation wooden and a screen door painted white. It is staff's opinion this enclosure is not original to the structure.



Architectural features matching the existing structure include the prefinished black standing seam metal roof, the k-style gutters with rectangular downspouts, all trim architectural features painted white and the plain 5 ½ in. wide frieze running along the additions fascia matching the back or North elevation of the existing structure. LP SmartSide 6 in. lap siding painted white is an appropriate material, and a type design seen throughout the Old & Historic District where a wooden clapboard addition is attached to the rear of an existing brick structure.

However, the addition will require the removal of three wooden windows located on the North elevation. Two of the three windows to be removed are double hung sash, the top sash is three-over-two and the bottom sash is one singular square pane. This type window configuration matches what is seen throughout the exterior of the existing structure. The third window located on the second floor level is a smaller window with a screen attached. The addition's proposed roof would connect into the existing roofline, altering the roofline. Overall, the proposed window openings will line up and match the existing window openings as seen on 2/7/2023. The existing window openings will be converted to transitional points between the existing structure and proposed rear addition.



View of North facing elevation for 147 E. Valley Street. Red rectangle showing proposed rear addition location

Foundation for the two-story rear addition will consist of 8 in. exposed CMU. According to the Design Review Guidelines, exposed CMU is not appropriate but should be finished with stucco or other finishes providing a textured surface.

Additionally wood construction is preferred for windows, the use of vinyl clad or aluminum-clad windows is acceptable so long as their dimensions are compatible with historic window openings.

REQUIRED ACTIONS OF THE HISTORIC PRESERVATION REVIEW BOARD:

- A. Sample Motions.** The role of the Historic Preservation Review Board in this instance is to decide on the Certificate of Appropriateness request. The following sample motions have been provided by Staff for consideration by the HPRB:

Sample Motion for Approval: Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 8-4 of the Town of Abingdon Zoning Ordinance, I move to approve the Certificate of Appropriateness for 147 Valley Street NE, with approval subject to all applicable laws and regulations.

Sample Motion for Denial: Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 8-4of the Town of Abingdon Zoning Ordinance, I move to deny the Certificate of Appropriateness for 147 Valley Street NE.

Sample Motion for Continuance: Having reviewed and considered the application materials, staff report, and public comment, I move to continue 147 Valley Street NE Certificate of Appropriateness for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).



TOWN OF ABINGDON COMMUNITY DEVELOPMENT

Building • Planning • Code Enforcement

Office Use Only

Fees: \$ _____

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS for OLD AND HISTORIC DISTRICT

Location of Property	Street Address 147 Valley st ne	
	City, State, Zip Code Abingdon, va, 24210	Parcel Number
Applicant Information	Name Derek H. Webb	
	Mailing Address, City, State, Zip Code 147 Valley st ne, abingdon, va 24210	
	Select Applicant Relation to Property below: Property Owner <input type="checkbox"/> Property Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other:	Email dweebmun@gmail.com
Owner Information	Name of Owner Derek H. Webb	
	Mailing Address, City, State, Zip Code 147 Valley st ne, abingdon, va 24210	
	Name of Business (if applicable)	Email dweebmun@gmail.com
Project Description	1)	Is this property located in the Old and Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No Yes
	2)	Have you completed and attached the following required items: <input type="checkbox"/> Yes Site Plan for New Construction (more details below in number 3) Yes <input type="checkbox"/> Yes Drawings for Alterations and New Construction (more details below in number 4) Yes
	3)	Does your Site Plan contain the following required items: <input type="checkbox"/> Yes Location(s) of all proposed and current structures on property N/A <input type="checkbox"/> Yes Proposed landscape alterations denoted with callouts denoting what the alteration(s) are and the material(s) used Yes
	4)	Does your Drawings contain the following required items: <input type="checkbox"/> Yes Drawings for structures with all four elevations showing what the completed proposed project would appear as Yes <input type="checkbox"/> Yes Drawings for landscape features (walls & fences) and signs Yes <input type="checkbox"/> Yes Dimensions (length, width & height) are required on all drawings for all structures Yes <input type="checkbox"/> Yes Drawing callouts to distinguish what is being proposed compared to what is existing Yes <input type="checkbox"/> Yes Callouts need to note the material(s) and color(s), if applicable, of any architectural feature related to the proposed project Yes
Applicant Signature	I understand that the deadline for applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans and post public notices per VA code section 15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If applications is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application. Applicants need to submit a complete application with sufficient information to enable clear understanding of the proposal by the HPRB members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations, or changes will result in delays.	
	I understand that I must be present at the HPRB Meeting on the date assigned by staff to present my proposal and that failure to attend may result in denial of my proposal by the members due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before received Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from that date of approval.	



