



**TOWN OF ABINGDON, VIRGINIA
PLANNING COMMISSION MEETING
MONDAY, MAY 20, 2019 – 5:30 P.M.
ARTHUR CAMPBELL MEETING ROOM
MUNICIPAL BUILDING**

Welcome to the Town of Abingdon, Virginia Planning Commission Regular Meeting. We appreciate your interest and we encourage public participation in our meeting. Your comments are important to our decision making process. Please note that there will be opportunities during the meeting for you to address the Commission members. The first opportunity will come if there is a public hearing on the agenda, when the Chairman declares the hearing open for comment. The second opportunity to address the Commission will come near the end of the agenda when the Chairman will inquire if anyone wishes to address the members of the Commission. Anyone addressing the Commission will approach the podium; give your first and last name and your complete physical address. Comments must be limited to three minutes.

A. WELCOME – *Wayne Austin, Chair*

B. ROLL CALL – *Jason Boswell, Director of Planning*

C. APPROVAL OF MINUTES

- April 22, 2019

D. PUBLIC COMMENTS

E. PUBLIC HEARING

1. Public Hearing - Special Use Permit: Application to construct a three (3) bay truck garage and parking for small trucking company and truck repair. Would work well in M-1 zone as this is already served by tractor-trailer traffic; **James E. Cozart Residuary Trust, Owner; P.O. Box 613 Abingdon, VA, 24212. Property is located at 550 Lowry Drive, Abingdon, VA 24210. Tax Map No. (018-20-2).**

F. CERTIFICATE OF APPROPRIATENESS

1. Application for Certificate of Appropriateness; Highlands Ski Haus, Inc. Sandra and Gary Clayton, P.O. Box 1944, Abingdon, VA 24212: Owner. Karen Raines, 440 Fairway Drive, Abingdon, VA 24211; Representative. COA to take down the existing vinyl awning, frame, replace with metal grey roof awning with wooden support poles

over the entire front business side of the sidewalk, and add on a covered front door offset going into the entrance of the building. **Located at 909 East Main Street, Abingdon, VA. Tax Map No. (106-5-6).**

2. Application for Certificate of Appropriateness; McDonald's 45-0206; Theresa J. Simmons/McDonald's USA, LLC: Owner. John Connelly/Kristin Lang, Britt, Peters & Associates, Inc. 101 Falls Park Dr. Suite 601, Greenville, SC 29601; Representative. COA remodel of existing McDonald's restaurant. Located at 525 Cummings Street Abingdon, VA. Tax Map No. (020-12-6).

3. Application for Certificate of Appropriateness; Thom Crosby, CroBar LLC, 1001 Konnarock Road., Kingsport, TN 37664: Owner Steven K. Hutton and Associates, PC, 245 East New Street, Suite 201, Kingsport, TN 37660; Representative. Site Plan and Exterior of proposed Pals Sudden Service facility. Located at The Meadows, Lot 10, Abingdon, VA.

G. DISCUSSION

1. Comprehensive Plan Update

2. Zoning Ordinance Update

H. OLD BUSINESS/MATTERS NOT ON THE AGENDA

I. ANNOUNCEMENTS

J. ADJOURNMENT

**TOWN OF ABINGDON
PLANNING COMMISSION
MONDAY, APRIL 22, 2019 – 5:30 PM
ARTHUR CAMPBELL MEETING ROOM – MUNICIPAL BUILDING**

A meeting of the Abingdon Planning Commission was held on Monday, April 22, 2019 at 5:30 pm in the Arthur Campbell Meeting Room.

A. Mr. Kenneth Vittum pro term, called the meeting to Order

B. Roll Call – Jason Boswell, Director of Planning

Members Present:

Mr. Scott Wilson
Dr. H. Ramsey White, Jr.
Mr. Al Bradley
Mr. Kenneth Vittum

Comprising a quorum of the Commission

Members Absent:

Mr. James Anderson
Mr. Kenny Shuman
Mr. Wayne Austin

Administrative Staff Present:

Mr. Jason Boswell – Director of Planning
Mrs. Janice Dornon – Administrative Assistant

C. APPROVAL OF MINUTES

Approval of Minutes: Regular Meeting, April 22, 2019

On motion of Mr. Bradley seconded by Mr. Wilson the minutes of March 25, 2019 were approved as submitted.

The roll call vote was as follows:

Mr. Wilson	Aye
Dr. H. Ramsey White, Jr	Aye
Mr. Bradley	Aye
Mr. Vittum	Aye

Minutes for March 25, 2019 were approved as presented.

D. PUBLIC COMMENTS – NONE

E. CERTIFICATE OF APPROPRIATENESS

1. Application for Certificate of Appropriateness; McDonald's 45-0206; Theresa J. Simmons/McDonald's USA, LLC: Owner. John Connelly/Kristin Lang, Britt, Peters & Associates, Inc. 101 Falls Park Dr. Suite 601, Greenville, SC 29601; Representative. COA remodel of existing McDonald's restaurant. Located at 525 Cummings Street Abingdon, VA. Tax Map No. (020-12-6).

Ms. Kristin Lang, Greenville, SC represented Britt, Peters & Associate, Inc., who are representing McDonald's and the property located at 525 Cummings Street.

McDonald is requesting a design that would update the brand for the interior and exterior to a more modern design using less color. With this design, they will be removing the existing sunroom. The new design will address ADA compliance. They will be bring the front sidewalk out and will connect to the public sidewalks to comply with ADA requirements. The basic parking lot layout will remain the same. Canopies will be added above the windows and doors and will have lights underneath them.

In the interior a kiosks will be added so that customers can place their orders, customer will then take a number and their food will be delivered to their table by a McDonald's associates. In order to accommodate this new feature the counter will be split to make food delivery easier for the staff. There will be no utility work needed. The bathrooms will be updated per ADA regulations if needed.

During the construction stage, a temporary wall will be built between the counter and the kitchen to contain construction dust so that food prep can continue. The drive thru windows will remain operational throughout the constructing process unless otherwise advised by the contractors. Construction should take five to six weeks to complete.

The board does not think that the new design will fit in with the entrance corridor requirements, stating the use of brick and stone are recommended in the entrance corridor. Ms. Lang told the board that McDonald is getting away from the use of brick and stone in their new rebranding design. Ms. Lang also mentioned to the board that since this particular McDonalds is a low volume-producing store, according to the

McDonalds scale, they would only be willing to do a minimum amount of site work for this location in order to be complaint with the entrance corridor requirements as suggested by the Planning Commission board. Ms. Lang told the board that she would have to contact the architect for new revisions.

Ms. Lang was quoted from the Entrance Corridor provision section 18-9-8.5 which states the following:

Architectural styles, building and roofing materials and colors shall be reflective of the traditional architecture of Abingdon. This may be accomplished through building scale, materials, and forms, all of which may be embodied in architecture which is contemporary as well as traditional.

On motion of Mr. Bradley, Seconded by Dr. White the Planning Commission members tabled the plans as submitted stating that the plans for the new design will not fit into the entrance corridor requirements.

The roll call vote was as follows:

Mr. Wilson	Aye
Dr. H. Ramsey White, Jr	Aye
Mr. Bradley	Aye
Mr. Vittum	Aye

The COA for 525 Cummings Street was tabled stating the design would not fit into the entrance corridor requirements to give the applicant time to draw up new plans.

2. Application for Certificate of Appropriateness; Colonial Square AVA LLC, 207 San Juan Drive, Ponte Beach, FL 32082; Owner. L.K. Addison, L.C.; Representative. COA to subdivide property into two parcels, 1) containing 4.523 acres, 2) containing 3.205 acres. Proposing to demolish the western unit on parcel one and reconfigure the parking area on the northwest area of parcel two. A variance is being requested for sidewalk along Village Boulevard between shopping center entrances. Located at 845 Village Blvd, Abingdon, VA 24210. Tax Map No. (017-17-9).

Ken Addison represented the property located at 845 Village Blvd.

The request is to subdivide property into two separate parcels. Parcel 1) is the existing Food Lion building and parcel 2) on the east end of the shopping center will have part of the building demolished and an addition of 2000 square feet will be added.

At the January 28, 2019 meeting, a variance was asked for the sidewalks and at this meeting, the variance was denied. Since the variance was denied by the board Mr. Chris White has sent in a letter confirming that Colonial Square AVA, LLC will install the section of sidewalk requested by the board. Five feet concrete sidewalks will be

constructed at the east and west ends of the shopping center, this will require a small amount of grading work. The Final Plat will be heard at the next Town Council meeting for approval on May 6, 2019.

On motion of Dr. White, Seconded by Mr. Bradley Planning Commission members recommended that the COA be approved as presented.

The roll call vote was as follows:

Mr. Wilson	Aye
Dr. H. Ramsey White, Jr	Aye
Mr. Bradley	Aye
Mr. Vittum	Aye

The COA for 845 Village Blvd was unanimously approved.

F. UPDATES FROM STAFF AND PLANNING COMMISSION MEMBERS

1. Comprehensive Plan Update

Mr. Boswell told the board that the first community meeting to gather information and suggestion about what the citizens would like to see in the new Comp Plan for the town. The meeting will be held on May 7th from 5:00 – 7:00 P.M. at the Virginia Highlands Small Business Incubator. The portion of the Comp Plan will be the Vision & Goals section. Mr. Vittum told the board to invite everyone they know that the more input the better the complete Comp Plan would be.

Mr. Boswell also told the board the Comp Plan Steering Committee would be meeting on May 8th to discuss the Comp Plan.

2. Zoning Ordinance Update

Mr. Boswell has sent a copy of the revised ordinances to the board for review and he welcomed any comments. He would like to know what their thoughts are about the language used in the code revisions.

The next scheduled Planning Commission meeting falls on Memorial Day and will need to be moved since the Town Hall will be closed for the Memorial Day holiday. The new date will May 20th. We will put the new date on the Town of Abingdon website and all available social media venues.


G. ADJOURN

On motion of Mr. Bradley, Seconded by Mr. Wilson recommending the meeting be adjourned with no further business to address.

The roll call vote was as follows:

Mr. Wilson	Aye
Dr. H. Ramsey White, Jr	Aye
Mr. Bradley	Aye
Mr. Vittum	Aye

Adjourn Time: 6:10 P.M.



Kenneth Vittum, Pro Term



Jason Boswell, Secretary

Next regularly scheduled meeting will be May 20, 2019 at 5:30 pm in the Arthur Campbell Room, 1st floor of the Town Municipal Building.



Town of Abingdon, Virginia
Department of Planning

Special Use Permit Application
Non-refundable Application Fee - \$75

To the Town Council and Planning Commission:

Special Use Permit is required under Section No. 17-3 of the Zoning Ordinance in the M-1 zone for the use of Automobile parking, upholstery, repairing, rebuilding, reconditioning, body & fender work.

Applicant Information:

Name of Owner: James E Cozart Residuary Trust

Address: P.O. Box 613 Abingdon Va Telephone: (276) 356-5382

Representative: Edward J Cozart

Representative is: Lessee/Renter Other (please specify): decendant/power of Attorney

Representative's Telephone Number: (276) 356-5382 Email: _____

Representative's Address: P.O. Box 613 Abingdon Va 24212

Property Information:

Location: 550 Lowmy Drive Abingdon Va 24210

Tax Map Number: 018 20 2

Describe proposed improvements and give details of operation(s). (Please describe operations thoroughly, as required by section 17-3-2 of the Zoning Ordinance [See reverse] and attach separate sheet(s) if necessary):

Construct a 3 bay truck garage and parking for small trucking company and truck repair. It will work very good in M-1 zone as this area is already served by tractor trailer traffic

Additional Details:

- **For new developments only:** Site plan must be attached showing boundaries and dimensions of property, width of internal or external streets, location and size of building(s) on the site, roadways, walks, off street parking as required by this ordinance, landscaping, and signs. [Ref. Article 18 of the Zoning Ordinance]
- There is an application fee for Special Use Permits of \$75.00, as established in Section 17-3-1,c of the Zoning Ordinance, plus the cost of advertising.

§ 15.2-2206, Code of Virginia, as amended:

Any locality may by ordinance require that a person applying to the local governing body, local planning commission or board of zoning appeals pursuant to this chapter be responsible for all required notices. The locality shall require that notice be given as provided by § 15.2-2204.

Certification:

Signature of Owner: Joan H. Cozart Trustee 4/1/19 Date: _____

Signature of Representative: [Signature] Date: 3/28/19

Adjacent Owners:	Addresses:

To be Completed by Staff Only:

Action Taken by Planning Commission:
 Approved as presented.
 Disapproved (see below for explanation).
 Modified and approved (see below for modifications).