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<p>I understand if any changes to previously approved drawings or materials occurs for any reason, the applicant and/or representative must submit another Certificate of Appropriateness with the revised plans and materials for review by the HPRB. I further understand not complying will result in a stop work order.</p> <p>I hereby certify that I am the owner of the record herein described property, or that the proposed work has been authorized by the owner of record and that I have been authorized to make this application as a designated agent. I agree to conform to all applicable state and local regulations, rules, and policies. In addition, I certify that an authorized Town representative shall have the authority to enter the area(s) described herein for the purpose of enforcing the provisions of the applicable code(s). I further authorize Town Staff to notify any adjoining property owners of this application for Certificate of Appropriateness. I certify all answers to questions and additional statements, within this application, are true, as confirmed by my signature below.</p>		
<p>Applicant (Print Name) Derek H. Webb</p>	<p>Signature of Applicant</p>	<p>Date January 23, 2023</p>
<p>My signature below confirms that I am familiar with the Code of Virginia, Title 54.1-1111 which regulates contractors; I am aware that anyone who performs work for me is required to have a state contractor license and trade certification (if applicable); that I may be subject to with-holding taxes for those working on my project; and that I am not subject to licensure as a contractor or subcontractor for this project.</p>		
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">Owner Affidavit</p>	<p>Property Owner (Print Name) Derek H. Webb</p>	<p>Signature of Property Owner</p>
<p>Date January 23, 2023</p>		

CERTIFICATE OF APPROPRIATENESS SUBMITTAL MATERIALS CHECKLIST

Check the Appropriate Boxes Below Related to Changes/Additions to be Made	Required Submittal Materials	Detailed Description
<p>IMPORTANT: Include a detailed description in the far left column of all requirements listed in the middle column pertaining to the appropriate boxes you check. (use additional sheets if necessary)</p>		



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<input type="checkbox"/> Awning No	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Color of material 5. Dimensions (length, width & height) 6. Mechanism of attachment to structure 	
<input type="checkbox"/> Chimney No	<ol style="list-style-type: none"> 1. Location 2. Type of brick, sample needed 3. Type of mortar, sample needed 4. Dimensions (length, width & height) 	
<input type="checkbox"/> Cornice No	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Color of material 5. Dimensions (length, width & height) 6. Mechanism of attachment to structure 	
<input type="checkbox"/> Decks No	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Paint color with applicable 5. Dimensions (length, width & height) 6. Mechanism of attachment to structure 	
<input type="checkbox"/> Driveway, Parking and Paving No	<ol style="list-style-type: none"> 1. Location 2. Material 3. Dimensions (length, width & height) 	
<input type="checkbox"/> Doors Residential & Commercial Yes	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Paint color with applicable 5. Dimensions (length, width & height) 	Will be one door as noted in the addition. Will be white.
<input type="checkbox"/> Fences No	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Paint color with applicable 5. Dimensions (length, width & height) 	
<input type="checkbox"/> Foundation Yes	<ol style="list-style-type: none"> 1. Material 2. Paint color with applicable 3. Dimensions (length, width & height) 	Won't be able to see foundation



TOWN OF ABINGDON

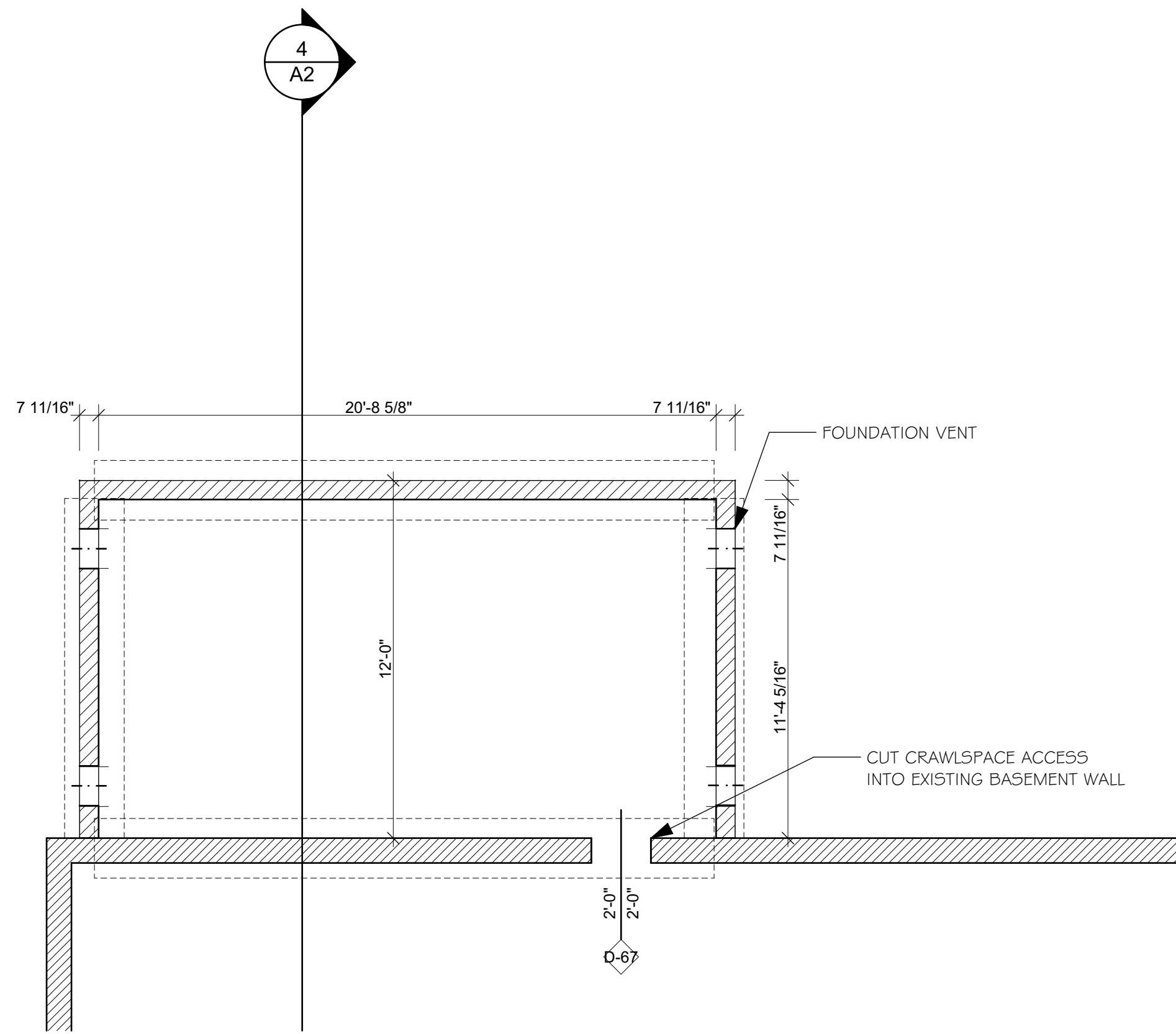
COMMUNITY DEVELOPMENT

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<input type="checkbox"/> Gutter & Downspouts Yes	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Paint color with applicable 5. Dimensions (length, width & height) 	Likely won't be able to see guttering
<input type="checkbox"/> Lighting No	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Paint color with applicable 5. Dimensions (length, width & height) 	
<input type="checkbox"/> Roof Yes	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Material 4. Paint color with applicable 5. Dimensions (length, width & height) 	Will likely not see any of the new roof, but it will be same as the rest of the house--standing seam black custom roof
<input type="checkbox"/> Windows Yes	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Materials 4. Type of glass 5. Paint color with applicable 6. Dimensions (length, width & height) 	Likely won't be able to see the windows
<input type="checkbox"/> Signs No	<ol style="list-style-type: none"> 1. Location 2. Style/Design 3. Materials 4. Paint color with applicable 5. Dimensions (length, width & height) 	

Attachment for Site Plan: , MB

Attachment for Drawings: , MB



3 Crawl Space (1)

SCALE: 1/4" = 1'-0"

WINDOW NUMBER		WIDOW SIZE	
ROOM	ID	NOMINAL WIDTH	NOMINAL HEIGHT
	W-2	3'-0"	4'-4"
	W-2	3'-0"	4'-4"
	W-2	3'-0"	4'-4"
	W-2	3'-0"	4'-4"
	W-2	3'-0"	5'-0"
	W-3	6'-0"	4'-6"
	W-3	3'-0"	4'-4"

Window Schedule

SCALE: 1" = 1'-0"

DOOR NUMBER		DOOR LEAF		
ROOM	ID	NOMINAL WIDTH	NOMINAL HEIGHT	LEAF THICKNESS
	D-66	3'-0"	6'-8"	1 5/8"
	D-66	3'-0"	6'-8"	1 5/8"
	D-66	7'-10"	9'-4 1/2"	1 5/8"
	D-67	2'-0"	2'-0"	1 5/8"
	D-67	3'-11"	6'-8"	1 5/8"
	D-71	3'-0"	6'-8"	1 3/4"
	EXIST	3'-0"	6'-8"	1 3/4"