Modifications / Reasons for Disapproval:

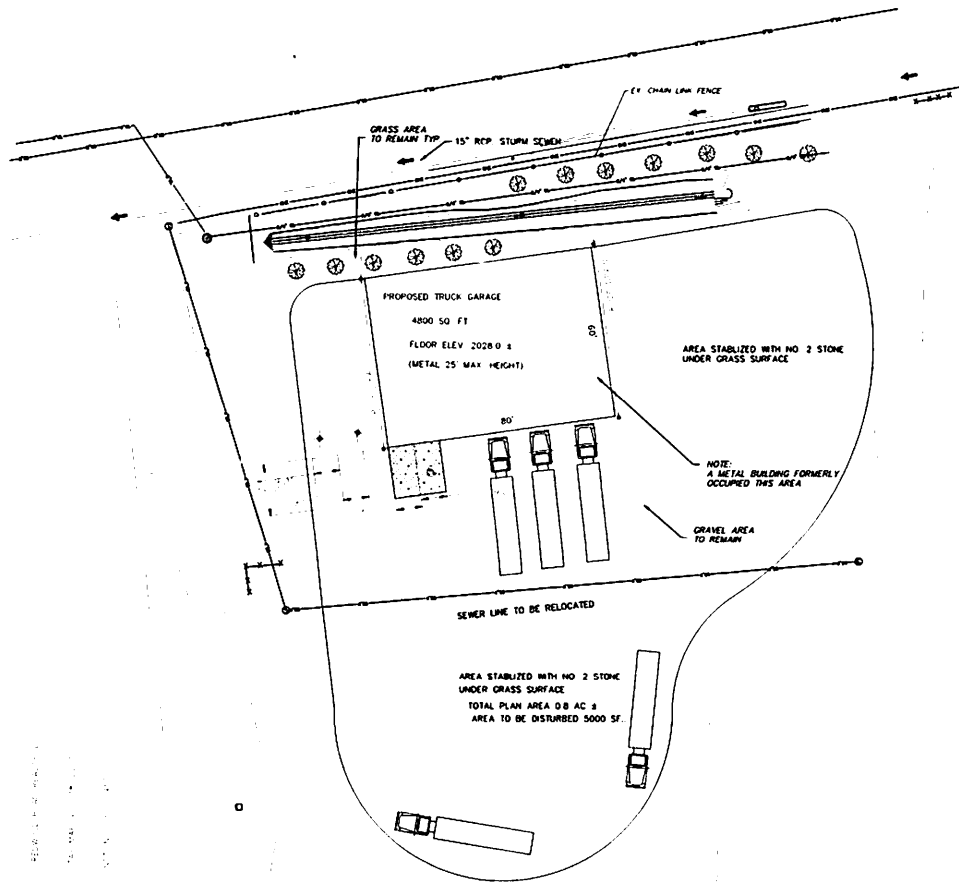
Signature: _____ Date: _____
 Department of Planning, Town of Abingdon

Action Taken by Town Council:
 Approved as presented.
 Disapproved (see below for explanation).
 Modified and approved (see below for modifications).

Modifications / Reasons for Disapproval:

Signature: _____ Date: _____
 Town Manager, Town of Abingdon

Typical Timeline
 The second Tuesday of the month prior to the Planning Commission meeting.



SITE INFO:
 ADDRESS: 500 LORRY DR
 ABBINGDON VA 24210
 PARCEL NO. 018-20-2
 DIST NUMBER 4088
 AREA: 6.15 ACRES
 ZONING: M1
 PROPOSED USE: TRUCK STORAGE GARAGE
 SPECIAL USE PERMIT REQ PER
 TOWN ORD. ART. 13-2

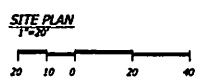
OWNER:
 THE RESIDUARY JAMES E COZART TRUST ADDRESS:
 PO BOX 613 ABBINGDON VA 24212
 REG. NO. 751
 CONTACT: EDWARD COZART (278)358-5387

PARKING REQUIREMENTS:
 (1) SPACE PER (2) EMPLOYEES
 MAX. (8) EMPLOYEES
 (4) SPACES PROVIDED
 (1) CANOPY TREE REQ

SCREENING REQUIREMENTS:
 SCREENING TO BE PROVIDED PER
 TOWN ORD. 18-3-3
 TO BE PROVIDED W/ TREES

LANDSCAPE KEY:
 (Symbol) DOG WOOD TREE
 (Symbol) CANOPY TREE PER TOWN ORD.

COZART



TRUCK REPAIR BUILDING
 ABBINGDON, VA PROJECT NUMBER: 19052

100% CD SET-FOR CONSTRUCTION

PRELIM

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THIS PLAN IS THE PROPERTY OF BUNDY ARCHITECTURE & ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BUNDY ARCHITECTURE & ENGINEERING, INC.

DATE:	06-16-2019
DRAWN BY:	MTS
CHECKED BY:	MTS, TSB
APPROVED BY:	MTS

C1

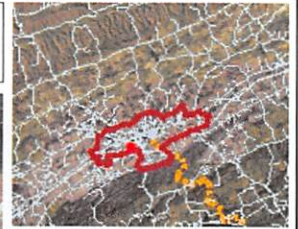


PERSPECTIVE FRONT VIEW (LOWRY DR)
NTS



PERSPECTIVE REAR VIEW
NTS

Abingdon, VA



Legend

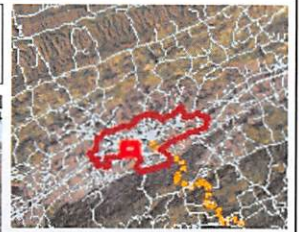
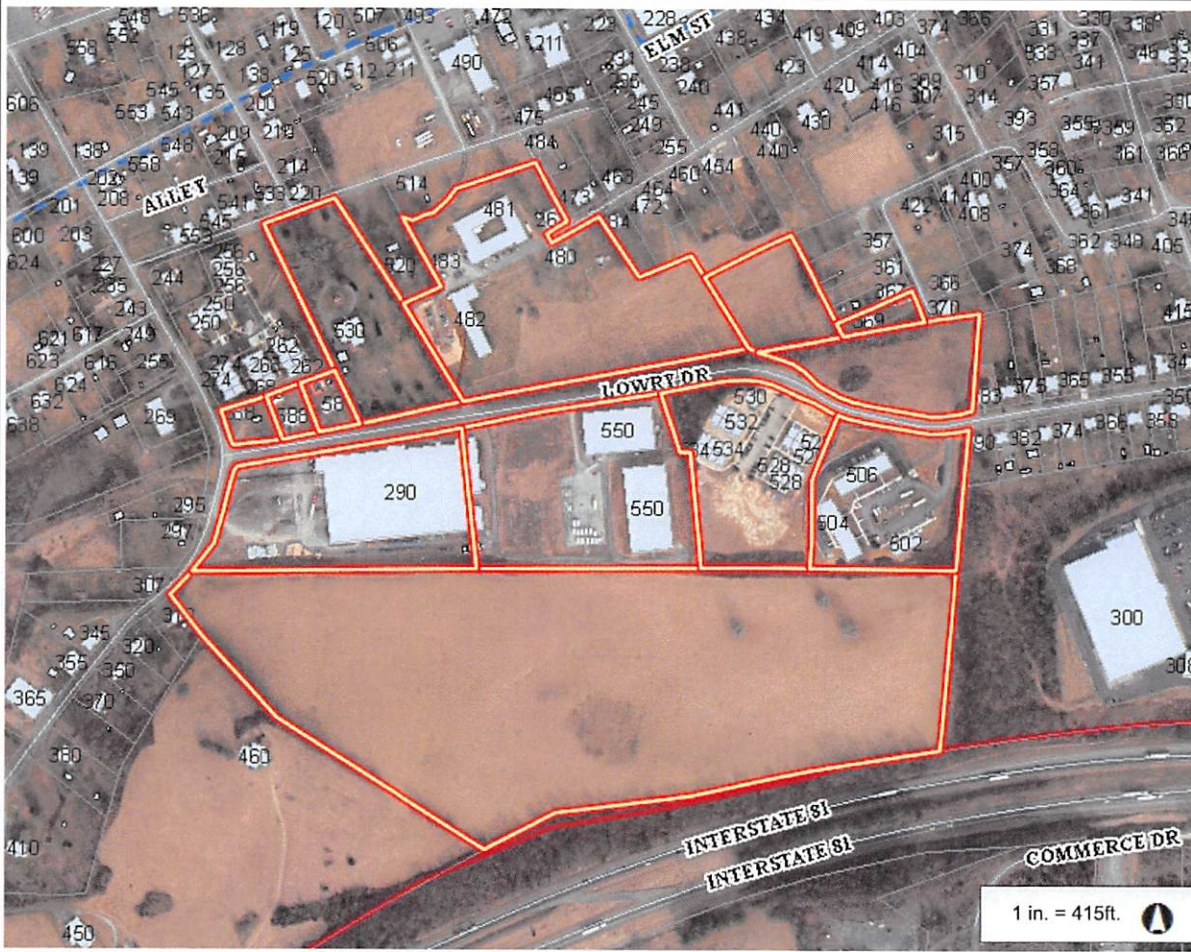
- Unaddressed
- Structures
- Parcels
- Corporate Limits
- Roads
- Railroad
- Creeper Trail
- Urban Pathway

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Abingdon, VA



Legend

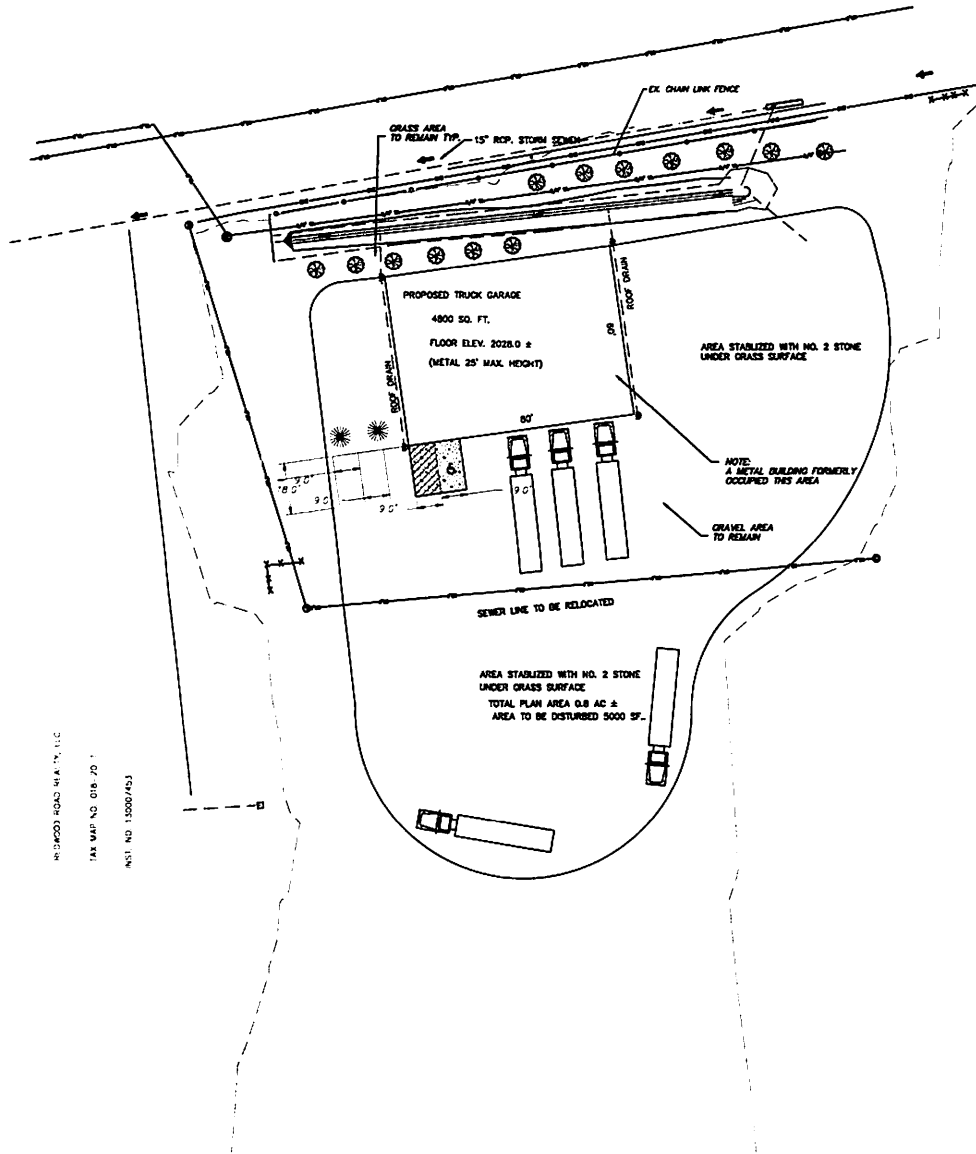
- Unaddressed
- Structures
- Parcels
- Corporate Limits
- Roads
- Railroad
- Creeper Trail
- Urban Pathway

1 in. = 415ft.

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

830.7 0 415.37 830.7 Feet



WINDWOOD ROAD HEALTHY, LLC
 TAX MAP NO. 018.7D.1
 WMSL NO. 15000/403

SITE PLAN
 1/4" = 1'-0"

COUNTY



SITE INFO:
 ADDRESS: 330 LORRY DR
 ABBINGDON VA 24210

PARCEL NO. 018-20-2
 PCT NUMBER 408
 AREA: 6.13 ACRES
 ZONING: M1

PROPOSED USE: TRUCK STORAGE GARAGE
 SPECIAL USE PERMIT REQ. PER
 TOWN ORD. ART. 13-3

OWNER:
 THE RESIDUARY JAMES E. COZART TRUST ADDRESS:
 PO BOX 613 ABBINGDON VA 24212
 WMSL NO. 753
 CONTACT: EDWARD COZART (276)336-6382

OWNER:
 THE RESIDUARY JAMES E. COZART TRUST ADDRESS:
 PO BOX 613 ABBINGDON VA 24212
 WMSL NO. 753
 CONTACT: EDWARD COZART (276)336-6382

PARKING REQUIRED:
 (1) SPACE PER (2) EMPLOYEES
 MAX. (2) EMPLOYEES
 (4) SPACES PROVIDED
 (1) CANOPY TREE REQ.

SCREENING REQUIRED:
 SCREENING TO BE PROVIDED PER
 TOWN ORD. 13-5-3
 TO BE PROVIDED BY TREES

LANDSCAPE KEY
 ☉ DOG WOOD TREE
 ☼ CANOPY TREE PER TOWN ORD.



TRUCK REPAIR BUILDING
 ABBINGDON, VA PROJECT NUMBER: 19052

100% CD SET-FOR
 CONSTRUCTION

PRELIM

DATE:	04-16-2019
DESIGNED:	WFS
DRAWN:	WFS, TSB
CHECKED:	WFS
REVISIONS:	

C1



PERSPECTIVE FRONT VIEW (LOWRY DR)
NTS



PERSPECTIVE REAR VIEW
NTS

















Order Confirmation

Order# 0000934128

Client: TOWN OF ABINGDON
Phone: 2764922149

Pavor : TOWN OF ABINGDON
Phone: 2764922149

Account: 6019851
Address: 133 W MAIN ST.
ABINGDON VA 242120789

Account: 6019851
Address: 133 W MAIN ST.
ABINGDON VA 242120789

Sales Rep **Accnt Rep** **Ordered By** **Fax:**
aperrone_tri selfserve_TRI Kimberly S. Kingsl **EEmail:** kkingsley@abingdon-va.gov

Total Amount \$530.60
Payment Amount \$0.00

Amount Due \$530.60 **Tear Sheets** **Proofs** **Affidavits** **PO Number:**

Tax Amount: 0.00

Payment Meth: Invoice - Statement

<u>Ad Number</u>	<u>Ad Type</u>	<u>Ad Size</u>	<u>Color</u>
0000934128-01	CLS Legal Liner	2 X 27 li	\$0.00

Production Method

AdBooker (liner)

Production Notes

<u>Product and Zone</u>	<u>Placement</u>	<u>Position</u>	<u># Inserts</u>
TRI Bristol Herald Courier	C-Legal Ads	Legal Notices	2

Run Schedule Invoice Text: NOTICE OF PUBLIC HEARING Per Virginia Code Section

Run Dates 5/ 6/2019, 5/13/2019

<u>Product and Zone</u>	<u>Placement</u>	<u>Position</u>	<u># Inserts</u>
TRI heraldcourier.com	C-Legal Ads	Legal Notices	3

Run Schedule Invoice Text: NOTICE OF PUBLIC HEARING Per Virginia Code Section

Run Dates 5/ 6/2019, 5/ 7/2019, 5/ 8/2019

TagLine: NOTICEOFPUBLICHEARINGPERVIRGINIACODESECTION1522204THEPLANNINGCOMMISSIONFORTHET
OWNOFABINGDONWILLCONDUCTAPUBLICHEARINGATITSNEXTREGUL

Order Confirmation

Order# 0000934128

Ad Content Proof

Note: Ad size does not reflect actual ad



NOTICE OF PUBLIC HEARING

Per Virginia Code Section § 15.2-2204, the Planning Commission for the Town of Abingdon will conduct a public hearing at its next regular meeting to be held on Monday, May 20, 2019 at 5:30 pm, in the Abingdon Municipal Building, 133 West Main Street, to consider the following application:

Application for a special use permit, pursuant to Section 17-3 of the Town of Abingdon Zoning Ordinance, proposed construction of automobile repair, re-conditioning and body shop, currently zoned M-1 Industrial District, located at 550 Lowry Drive, Abingdon, VA 24210, Tax Map # 018-20-2.

A copy of the application is on file for review by the public, during regular office hours in the Town Manager's Office, at the Abingdon Municipal Building, 133 West Main Street, Abingdon, VA 24210.

All interested citizens are invited to attend.

Ken Vittum, Interim Town Manager

**JAMES E COZART RESIDUARY TRUST
DBA COZART RENTAL COMPANY**

PO BOX 613
ABINGDON, VA 24212

1660

68-446/514
02

DATE 4/25/19

CHECK AMOUNT

PAY TO THE ORDER OF

Town of Abingdon

\$ 530

60

530 DOLS 60 CTS

DOLLARS

Photo Safe Deposit Details on back



Bank & Trust Company

Member FDIC • www.firstbank.com
667 West Main Street • Abingdon, VA 24210

FOR

Chris Cozart

⑈001660⑈ ⑆051404464⑆ 2003 024 3⑈

Town of Abingdon

04/26/19 09:30 ADVERTISING

JAMES E COZART
DBA COZART RENTAL COMPANY
ADD BRISTOL HERALD
Chk#: 1660
Batch Id: COUNTERB
Ref Num: 33382 Seq: 34 to 34

Cash Amount:	0.00
Check Amount:	530.60
Credit Amount:	0.00

Total:	530.60



NOTICE OF MEETING
for the
Town of Abingdon Planning Commission

A request for modifications to a property located at within the Historic District Entrance Corridor Overlay has been filed with the Town of Abingdon's Planning Commission. The request is described below:

Location: **550 Lowry Drive**

Proposal: **Construction of an automobile repair shop**

Applicant: **James E. Cozart Residuary Trust**

Applicant's Contact: **James E. Cozart (276) 356-5382**

You are receiving this notice because public records indicate that you own property near or adjacent to the property listed in this request, which has been scheduled for a hearing before the Planning Commission. Recipients of this notice may wish to share it with their neighbors whose property is nearby the above noted location.

The purpose of the meeting is to allow citizens to comment regarding potential impacts the proposed changes would have on their properties or on the area in general, and to identify issues or concerns related to the appropriateness of the request. The meeting is not the appropriate setting to learn about a proposal for the first time. It is difficult to gain understanding of a proposal and offer well thought out comments during the relatively short time of the meeting.

If you would like more information about this request, you could contact the Town of Abingdon Planning Department at (276) 628-3167 prior to the meeting. You may also contact the applicant's contact person listed above.

PLANNING COMMISSION MEETING

MEETING DATE: May 20, 2019 TIME: 5:30 PM

LOCATION: Town of Abingdon Town Hall, 133 W. Main St., Arthur Campbell Room – 1st Floor

The meeting facilities of the Town of Abingdon are accessible to people with disabilities. Anyone needing special accommodations should call 276-628-3167.

Abingdon Nursing Home Inc.
481 Bradley St.
Abingdon, VA 24210

Patterson, Mary Cindy
410 Green Spring Rd.
Abingdon, VA 24210

Rhoten, Andrea Dawn
581 Lowry Dr.
Abingdon, VA 24210

Clifton Stewart Rentals LLC
16325 Taylor Pl.
Abingdon, VA 24211

Abingdon Terrace Apartment
1173 W. Main St.
Abingdon, VA 24210

Abingdon Village Apartment
100 Abingdon Place
Abingdon, VA 24211

Blankenship, Virgus
22646 Green Spring Rd
Abingdon, VA 24211

Cannon, Steven P. & Ashley D.
233 Forest Hills Dr.
Glade Spring, VA 24340

Roberts, Donald L. & Betty B.
530 Sutton St.
Abingdon, VA 24210

Redwood Road Realty LLC
26319 Old Trail Rd.
Abingdon, VA 24210

Roark, Gary S. & Levonda G.
588 Lowry Dr.
Abingdon, VA 24210

ABINGDON NURSING HOMES INC
481 BRADLEY ST
ABINGDON VA 24210

ROBERTS DONALD L & BETTY B
530 SUTTON ST
ABINGDON VA 24210

CANNON STEVEN P & ASHLEY D
233 FOREST HILLS DR
GLADE SPRING VA 24340

RHOTEN ANDREA DAWN
581 LOWRY DR
ABINGDON VA 24210

ROARK GARY S & LEVONDA G
588 LOWRY DR
ABINGDON VA 24210

REDWOOD ROAD REALTY LLC
26319 OLD TRAIL RD
ABINGDON VA 24210

[REDACTED] VA
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

CLIFTON STEWART RENTALS LL
16325 TAYLOR PL
ABINGDON VA 24211

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

ABINGDON TERRACE APARTMEI
1173 W MAIN ST
ABINGDON VA 24210

ABINGDON VILLAGE APARTMEN
100 ABINGDON PLACE
ABINGDON VA 24211

PATTERSON MARY CINDY MCCA
410 GREEN SPRING RD
ABINGDON VA 24210

BLANKENSHIP VIRGUS
22646 GREEN SPRING RD
ABINGDON VA 24211

[REDACTED]

[REDACTED]

Abingdon, Virginia



IMPORTANT NOTE:

The complete application along with \$50.00 administrative fee must be filed with the Town of Abingdon's Office of Planning & Zoning no later than the Second Tuesday of the month to be heard at that month's Planning Commission meeting. Applications received after the Second Tuesday of the month will be heard at the following month's meeting. If an application is not **complete**, it will not be included on the meeting agenda. To avoid delays, it is recommended that applicants meet with staff **before the deadline** to review the COA application.

APPLICATION FOR ENTRANCE CORRIDOR, CERTIFICATE OF APPROPRIATENESS Town of Abingdon, Virginia

Town of Abingdon Planning Commission
133 East Main Street • Abingdon, VA 24212
Phone: (276) 628-3167 • Fax: (276) 698-3412

Location of Property	909 East Main Street	Zoning District	Watauga
Business Name	Highlands Ski Haus, Inc.	Tax Map No:	106-5-6

Applicant/Property Owner Name (PRINT) Sandra & Gary Clayton	Representative Agent(s) Name Karen Raines
Signature	Firm
Mailing Address P.O. Box 1944	Mailing Address 440 Fairway Drive
City Abingdon	City Abingdon
State/Zip VA 24212	State/Zip VA 24211
Phone/Fax Number: 276-628-1329/628-6732(fax)	Phone/Fax Number: 276-356-1254
Email: hsoc@embarqmail.com	Email: gkraines@comcast.net

(Check the Appropriate Boxes - Check all that Apply)

<input checked="" type="checkbox"/> Exterior Change	<input type="checkbox"/> Addition	<input type="checkbox"/> Relocation
<input type="checkbox"/> Wall/Fence	<input type="checkbox"/> Deck/Porch	<input type="checkbox"/> Demolition
<input type="checkbox"/> Driveway/Parking Area	<input type="checkbox"/> New Structure/Building	<input type="checkbox"/> Grounds/Landscaping
<input type="checkbox"/> Dumpster/HVAC Screen, etc.	<input checked="" type="checkbox"/> Other <u>Replace existi</u>	<input type="checkbox"/> Other _____

The above named person(s)/firm has permission to represent me regarding this request for site plan and architectural review. I understand that I or my representative agent(s) must be present at the Planning Commission Meeting on the date assigned by staff, typically the 4th Monday of the month, to present my proposal and that failure to attend may result in the denial of my proposal by the Commission due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before receiving a Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modifications to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from the date of approval. I hereby authorize town staff and/or members of the Planning Commission the right to enter onto my property during normal business hours for the purposes of investigating my request for a Certificate of Appropriateness. I further authorize Town staff to notify any adjoining property owners of this application for Certificate of Appropriateness.

Signed Sandy & Gary Clayton Date May 02, 2019

PLEASE READ:

Applicants are encouraged to submit complete applications with sufficient information to enable a clear understanding of the proposal by Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations or changes will result in delays. Planning Department staff will periodically inspect properties for compliance with the COA. Failure to comply may also result in delays in the issuance of a Certificate of Occupancy, fines, or other enforcement actions.

FULL DESCRIPTION OF PROPOSAL:

Take down existing vinyl awning and frame and replace with metal gray roof awning with wooden support poles over the entire front business side of the sidewalk and add on a covered front door offset going into the entrance of the building.

REQUIRED INFORMATION TO BE SUBMITTED WITH APPLICATION:

Each item submitted is to be INITIALED by the applicant. If you are not submitting any of the requested information, please indicate not applicable and explain in the space provided why it is not necessary for this project.

___ Sketch, drawing and/or elevations showing the proposed changes or improvements

___ Site plan or plat of property

___ Photographs showing property, work in question, and the area of the proposed project

___ A list of materials that identifies the type and quality of materials to be used in the Proposed Project

Metal roof, wooden support post

Replace existing awning with wood post. ^{wood post} 2x6 ~~beam~~, 2x4 holding the roof. vinyl soffit underneath w/ guttering.
Gray metal roofing material.

___ Other (please list)

___ \$50.00 application fee Facade Improvement Grant

Applicants may refer to typical submissions kept at the Department of Planning and Zoning of the Town of Abingdon, on the Lower floor of Town Hall, located at 133 East Main Street for illustrations of how to present the required information.

To be Completed by Planning Department Staff (please Initial)

___ COA application has been reviewed and deemed to be complete.

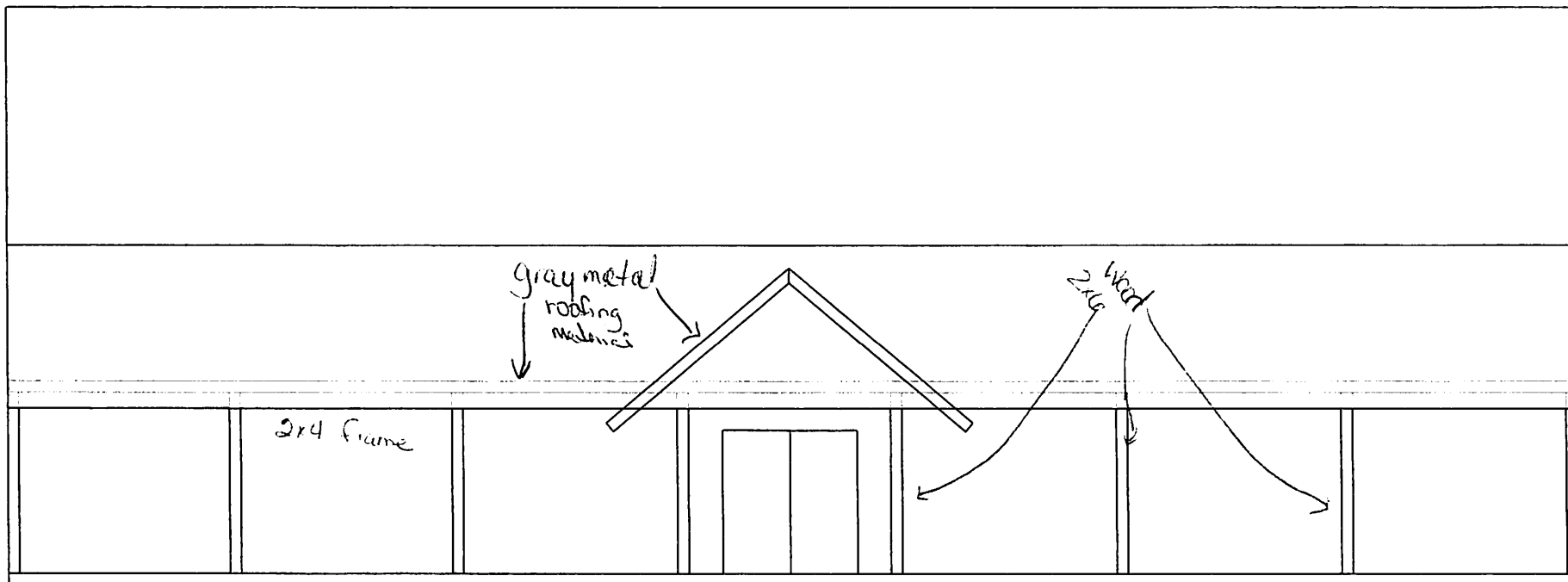
___ List of adjoining property owners notified of this COA application has been attached to this application.