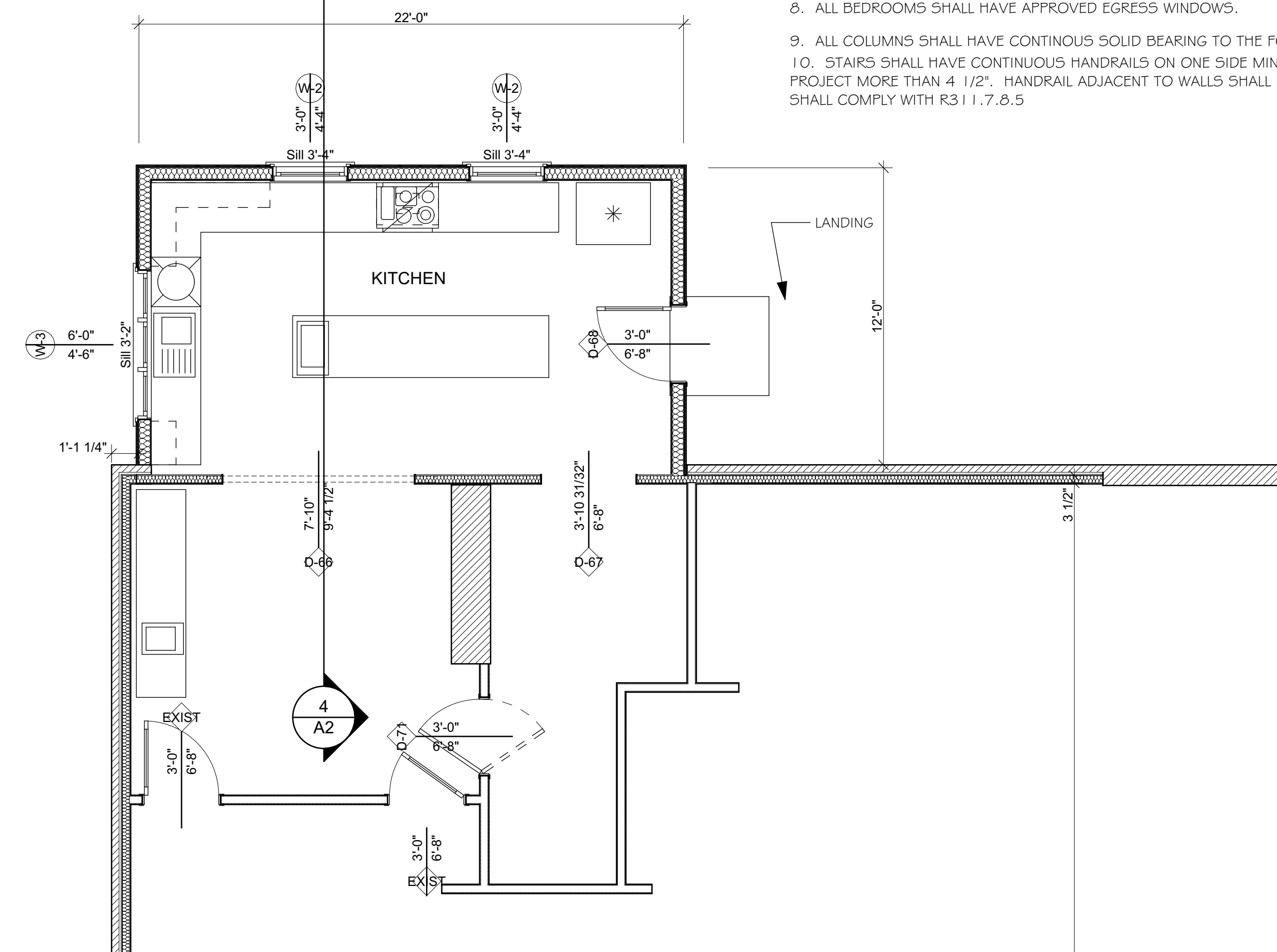
Door Schedule

SCALE: 1" = 1'-0"

ROOM AREAS SCHEDULE		
FLOOR	ROOM	AREA
First Floor, 40	KITCHEN	249.60
		249.60 sq ft
Second Floor, 41	BONUS ROOM	241.50
		241.50 sq ft
		491.10 sq ft