___ An administrative fee of \$50.00 is attached with this application

___ All modifications requiring further review: \$25.00

Code: 011/Budget line item: 100-3-13-030-0400

10' O.C.









Ski & Outdoor
Center
CAMPING • HIKING • CLIMBING

2019 TREK
BIKES
ON SALE

WAKIMA NORDICA SALOMON OAK

Highlands Ski & Outdoor Center

ski & C



Abingdon, Virginia



IMPORTANT NOTE:

The complete application along with \$50.00 administrative fee must be filed with the Town of Abingdon's Office of Planning & Zoning no later than the Second Tuesday of the month to be heard at that month's Planning Commission meeting. Applications received after the Second Tuesday of the month will be heard at the following month's meeting. If an application is not **complete**, it will not be included on the meeting agenda. To avoid delays, it is recommended that applicants meet with staff **before the deadline** to review the COA application.

APPLICATION FOR ENTRANCE CORRIDOR, CERTIFICATE OF APPROPRIATENESS Town of Abingdon, Virginia

Town of Abingdon Planning Commission
133 East Main Street • Abingdon, VA 24212
Phone: (276) 628-3167 • Fax: (276) 698-3412

Location of Property	525 Cummings Street	Zoning District	B-2
Business Name	McDonald's 45-0206	Tax Map No:	020-12-06

Applicant/Property Owner Name (PRINT)	Theresa J Simmons/McDonald's USA, LLC	Representative Agent(s) Name	John Connelly/Kristin Lang
Signature		Firm	Britt, Peters & Associates, Inc.
Mailing Address	110 N Carpenter St	Mailing Address	101 Falls Park Dr, Suite 601
City	Chicago	City	Greenville
State/Zip	IL 60607	State/Zip	SC 29601
Phone/Fax Number:	865-322-1954	Phone/Fax Number:	864-271-8869
Email:	fred.cox@us.mcd.com	Email:	klang@brittpeters.com

(Check the Appropriate Boxes - Check all that Apply)

<input checked="" type="checkbox"/>	Exterior Change	<input type="checkbox"/>	Addition	<input type="checkbox"/>	Relocation
<input type="checkbox"/>	Wall/Fence	<input type="checkbox"/>	Deck/Porch	<input type="checkbox"/>	Demolition
<input checked="" type="checkbox"/>	Driveway/Parking Area	<input type="checkbox"/>	New Structure/Building	<input type="checkbox"/>	Grounds/Landscaping
<input type="checkbox"/>	Dumpster/HVAC Screen, etc.	<input type="checkbox"/>	Other _____	<input type="checkbox"/>	Other _____

The above named person(s)/firm has permission to represent me regarding this request for site plan and architectural review. I understand that I or my representative agent(s) must be present at the Planning Commission Meeting on the date assigned by staff, typically the 4th Monday of the month, to present my proposal and that failure to attend may result in the denial of my proposal by the Commission due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before receiving a Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modifications to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from the date of approval. I hereby authorize town staff and/or members of the Planning Commission the right to enter onto my property during normal business hours for the purposes of investigating my request for a Certificate of Appropriateness. I further authorize Town staff to notify any adjoining property owners of this application for Certificate of Appropriateness.

Signed _____ DocuSigned by: Fred Cox Date 3/21/2019
7DSBE9042D8847F

PLEASE READ:

Applicants are encouraged to submit complete applications with sufficient information to enable a clear understanding of the proposal by Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations or changes will result in delays. Planning Department staff will periodically inspect properties for compliance with the COA. Failure to comply may also result in delays in the issuance of a Certificate of Occupancy, fines, or other enforcement actions.

FULL DESCRIPTION OF PROPOSAL:

Remodel existing McDonald's restaurant

REQUIRED INFORMATION TO BE SUBMITTED WITH APPLICATION:

Each item submitted is to be INITIALED by the applicant. If you are not submitting any of the requested information, please indicate not applicable and explain in the space provided why it is not necessary for this project.

Sketch, drawing and/or elevations showing the proposed changes or improvements (3 sets)

Site plan or plat of property (3)

Photographs showing property, work in question, and the area of the proposed project

A list of materials that identifies the type and quality of materials to be used in the Proposed Project

Building materials listed on Elevations Sheets A2.1 and A2.2

Other (please list)

\$50.00 application fee Check #16848

Applicants may refer to typical submissions kept at the Department of Planning and Zoning of the Town of Abingdon, on the Lower floor of Town Hall, located at 133 East Main Street for illustrations of how to present the required information.

To be Completed by Planning Department Staff (please Initial)

COA application has been reviewed and deemed to be complete.

List of adjoining property owners notified of this COA application has been attached to this application.

An administrative fee of \$50.00 is attached with this application

All modifications requiring further review: \$25.00

Code: 011/Budget line item: 100-3-13-030-0400



Letter of Transmittal

Date: 3-27-2019

To: Town of Abingdon
133 West Main St
Abingdon, VA 24212

ATTN: Planning
Commission
276-628-3167

Project: McDonald's Remodel, 525 Cummings St, Abingdon
BPA #181188

Items Sent Via: Overnight

No. of Copies	Description	Form
3 each	Demo Elevations, Proposed Elevations	Original
3 each	Site Plan	Original
1	Application for Entrance Corridor Certificate of Appropriateness	Original
1	Administrative Fee \$50	Check
1	Photos of Site	Original
1	Colored Renderings	Original

Greenville Office
101 Falls Park Drive
Suite 601
Greenville, SC 29601
864.271.8869 (Tel)
864.233.5140 (Fax)

Charleston Office
1100 Queensborough Blvd.
Suite 202
Mt. Pleasant, SC 29464
843.284.0400 (Tel)
843.284.0401 (Fax)

Norfolk Office
999 Waterside Drive
Suite 2202
Norfolk VA 23510
757.965.5710 (Tel)

Charlotte Office
1307 W. Morehead Street
Charlotte, NC 28208

These are transmitted as checked below:

- As requested
 For your use
 For review and comments
 For approval
 No exceptions taken
 Exceptions noted
 Resubmit ____ copies for approval
 Returned for corrections

Remarks:

Please let us know if you need any additional information. We will have someone present at the meeting if you could let us know the date and time.

Thanks,
Kristin

Signature: Kristin Lang, 864-271-8869 x 231, klang@brittpeters.com

Copy to: file

www.brittpeters.com

McDonald's – 525 Cummings Street, Abingdon, VA





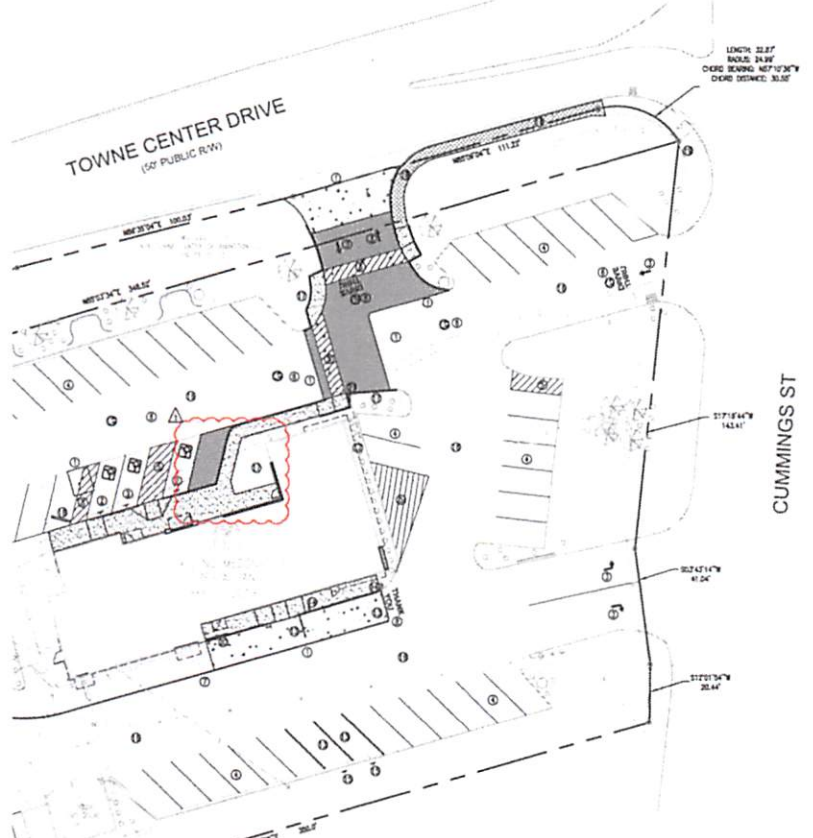




- 1. OUTDOOR DIGITAL MENU BOARD (PER DETAIL SHEET SD-1.1 & SD-1.2) FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- 2. CORE 18 DIVISION PAVED SLIM SPRINGROAD CANOPY (PER DETAIL SHEET SD-1.1) REUSE EXISTING FOOTINGS AND ELECTRICITY, SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- 3. CORE 18 DIVISION PAVED DOUBLE WELCOME POSE SIGNATURE SIGN WITH "SMP LINE" AND TRAIT (PER DETAIL SHEET SD-1.1 & SD-1.2) FOOTING BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- 4. DESIGNATED FULL FORMING AND MOBILE ORDER PARKING STALL SHALL BE PAINTED WITH A YELLOW 4" WIDE STRIPE.
- 5. FULL FORMING SIGN FOR DESIGNATED DRIVE-THRU ORDER PARKING STALLS PER DETAIL ON SHEET SD-1.1.
- 6. MOBILE ORDER SIGN FOR DESIGNATED MOBILE ORDER PARKING STALLS PER DETAIL ON SHEET SD-1.1.
- 7. CLEAN PARKING LOT, REPAIR CRACKS, SEAL/DATE ASPHALT AND RE-STRIPE LOT.
- 8. STABILIZE ALL NON-PAVED DISTURBED AREAS WITH HARDWOOD MULCH OR VEGETATION TO MATCH EXISTING. COORDINATE LANDSCAPE REFRESH WITH OWNER.
- 9. INSTALL PRECAST CONCRETE WHELPLETOP. REFER TO SD-1.2.
- 10. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS OF ALL UTILITY LATERALS AND COORDINATE WITH ACP IF DRIVE THRU EQUIPMENT IS IN CONTACT.
- 11. INSTALL 1" LONG GUARD RAIL A MINIMUM OF 34" FROM THE FACE OF THE DOOR.
- 12. EXTEND UNDERDRAIN TO EXT THRU PROPOSED FACE OF CURB.

GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL, ON HIS OWN AND AT HIS OWN COSTS, TAKE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL BE MADE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGING OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSIDIARY UTILITIES. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AGENCIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK. SANCTIONED BY ANY REGULATORY AGENCY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EXISTING UTILITIES AND RIGHT-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMAN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL, INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LAYOUT" SIGN CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
8. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SET. THE CONTRACTOR SHALL BE RESPONSIBLE AND THE OWNER AND PROVIDES THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
9. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
10. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT ORDINANCE OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
11. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE HELD TO STRICT COMPLIANCE AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO NOTIFY, NOTIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL, MEMBER OF ANY AND ALL AGENCIES, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
12. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE, IF IT IS LOCATED IN ZONE XE AS DEFINED BY HUD FEDERAL COMMUNITY PANEL NUMBER 111000000Z, WITH AN EFFECTIVE DATE OF 01/26/2015.
13. PARCEL # 10-01-17-4
14. PROPERTY SIZE: 1.64 ACRES
DISTURBED AREA: 0.2 ACRES
15. PAYMENT SPECIFICATIONS CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAYMENT SPECIFICATIONS. McDONALD'S DESIGNER RESERVES THE RIGHT TO REQUEST A COMPACTOR TEST AND/OR A CORE SAMPLE IF TESTS FROM CORRECT FOR ABOVE SPECIFICATION. TESTS WILL BE AT McDONALD'S EXPENSE. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.
16. ALL SITE CONCRETE IS TO BE TREATED WITH WATER REPLENISHING CONCRETE SEALER TO PROTECT THE SURFACES FROM SPALLING AND DAMAGE FROM CHEMICAL ATTACK OF CALCESTR SEALERS SHOULD BE SEALEX/VALMOR WATER REPLENISHING. RECOMMENDATIONS INCLUDE: PROTECT-IT/VALMOR 10-124. 10-124. 10-124.