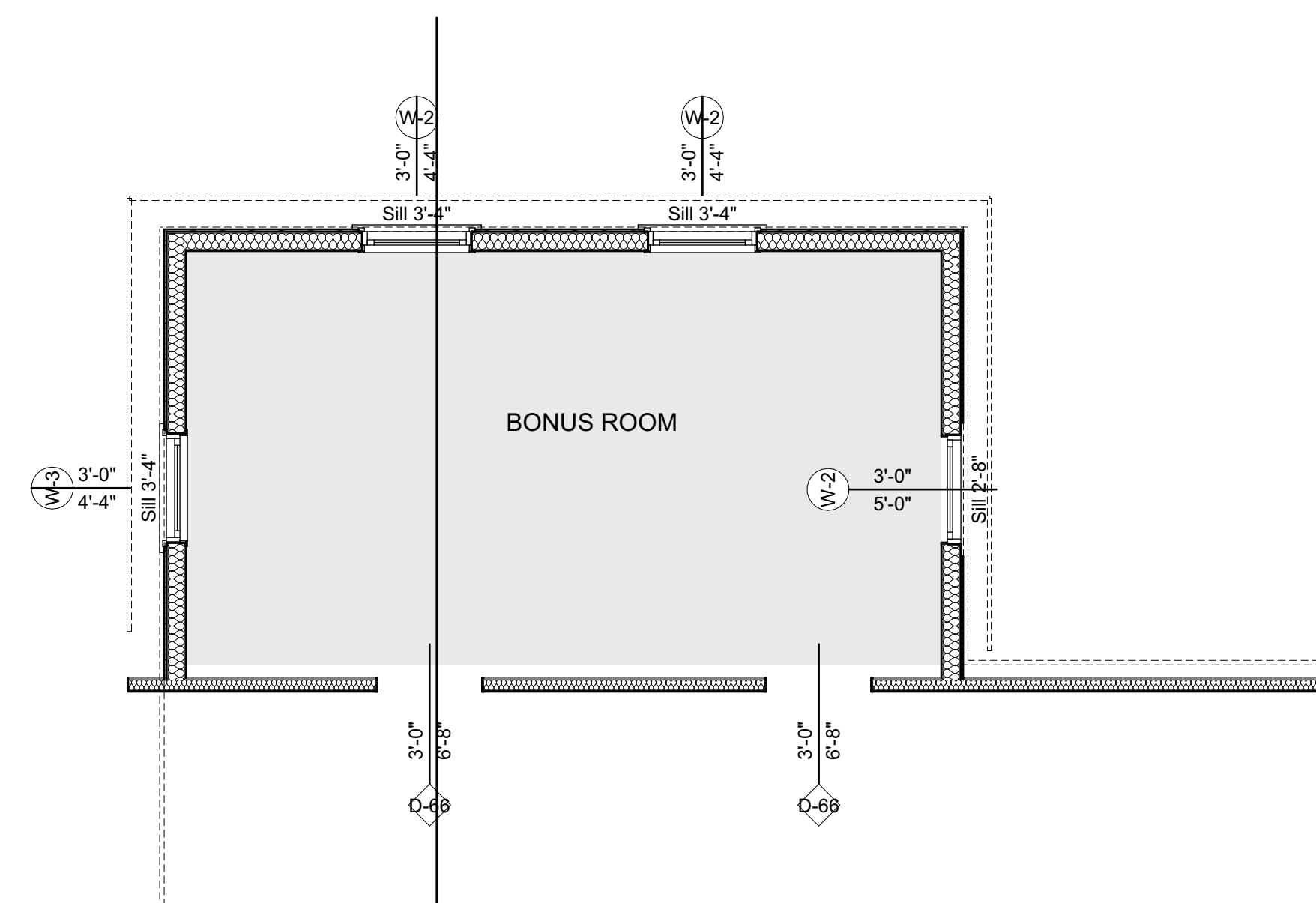
GENERAL NOTES (RESIDENTIAL):

1. ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.
2. FOOTINGS SHALL BEAR ON DRY, UNDISTURBED NATIVE SOIL WITH 1500 PSF BEARING CAPACITY.
3. INSTALLATION OF ALL PRODUCTS SHALL COMPLY WITH THE MANUFACTURER RECOMMENDATIONS OR SPECIFICATIONS.
4. ALL FRAMING SHALL BE NO. 2 S-P-F UNLESS NOTED OTHERWISE. LVL'S SHALL BE 2.0 E MIN.
5. ALL REINFORCING STEEL SHALL BE GRADE 40 OR BETTER DEFORMED BARS.
6. ALL CONCRETE SHALL BE 3000 PSI 28 DAY STRENGTH EXCEPT SLABS SHALL BE 4000 PSI 28 DAY STRENGTH.
7. ALL BASEMENT WALLS RETAINING UNBALANCED SOIL SHALL BE BRACED Laterally INTO THE FLOOR FRAMING SYSTEM.
8. ALL BEDROOMS SHALL HAVE APPROVED EGRESS WINDOWS.
9. ALL COLUMNS SHALL HAVE CONTINUOUS SOLID BEARING TO THE FOOTINGS.
10. STAIRS SHALL HAVE CONTINUOUS HANDRAILS ON ONE SIDE MINIMUM BETWEEN 34" AND 38" HEIGHT AND SHALL NOT PROJECT MORE THAN 4 1/2". HANDRAIL ADJACENT TO WALLS SHALL HAVE 1 1/2" CLEARANCE. HANDRAIL GRIP SIZE SHALL COMPLY WITH R311.7.8.5



1 First Floor Plan

SCALE: 1/4" = 1'-0"