ZONING REQUIREMENTS

SITE ZONING: D-1 - GENERAL BUSINESS DISTRICT			
FRONT: _____	RIGHT: _____	LEFT: _____	REAR: _____
BUILDING SETBACKS: _____			

PARKING REQUIREMENTS

1 SPACE / 200 SF GFA
FLUSH W/ 200 = 27 SPACES

VEHICLE	87	87	87	ADA
STALL SIZE:	8' x 18'	8' x 18'	8' x 20'	8' x 20'
ANGLE DIMENSION:	24'	18'	18'	18'
SPACES SHOWN:	11	42	-	2
MIN. REQUIREMENT:	27 SPACES			
MAX. REQUIREMENT:	-			
TOTAL SPACES PROVIDED:	53 SPACES			

LEGEND

EXISTING	PROPOSED
CONCRETE CURB REFER TO SD-1.2	(Symbol)
CONCRETE SIDEWALK REFER TO SD-1.2	(Symbol)
CONCRETE PAVEMENT REFER TO SD-1.2	(Symbol)
CONCRETE AREA TO BE FINISH WITH CONCRETE OR ADJACENT PAVEMENT PROVIDE COSTS FOR EACH MATERIAL TO THE McDONALD'S ACP. REFER TO SD-1.1 FOR FINISHING DETAILS.	(Symbol)
CONCRETE SIDEWALK COMPLETED TO THE TOP OF WALKWAY'S SPEC GRADING	(Symbol)

SCALE: 1" BOX = 20' FT

DATE: 4/4/19

NO. 1	DATE	BY
NO. 2	DATE	BY
NO. 3	DATE	BY
NO. 4	DATE	BY
NO. 5	DATE	BY
NO. 6	DATE	BY
NO. 7	DATE	BY
NO. 8	DATE	BY
NO. 9	DATE	BY
NO. 10	DATE	BY

BRITT PETERS ASSOCIATES

1111 Falls Park Drive
Suite 601
Columbia, SC 29801
803.771.8889
Fax: 803.771.8140
www.britt-peters.com

McDonald's USA, LLC

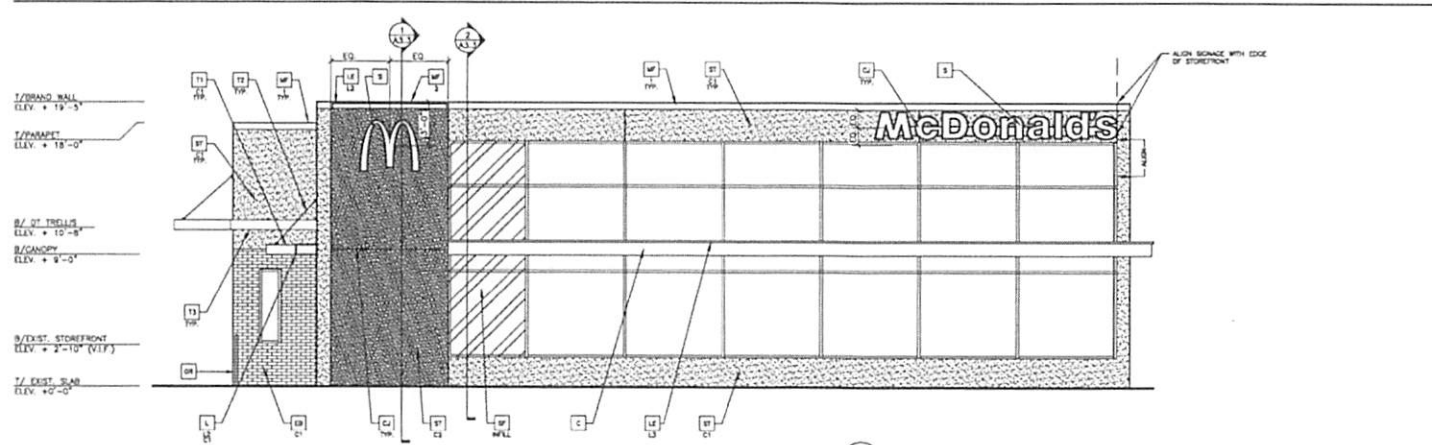
PROJECT NO. 19-001

DATE: 4/4/19

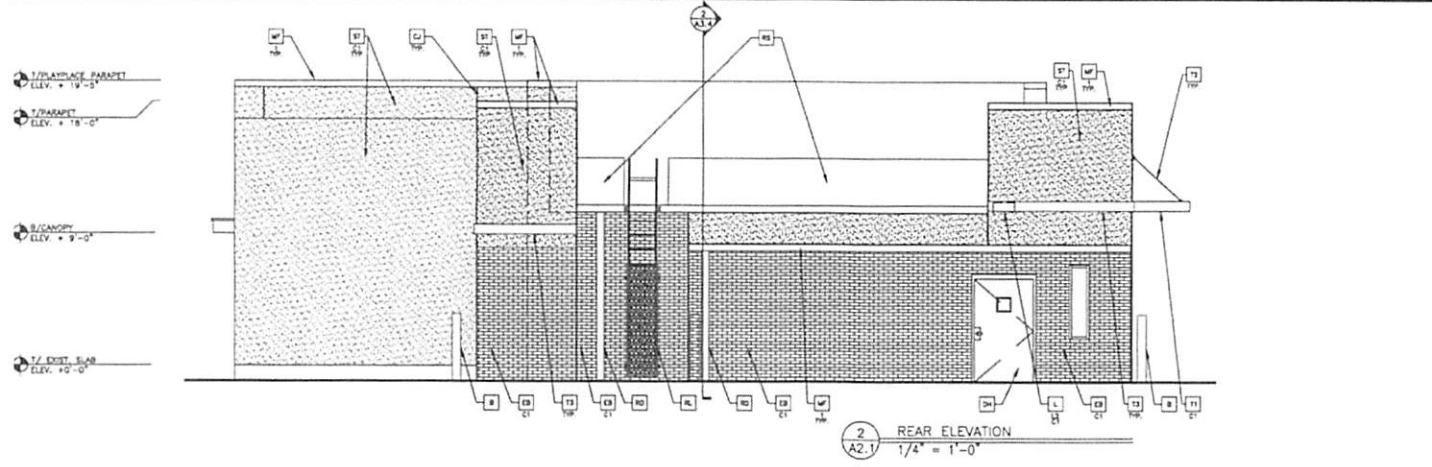
SCALE: 1" BOX = 20' FT

C-3.0
SITE PLAN





1 FRONT ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

NO.	REVISION	DATE	DESCRIPTION

PROJECTED FOR
McDonald's USA, LLC
 PREPARED BY
CORE STATES
 GROUP
 1100 17TH AVENUE, SUITE 1000
 DENVER, CO 80202
 PHONE: (303) 733-2000
 FAX: (303) 733-2001
 WWW.CORESTATES.COM

SHOP DRAWINGS
 SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
 SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT.
 DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
 SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 1. STOREFRONT GLAZING SYSTEM
 2. TRELLIS/CANOPY SYSTEM

COLOR SCHEME NOTE
 SEE TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

NOTES
 1. STUCCO CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME: 'CRAFTSMAN SCHEME'
 (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

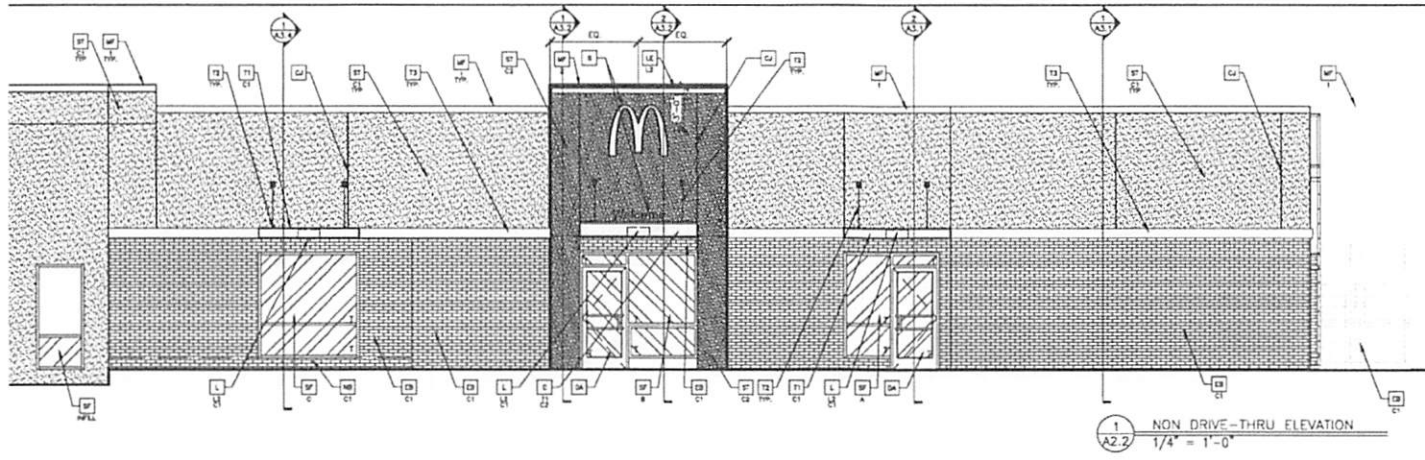
- A EXISTING MOLDING TO REMAIN. PAINT BASE BUILDING COLOR
- C ALUMINUM CANOPY FASCIA SYSTEM (COLOR WHITE)
- D ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
- FH EXISTING ALUMINUM DOOR
- GM EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- IB EXISTING BRICK VENEER TO BE PAINTED
- 11 ALUMINUM TRELLIS SYSTEM (COLOR: C1 = CITYSCAPE, C2 = WHITE, C3 = CHARCOAL)
- 12 ALUMINUM TRELLIS TE-BACK SYSTEM (COLOR: CHARCOAL)
- 13 ALUMINUM TRELLIS 1" x 8" WALL FASCIA SYSTEM (COLOR: CITYSCAPE)
- 14 EXISTING DRIVE-THRU WINDOW
- L LED LIGHT
- L1 UP AND DOWN SCIENCE
- L2 DOWN ONLY SCIENCE
- L3 RECESSED DOWN FEATURE (COLOR: C1 = SILVER, C2 = WHITE)
- L4 ACCEPT LIGHTING - SEE ELECTRICAL
- L5 LED LIGHT
- L6 UP AND DOWN FEATURE
- L7 DOWN ONLY FEATURE
- L8 INTERNAL CANOPY FEATURE
- L9 FLOOD LIGHT
- M METAL FASCIA - COLOR: CITYSCAPE
- T PRE-FAB ANCHOR-TIE FASCIA
- 3 PRE-FAB CUSTOM ARCADE FASCIA
- M1 MOVEMENT JOINT - DEXER BMS1000S BY SCHLUTER SYSTEMS (COLOR: BLACK)
- M2 METAL LETTERING - BY OTHERS
- 4 NEW BRICK VENEER (COLOR: C1 = FAHRENHEIT TAUPE HC-85 BY BENJAMIN MOORE, C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE)
- 5 ROOF OUTER & DOWNSPOUT (COLOR TO MATCH ADJACENT WALL CONSTRUCTION)
- 6 EXISTING ROOF LADDIE. PAINT TO MATCH BUILDING BEYOND
- 7 ROOF SCREEN TO BE SELECTED BY USER
- 8 MCDONALD'S SERVICE TITLE
- 9 1" TRUSS B - SEE SERVICE PACKAGE
- 10 STOREFRONT SYSTEM AND GLAZING. SEE A1.1 FOR PANEL LIGHTING & A2.1 FOR WINDOW TYPES
- 11 SPANDREL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KING
- 12 STUCCO EXTERIOR FINISH
- 13 COLOR: C1 = FAHRENHEIT TAUPE HC-85 BY BENJAMIN MOORE, C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- 14 TAMPURED GLASS

<ul style="list-style-type: none"> 10 MCDONALD'S SERVICE TITLE 11 SPANDREL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KING 12 STUCCO EXTERIOR FINISH 13 COLOR: C1 = FAHRENHEIT TAUPE HC-85 BY BENJAMIN MOORE, C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE 14 TAMPURED GLASS 	<ul style="list-style-type: none"> 15 ALUMINUM TRELLIS SYSTEM (COLOR: C1 = CITYSCAPE, C2 = WHITE, C3 = CHARCOAL) 16 ALUMINUM TRELLIS TE-BACK SYSTEM (COLOR: CHARCOAL) 17 ALUMINUM TRELLIS 1" x 8" WALL FASCIA SYSTEM (COLOR: CITYSCAPE) 18 EXISTING DRIVE-THRU WINDOW
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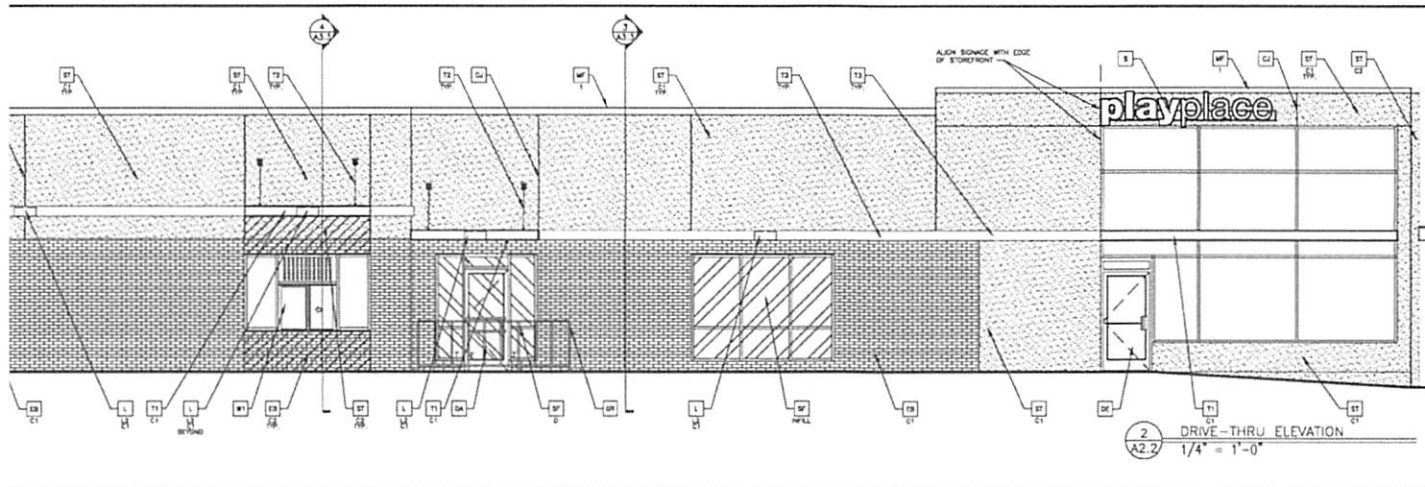
DATE: 04/18/19
 C-MANAGED BY: M. FLEMMING
 PREPARED BY: M. FLEMMING
 CHECKED BY: M. FLEMMING
 DATE: 4/18/19
 U.S. PROJECT NO.: MCD-20259
 ADDRESS: 16 JULY