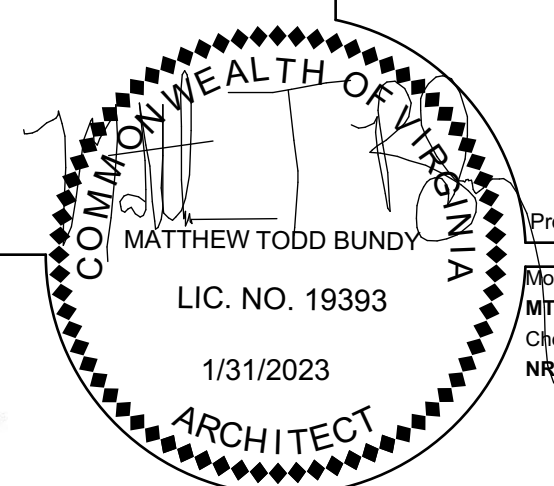
2 Second Floor

SCALE: 1/4" = 1'-0"

ADDITION TO THE WEBB RESIDENCE

147 E. VALLEY ST ABINGDON VA 24210

Revision History	
Change Name	Date
PER CBO COMMENTS	1/12/2023
	1/31/2023



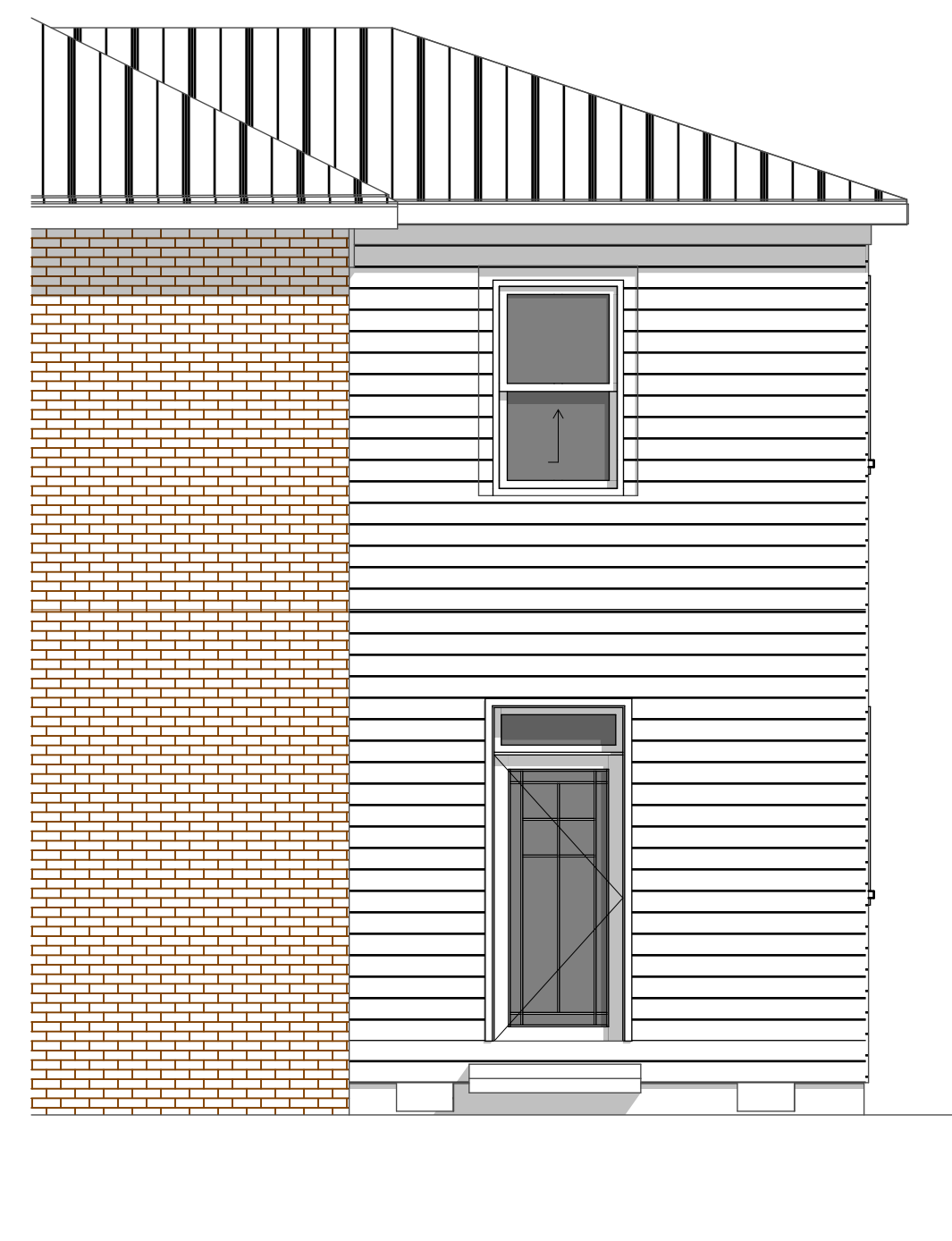
bundy
ARCHITECTURE & ENGINEERING
190 E MAIN ST ABINGDON, VA P. 276.628.1067 F. 276.698.3088