MRP PROGRAM - LV
 CORE 16.2.0
 EXTERIOR WOOD WALL CONSTRUCTION
 EXTERIOR WOOD ROOF JOISTS

045-0208
A2.1
 ELEVATIONS



1
A2.2
NON DRIVE-THRU ELEVATION
1/4" = 1'-0"



2
A2.2
DRIVE-THRU ELEVATION
1/4" = 1'-0"

NO.	DATE	DESCRIPTION

PREPARED FOR
McDonald's USA, LLC
 63118 McDonald's Corporation
 10000 North Central Expressway
 Dallas, Texas 75261
 DATE: 4/17/19
 PROJECT: 045-0208
 SHEET: A2.2

SHEET NO. **A2.2**
 ELEVATIONS
 FILE: MRP PROGRAM - LV
 PROJECT: CORE 16.2.0
 DRAWING: EXISTING WOOD WALL CONSTRUCTION
 DATE: 4/17/19
 SHEET: 045-0208
 SHEET: 138 COMPASS ST
 ANCHORAGE, AK 99501

SHOP DRAWINGS
 SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
 SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT. DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
 SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 1. STOREFRONT GLAZING SYSTEM
 2. TRELLIS/CANOPY SYSTEM

COLOR SCHEME NOTE
 S.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

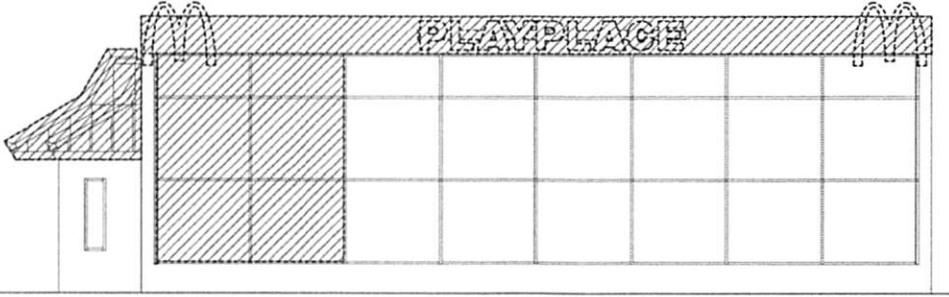
NOTES
 1. STUCCO CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME: 'CRAFTSMAN SCHEME'
 (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

- KEYNOTES (NOT ALL KEY NOTES MAY BE USED)**
- B EXISTING BOLLARD TO REMAIN PAINT BASE BUILDING COLOR
 - C ALUMINUM CANOPY FACIA SYSTEM (COLOR: WHITE)
 - CJ CONTRA JOINT
 - DA ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
 - DE EXISTING ALUMINUM DOOR
 - EH EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
 - EB EXISTING BRICK VENEER TO BE PAINTED
 - EE - COLOR: C1 = FARMER TAULPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-20 BY BENJAMIN MOORE
 - EA EXPANSION JOINT AT BRICK - FILLED WITH GASTROKING SEALANT
 - EB EXISTING BOLLARD TO REMAIN PAINT TO MATCH BUILDING BETHING
 - L LIGHT FIXTURE - SEE ELECTRICAL
 - LI - TYPE: L1 = UP AND DOWN SCIENCE
L2 = DOWN ONLY SCIENCE
L3 = RECESSED DOWN FIXTURE
L4 = FLOOD LIGHT
 - LE ACCENT LIGHTING - SEE ELECTRICAL
 - LI - LED LIGHT: L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = RECESSED CANOPY FIXTURE
L4 = FLOOD LIGHT
 - M METAL FACIA - COLOR: CITYSCAPE
 - ME - TYPE: 1 = PRE-FAB ANCHOR-TIE FACIA
2 = PRE-FAB CUSTOM BRICK FACIA
 - MA EXPANSION JOINT - GULF BRIDGE BY SCHLUTER SYSTEMS
COLOR: BLACK
 - M METAL LETTERING - BY OTHERS
 - NA NEW BRICK VENEER
 - NC - COLOR: C1 = FARMER TAULPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-20 BY BENJAMIN MOORE
 - ND EXISTING ROOF LACQUER PAINT TO MATCH BUILDING BETHING
 - NE ROOF SCREEN TO BE SELECTED BY USER
 - NF MCDONALD'S SIGNAGE
 - NI - T THRU B - SEE SIGNAGE PACKAGE
 - NG STOREFRONT SYSTEM AND GLAZING, SEE A1.1 FOR PLAN LOCATION & A1.1 FOR WINDOW TYPES
 - NH WINDOW TYPE
 - NI SPANDREL PANEL - COLOR TO MATCH ADJACENT MATERIAL, IN RING
 - NJ STUCCO EXTERIOR FINISH
 - NA - COLOR: C1 = FARMER TAULPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-20 BY BENJAMIN MOORE
 - NK TEMPLATED GLASS
 - NT ALUMINUM TRELLIS SYSTEM
 - NI - COLOR: C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
 - NJ ALUMINUM TRELLIS "E" BACK SYSTEM COLOR: CHARCOAL
 - NK ALUMINUM TRELLIS "F" + "G" WALL FACIA SYSTEM COLOR: CITYSCAPE
 - NL EXISTING DRIVE-THRU WINDOW

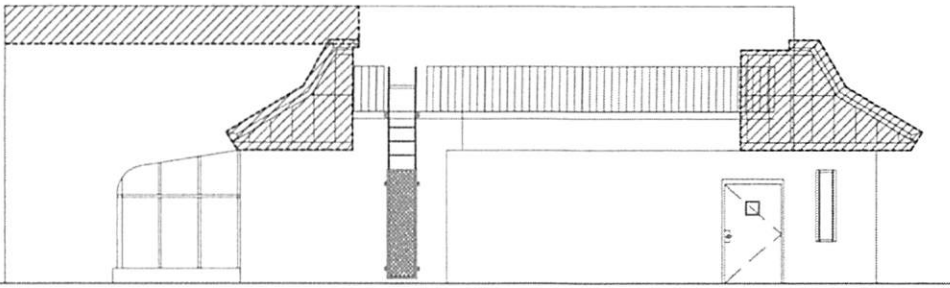
- ALIGN SOURCE WITH EDGE OF STOREFRONT
- playplace
- ALIGN SOURCE WITH EDGE OF STOREFRONT

- 1/ EXIST. PARAPET
ELEV. +18'-5" (V.I.F.)
- 1/ EXIST. MANSARD
ELEV. +18'-5" (V.I.F.)
- 8/ EXIST. MANSARD
ELEV. +9'-11" (V.I.F.)
- 8/ EXIST. STOREFRONT
ELEV. +9'-11" (V.I.F.)
- 8/ EXIST. STOREFRONT
ELEV. +9'-10" (V.I.F.)
- 1/ EXIST. SLAB
ELEV. +0'-0"



1 FRONT ELEVATION
D2.1 1/4" = 1'-0"

- 1/ EXIST. PARAPET
ELEV. +18'-5" (V.I.F.)
- 1/ EXIST. MANSARD
ELEV. +18'-5" (V.I.F.)
- 8/ EXIST. MANSARD
ELEV. +9'-11" (V.I.F.)
- 1/ EXIST. SLAB
ELEV. +0'-0"



2 REAR ELEVATION
D2.1 1/4" = 1'-0"

DEMOLITION KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- | | |
|---|---|
| 1 REMOVE EXISTING SIGNAGE | 11 REMOVE EXISTING SIDING BACK TO SUBSTRATE |
| 2 REMOVE EXISTING MANSARD LIGHT BEAMS | 12 EXISTING ROOF LACED TO REMAIN |
| 3 REMOVE EXISTING ROOFING AT LOWER AND UPPER PORTION OF DOUBLE MANSARD ROOF | |
| 4 REMOVE PORTION OF EXISTING MANSARD PROJECTION, ALIGN REMAINS WITH EXISTING WALL BELOW | |
| 5 REMOVE EXISTING STOREFRONT DOOR AND WINDOW SYSTEM | |
| 6 REMOVE ALL LOGO STICKERS AND DECALS FROM ALL WINDOW, WALLS AND DOORS | |
| 7 REMOVE EXISTING GLAZING PANEL AND STOREFRONT FRAMING TO REMAIN | |
| 8 REMOVE EXISTING GLAZING PANEL, EXISTING STOREFRONT FRAMING TO REMAIN | |
| 9 REMOVE EXISTING COPING SYSTEM BACK TO EXISTING SUBSTRATE. PATCH/REPAIR EXISTING SUBSTRATE DAMAGED FROM DEMOLITION IN KIND | |
| 10 REMOVE EXISTING ROOF SCREEN | |
| 11 REMOVE EXISTING TRIM BOARD BACK TO EXISTING SUBSTRATE | |
| 12 REMOVE EXISTING WALL DOWN TO TOP OF SLAB | |

LEGEND	
-----	EXISTING CONSTRUCTION TO BE REMOVED
	EXTENT OF EXISTING CONSTRUCTION TO BE REMOVED
-----	EXISTING CONSTRUCTION TO REMAIN

REV	DATE	DESCRIPTION

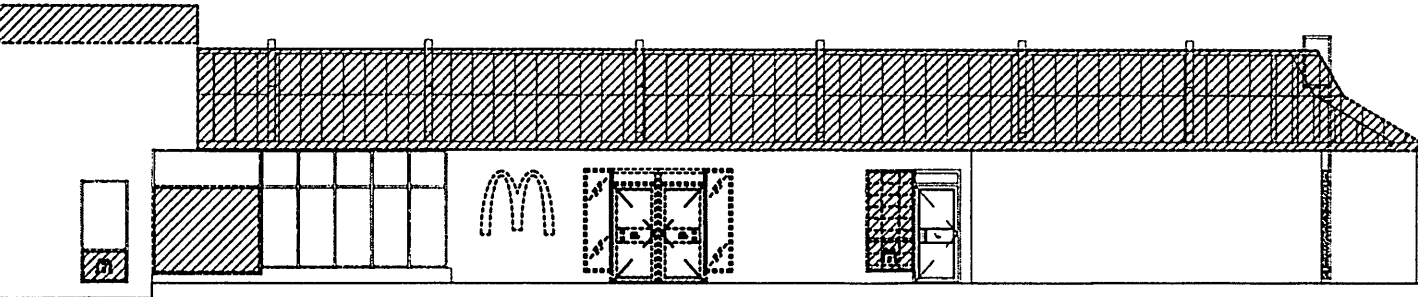
SUBJECT OF RECORD



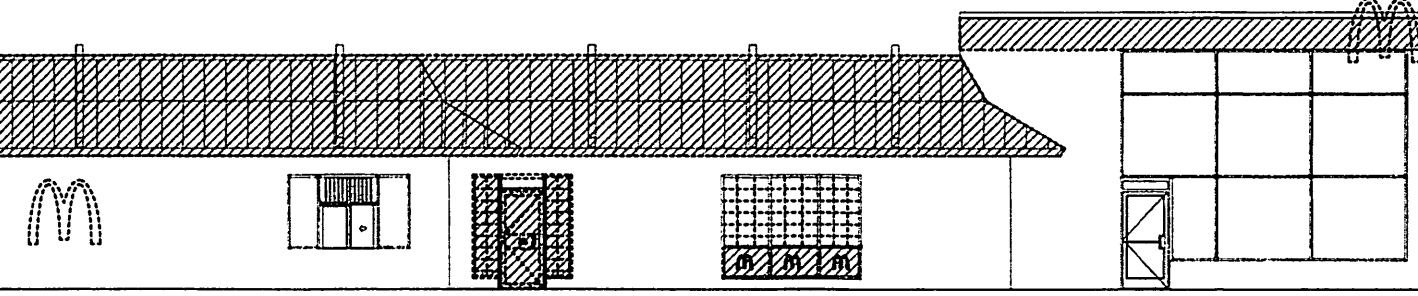
PROJECTED FOR
McDonald's USA, LLC
0318 McDonald's Corporation

DATE: 04-20-2018	DATE ISSUED: 04-20-2018
DRAWN BY: J. HODGKIN	CHECKED BY: J. HODGKIN
PROJECT: 045-0206	SHEET: 045-0206-01
DESCRIPTION: MRP PROGRAM - LV	CONSTRUCTION: CORE 16.2.0
EXISTING WOOD WALL CONSTRUCTION	EXISTING WOOD ROOF JOISTS
DATE: 04-20-2018	DATE ISSUED: 04-20-2018
DRAWN BY: J. HODGKIN	CHECKED BY: J. HODGKIN
PROJECT: 045-0206	SHEET: 045-0206-01
DESCRIPTION: MRP PROGRAM - LV	CONSTRUCTION: CORE 16.2.0
EXISTING WOOD WALL CONSTRUCTION	EXISTING WOOD ROOF JOISTS