Project No. 22160
Modified by
MTB
Checked by
NR
Layout ID
A1



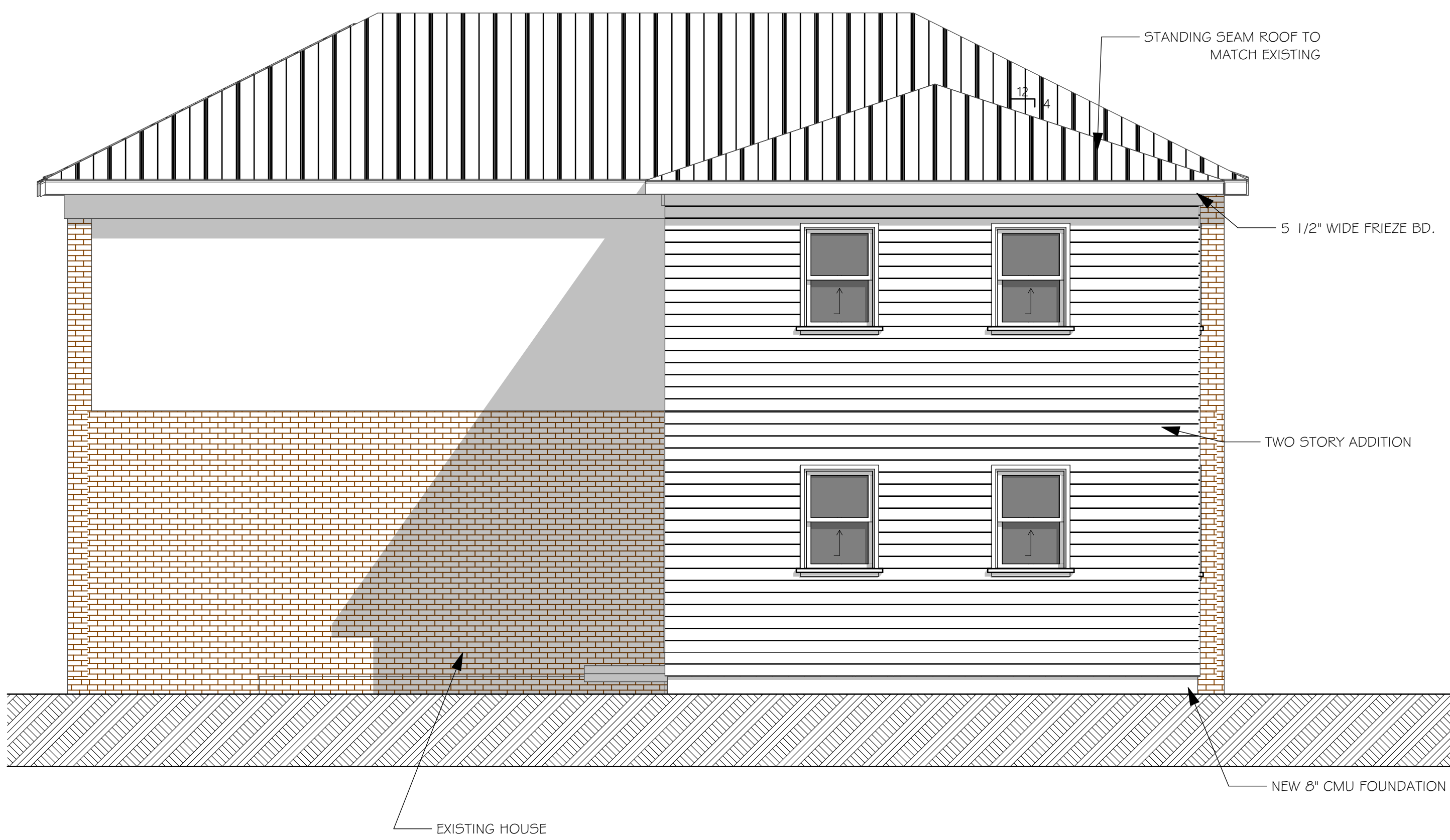
2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