D2.1
DEMOL. ELEVATIONS



1 NON DRIVE-THRU ELEVATION
D2.2 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION
D2.2 1/4" = 1'-0"

DEMOLITION KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- 1 REMOVE CEILING SIDING
- 2 REMOVE CEILING HANGING LIGHT BEAMS
- 3 REMOVE CEILING ROOFING AT LOWER AND UPPER PORTION OF DOUBLE HANGING ROOF
- 4 REMOVE PORTION OF CEILING HANGING PROJECTION, ALSO REMOVE SFPX CEILING WALL BELIEF
- 5 REMOVE CEILING STRUCTURAL ROOF AND HANGUP SYSTEM
- 6 REMOVE ALL LOOSY STUDS AND SCALS FROM ALL WINDOW, WALL AND ROOF
- 7 REMOVE CEILING GLAZING PANEL AND STRUCTURAL FRAMING
- 8 REMOVE CEILING GLAZING PANEL, CEILING STRUCTURAL FRAMING TO REMAIN
- 9 REMOVE CEILING SIDING SYSTEM BACK TO CEILING SUBSTRUCTURE, INTERIOR/EXTERIOR CEILING SUBSTRUCTURE SHOWN FROM DEMOLITION IS NEW
- 10 REMOVE CEILING ROOF SIDING
- 11 REMOVE CEILING WALL SIDING BACK TO CEILING SUBSTRUCTURE
- 12 REMOVE CEILING WALL SIDING TO TOP OF SLAB
- 13 REMOVE CEILING SIDING BACK TO SUBSTRUCTURE
- 14 CONFIRM ROOF LAYOUT TO REMAIN

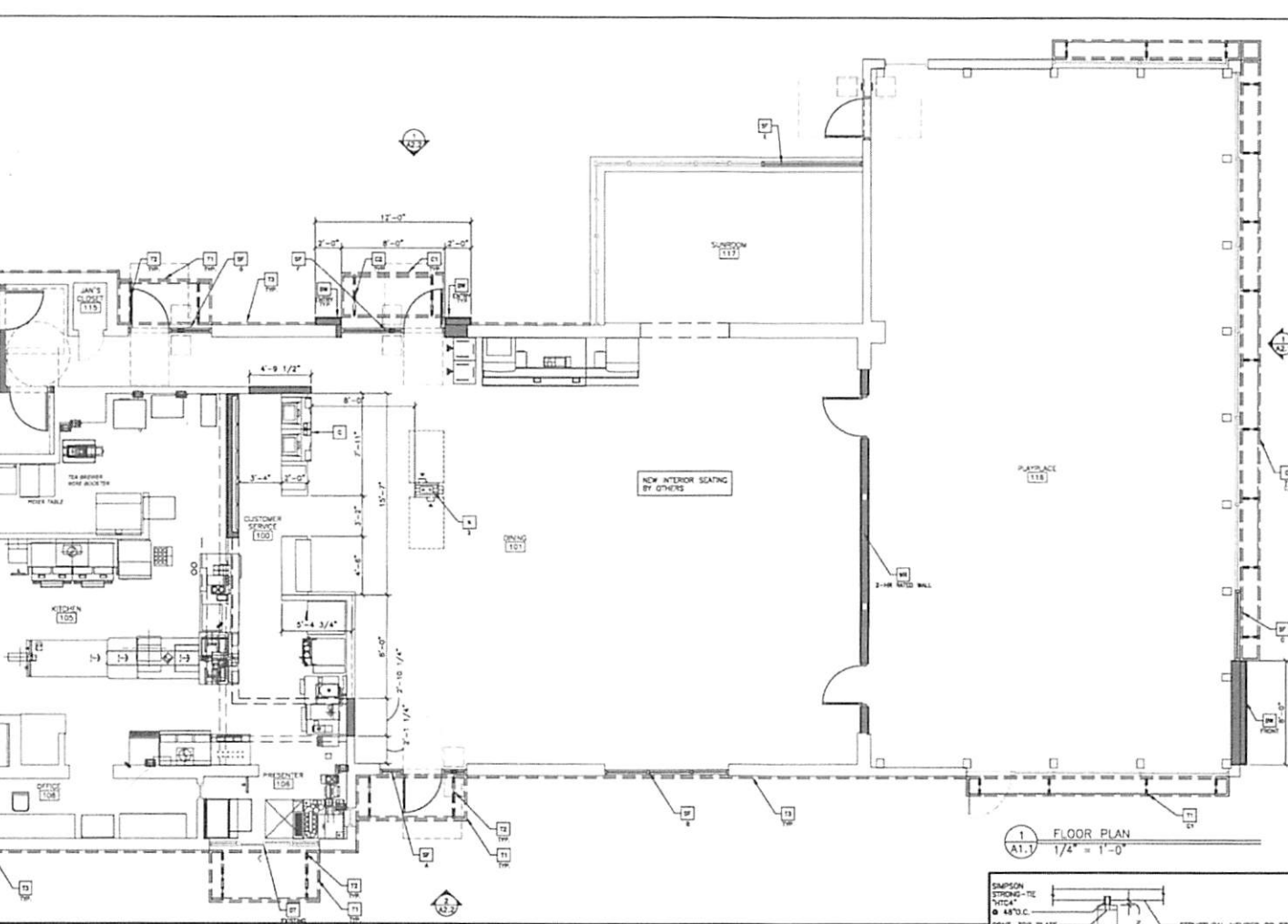
LEGEND	
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO BE REUSED
	EXISTING CONSTRUCTION TO REMAIN

REV	DATE	DESCRIPTION

CORE STATES
 ILLINOIS
 INDIANA
 IOWA
 KANSAS
 MISSOURI
 NEBRASKA
 NORTH DAKOTA
 SOUTH DAKOTA
 WISCONSIN

McDonald's USA, LLC
 12345 Main Street
 Chicago, IL 60601
 (312) 123-4567
 www.mcdonalds.com

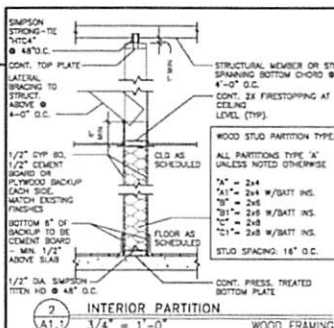
PROJECT NO.	043-C204
DATE	04/10/2018
BY	
CHECKED BY	
SCALE	AS SHOWN
TITLE	DEMOLITION KEYNOTES
PROJECT	MRP PROGRAM - LV
DESCRIPTION	CORE 16 2.0
DATE	04/10/2018
BY	
CHECKED BY	
SCALE	AS SHOWN
TITLE	DEMOLITION KEYNOTES
PROJECT	MRP PROGRAM - LV
DESCRIPTION	CORE 16 2.0
DATE	04/10/2018
BY	
CHECKED BY	
SCALE	AS SHOWN
TITLE	DEMOLITION KEYNOTES



- GC TO COORDINATE THE REMOVAL AND RELOCATION OF THE KITCHEN EQUIPMENT WITH THE KEES AND ACM.
- REFERENCE THE KITCHEN PLANS FOR FINAL LOCATION OF THE KITCHEN EQUIPMENT.
- GC TO COORDINATE ALL FINISHES WITH THE ACM.
- PREPARE ALL EXPOSED SURFACES AND STRUCTURE FOR APPLICATION OF FINISH SUBSTRATE.
- REMOVE ALL ODDS FROM BUILDING & SITE DISPOSE OF IN ACCORDANCE W/ STATE & LOCAL CODES.
- PROVIDE TEMPORARY SUPPORT & BRACING AT ALL WALLS DURING DEMOLITION.
- ALL NEW HAND SINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
- COORDINATE EXISTING AND NEW POWER PANEL LOCATIONS WITH ELECTRICAL DRAWINGS AND ACM
- ALL PLYWOOD SHALL BE FIRE RETARDANT TREATED.

- KEYNOTES** (NOT ALL KEY NOTES MAY BE USED)
- BR - BRICK WALL
 - FR - FRONT ENTRY
 - RR - REAR
 - C - NEW MODULAR FRONT COUNTER BY OTHERS
 - TI - ALUMINUM CANOPY BY OTHERS. SEE A-200 & A-300 SERIES
 - TR - ALUMINUM CANOPY TIE-BACK BY OTHERS. SEE A-200 & A-300 SERIES
 - DR - NEW DROPPED SOFFIT
 - DT - DRIVE-THRU WINDOW BY READY ACCESS - 800 SERIES. 84" SERVICE HEIGHT WITH TRANSOM-MANUAL OPEN, ELECTRONIC RELEASE, RE-USE EXISTING DRIVE-THRU CIRCUITRY
 - FL - FLOOR LINE - CHANGE IN MATERIAL

- K - ORDERING KIOSK COORDINATE THE EXACT LOCATION WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER. REFERENCE THE KIOSK AND PICK-UP GUIDELINES ON SHEET ON-1.0 DENOTES NUMBER OF KIOSKS
- SB - EXISTING SELF-SERVE BEVERAGE BAR TO REMAIN
- ST - STOREFRONT SYSTEM TO MATCH EXISTING. SEE A2 SERIES & A3.1 DENOTES NUMBER OF WINDOWS
- MS - NEW METAL LOUVER SUNSCREEN PANEL
- TL - ALUMINUM TRELIS SYSTEM ABOVE - SEE ROOF PLAN
- TR - ALUMINUM TIE-BACK ABOVE - SEE ROOF PLAN
- TL - ALUMINUM TRELIS 2X8 WALL FASCIA ABOVE - SEE ROOF PLAN
- WB - WALL CONSTRUCTION - 4" BRICK VENEER
- WW - WALL CONSTRUCTION - 2X WOOD FRAMING
- WM - WALL CONSTRUCTION - FIRE RATED WALL CONSTRUCTION



1 FLOOR PLAN
1/4" = 1'-0"

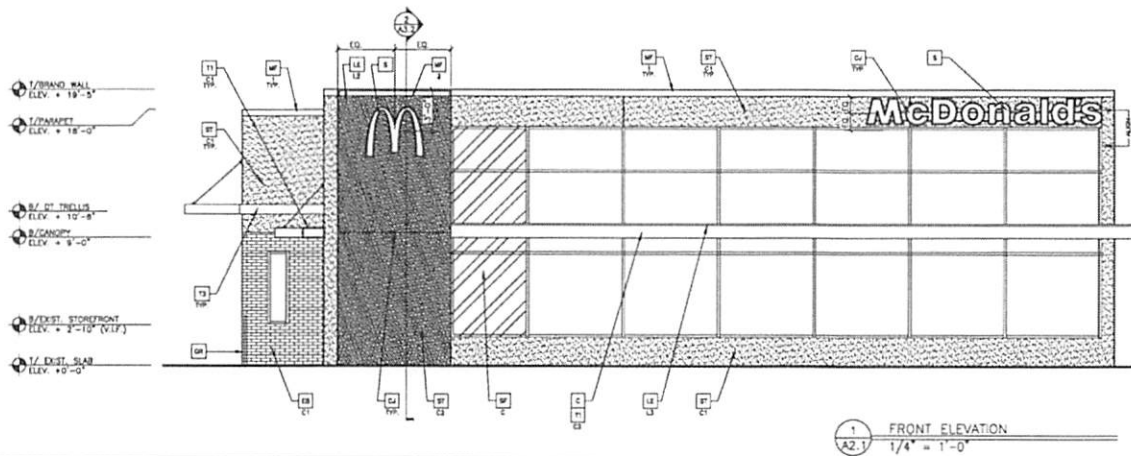
2 INTERIOR PARTITION
3/4" = 1'-0"

REV	DATE	DESCRIPTION

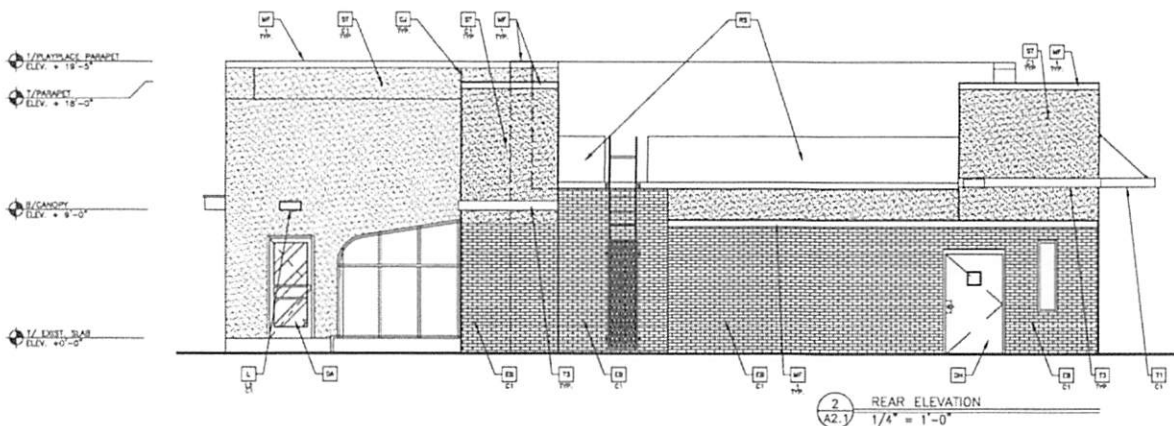
PROJECT FOR

 McDonald's USA, LLC
 3318 Westborough Corporate Center
 Westborough, MA 01581
 508-872-8300
 www.mcdonalds.com

OWNER	MCDONALD'S USA, LLC
ARCHITECT	THE STANTEC ARCHITECTURE GROUP, INC.
DATE PLOTTED	1/13/2020
CAD PROJECT	11-00-001
DATE	1/13/2020
USER	JENNY
SCALE	1/4" = 1'-0"
FILE	11-00-001.dwg
PROJECT	045-0208
PROGRAM	LV
DESCRIPTION	EXISTING WOOD WALL CONSTRUCTION
SCALE	3/4" = 1'-0"
FILE	11-00-001.dwg