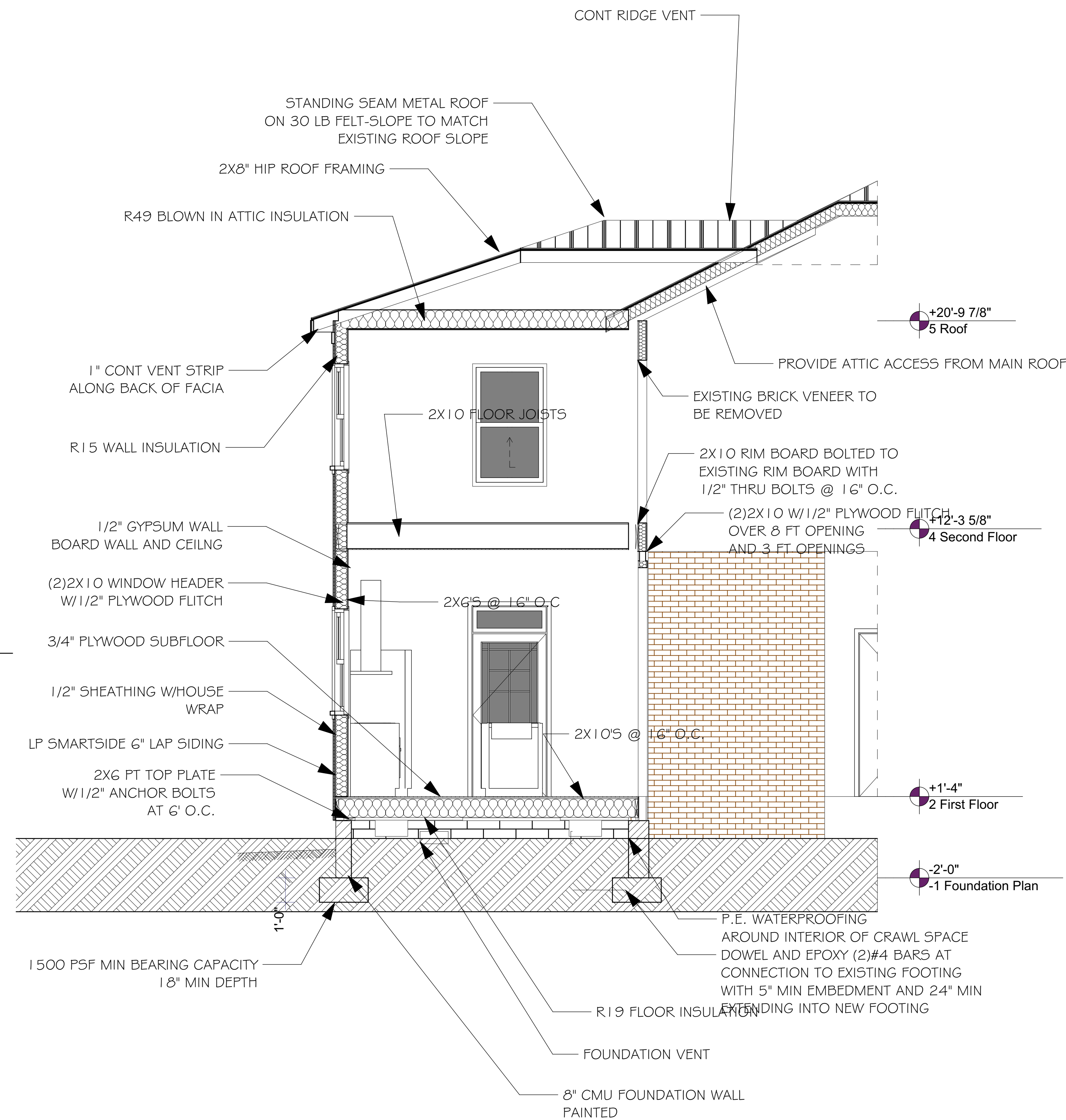
3 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



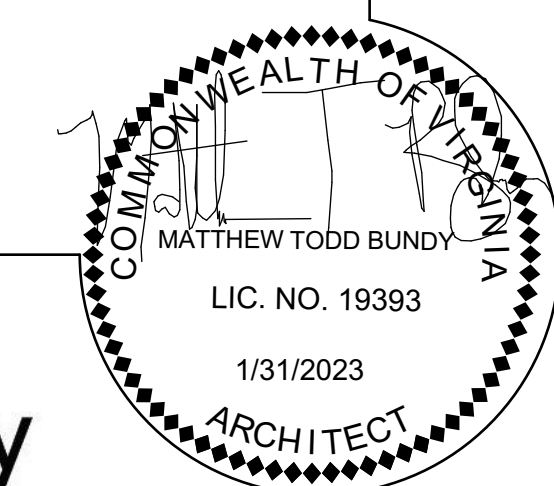
4 SECTION

SCALE: 3/8" = 1'-0"

ADDITION TO THE WEBB RESIDENCE

147 E. VALLEY ST ABINGDON VA 24210

Revision History	Glance Name	Date
PER CBO COMMENTS		1/31/2023
		1/31/2023



ARCHITECTURE & ENGINEERING

 190 E MAIN ST ABINGDON, VA P. 276.628.1067 F. 276.698.3088

Project No. 22160

 Modified by: MTB

 Checked by: NR

 1/31/2023

 Layout ID: A2