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

SHOP DRAWINGS

SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT. DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
1. STOREFRONT GLAZING SYSTEM
2. TRELLIS/CANOPY SYSTEM

COLOR SCHEME NOTE
O.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL. SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

NOTES
1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME: 'CRAFTSMAN SCHEME'
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- | | | | |
|--|--|--|--|
| <p>A ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
 A1 CONTROL JOINT
 A2 CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON ALLS FOR ADDITIONAL SPECIFICATIONS
 L1 - COLOR
 A3 GUTSIE CORNER STRIPS
 RENCOE PROTECTION BY SCHULTER SYSTEMS ALUMINUM HOOD/TOWNS COLOR: (SAIN) WITH/WHITE COMMERICALS/PDF@SCHULTER.COM (800) 281-0817
 A4 ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
 A5 EXISTING ALUMINUM DOOR
 A6 EXISTING HOLDIN METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
 A7 EXISTING BRICK VENEER TO BE PAINTED
 L2 - COLOR
 A8 EXPANSION JOINT AT BRICK - FILLED WITH ELECTROSTATIC SEALANT</p> | <p>B EXISTING GUARDRAIL TO REMAIN, PAINT TO MATCH BUILDING MATERIALS
 B1 LIGHT FIXTURE - SEE ELECTRICAL
 L1 - TYPE
 L2 - UP AND DOWN ROOFCASE
 L3 - DOWN ONLY ROOFCASE
 L4 - RECESSED DOWN FIXTURE
 L5 - SALKER
 L6 - WHITE
 B2 ACCENT LIGHTING - SEE ELECTRICAL
 L1 - LED LIGHT
 L2 - UP AND DOWN FIXTURE
 L3 - DOWN ONLY FIXTURE
 L4 - INTERIOR CANOPY FIXTURE
 L5 - FLOOD LIGHT
 B3 METAL FASCIA - COLOR: CITYSCAPE
 L1 - COLOR
 B4 PRE-FAB ANCHOR-TITE FASCIA
 L1 - PRE-FAB CUSTOM ARCADE FASCIA
 B5 MOVE/SET JOINT - DEXEL BR/SHOODS BY SCHULTER SYSTEMS
 COLOR: BLACK
 B6 METAL LETTERING - BY OTHERS</p> | <p>C NEW BRICK VENEER
 L1 - COLOR
 C1 = FARMER SHAPE HC-85 BY BENJAMIN MOORE
 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
 C3 NEW BRICK GLAZER - SEE ALUM. LEADER PAINT TO MATCH BUILDING WALL
 C4 EXISTING ROOF LADDERS, PAINT TO MATCH BUILDING BEFORE
 C5 ROOF DOWN OVERFLOW PVS
 PAINT TO MATCH SURROUNDING MATERIAL
 C6 ROOF SCREEN TO BE SELECTED BY USER
 C7 McDONALD'S SIGNAGE
 TYPE -
 L1 - TYPE B - SEE SIGNAGE PACKAGE
 C8 STOREFRONT SYSTEM AND GLAZING, SEE A.1 FOR PLAN LOCATION & A.5.1 FOR WINDOW TYPES
 C9 WINDOW TYPE
 C10 SPANDREL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KIND
 C11 STUCCO EXTERIOR FINISH
 L1 - COLOR
 C1 = FARMER SHAPE HC-85 BY BENJAMIN MOORE
 C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
 C3 TEMPERED GLASS</p> | <p>D OUTLINE OF EXISTING TRASH ENCLOSURE IN FRONT OF BUILDING, PAINT TO MATCH ROSE BUILDING
 D1 TILE
 EQUIPMENT - E-VOSS COLLECTION
 COLOR: BE BLACK, SIZE: #3201, 1/4" GRASSING BOND
 MATCH/COMPONENTS SETTING MATERIAL AND GROUT BY WHITE GROUT, COLOR: ULTRA COLOR PLUS - #1 DIVISION, GROUT: RESIN: 7/8" TO 1 1/8"
 CONTACT: JAW DEEDA, (714) 837-7520
 D2 ALUMINUM TRELLIS SYSTEM
 L1 - COLOR
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = DIMENSIONAL
 C4 = SOLD
 D3 ALUMINUM TRELLIS TE-BACK SYSTEM
 L1 - COLOR
 C1 = CITYSCAPE
 C2 = DIMENSIONAL
 D4 ALUMINUM TRELLIS 2" X 8" WALL FASCIA SYSTEM
 COLOR: CITYSCAPE
 D5 EXISTING DRIVE-THRU WINDOW
 D6 DRIVE-THRU WINDOW, SEE A.1 FOR WINDOW TYPE & SPECIFICATION
 L1 - GLAZE DIRECTION: RL = RIGHT TO LEFT
 LR = LEFT TO RIGHT</p> |
|--|--|--|--|

REV.	DATE	DESCRIPTION

ARCHITECT OF RECORD



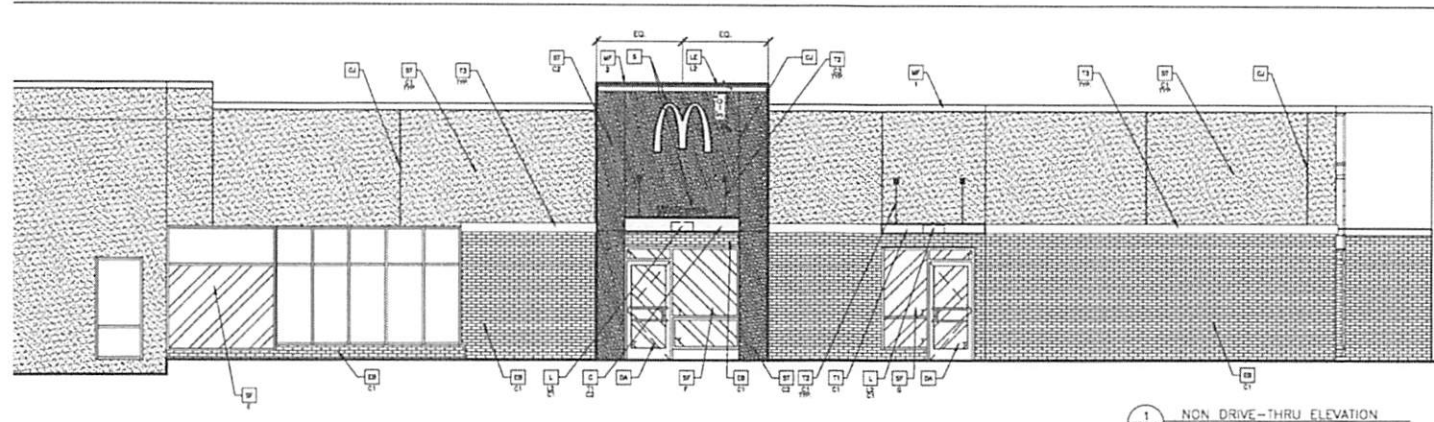
PREPARED FOR
McDonald's USA, LLC

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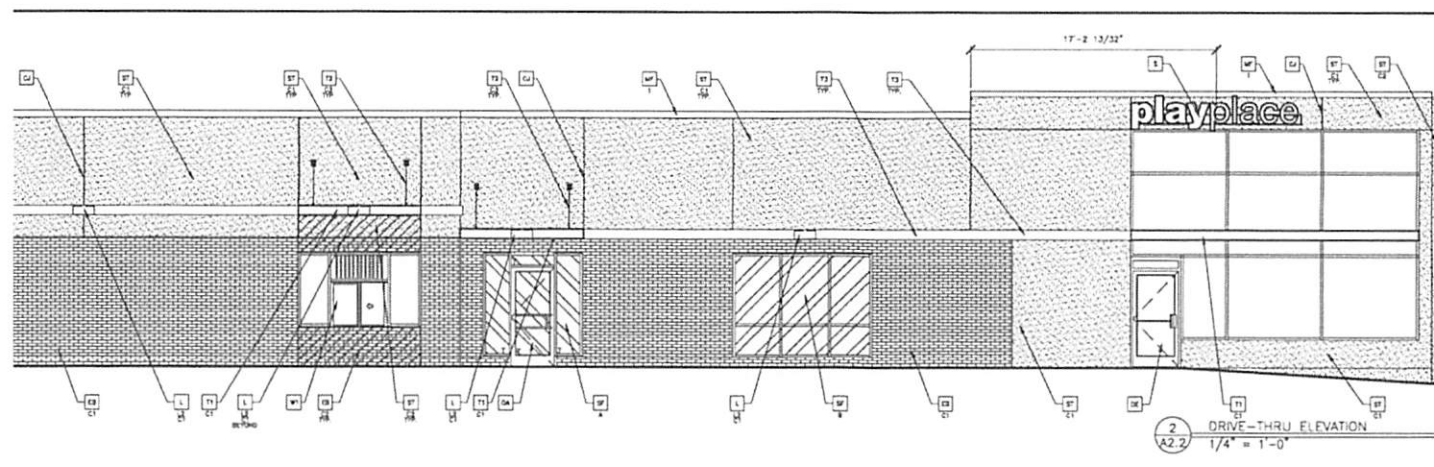
DESIGNED BY: M. POPPE
 3D MODELING: J. WICKHAM
 SHEET CHECK: J. WICKHAM
 DATE PLOTTED: 7/25/2013

FILE: MRP PROGRAM - LV
 CORE 15.2.0

445.0000 510 DRAWINGS E.C.
 SHEET NO. **A2.1**
 ELEVATIONS



1 NON DRIVE-THRU ELEVATION
 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION
 1/4" = 1'-0"

SHOP DRAWINGS
 SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
 SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT. DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
 SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 1. STOREFRONT GLAZING SYSTEM
 2. TRELLIS/CANOPY SYSTEM

COLOR SCHEME NOTE
 C.C. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER & LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CONTACT INFO.

NOTES
 1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS

COLOR SCHEME: 'CRAFTSMAN SCHEME'
 (SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

- KEYNOTES (NOT ALL KEY NOTES MAY BE USED)**
- A1 ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
 - A2 CONTROL JOINT
 - A3 CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.5 FOR ADDITIONAL SPECIFICATIONS (COLOR: C1 = 'TORYSCAPE')
 - A4 SURFACE CORNER STRIPS (MIMIC RETROFITTED BY SCHULTER SYSTEMS ALUMINUM - MIMIC-TAN COLOR DARK MET-WHITE COMMERCIAL-SUPPORT@WHLITER.COM. 2802 283-2817)
 - A5 ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
 - A6 EXISTING ALUMINUM DOOR
 - A7 EXISTING YELLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
 - A8 EXISTING BRICK VENEER TO BE PAINTED
 - A9 - COLOR: C1 = FAHNEW VALVE HC-88 BY BENJAMIN MOORE C2 = ROK MOUNTAIN 2134-30 BY BENJAMIN MOORE
 - A10 EXPANSION JOINT AT BRICK - FILLED WITH ELASTOMERIC SEALANT
 - B1 EXISTING GUARDRAIL TO REMAIN, PAINT TO MATCH BUILDING BEYOND
 - L1 LIGHT FIXTURE - SEE ELECTRICAL
 - L2 - TYPE: L1 = UP AND DOWN SCIENCE L2 = DOWN ONLY SCIENCE L3 = RECESSED DOWN FIXTURE (COLOR: C1 = SILVER C2 = WHITE)
 - L3 ACENT LIGHTING - SEE ELECTRICAL
 - L4 LED LIGHT: L1 = UP AND DOWN FIXTURE L2 = DOWN ONLY FIXTURE L3 = INTERIOR CANOPY FIXTURE L4 = FLOOD LIGHT
 - M1 METAL FASCIA - COLOR: CITYSCAPE
 - M2 - TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = PRE-FAB CUSTOM ANCHOR FASCIA
 - M3 MOVEMENT JOINT - DEXEL SWISSLOTT BY SCHULTER SYSTEMS (COLOR: BLACK)
 - M4 METAL LETTERING - BY OTHERS
 - N1 NEW BRICK VENEER
 - N2 - COLOR: C1 = FAHNEW VALVE HC-88 BY BENJAMIN MOORE C2 = ROK MOUNTAIN 2134-30 BY BENJAMIN MOORE
 - N3 NEW BRICK ALUM. GUTTER + SIS ALUM. LEADER PAINT TO MATCH BUILDING WALL
 - N4 EXISTING ROOF LADDER PAINT TO MATCH BUILDING BEYOND
 - N5 ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
 - N6 ROOF SCREEN TO BE SELECTED BY USER
 - N7 MCDONALD'S SIGNAGE
 - N8 - TYPE: L1 = TRUSS B - SEE SIGNAGE PACKAGE
 - N9 COMPONENT SYSTEM AND BRACING SEE A1.1 FOR PLUMB LOCATION & A8.1 FOR WINDOW TYPES
 - N10 WINDOW TYPE
 - N11 SPINWEL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KIND
 - N12 STUCCO EXTERIOR FINISH
 - N13 - COLOR: C1 = FAHNEW VALVE HC-88 BY BENJAMIN MOORE C2 = ROK MOUNTAIN 2134-30 BY BENJAMIN MOORE
 - N14 TEMPORED GLASS
 - O1 OUTLINE OF EXISTING TRASH ENCLOSURE IN FRONT OF BUILDING PAINT TO MATCH SHED BUILDING
 - R1 TILE (LARGEST 6" WIDE COLLECTION (COLOR: RB BLACK, R12: 'R12' 1/4" SLABING BOND WATERPROOFING SETTING MATERIAL AND GROUT BY MAPO) (COLOR: FLUOR COLOR PLUS - 41) DIMENSION: (COLOR: WHITE, 17 1/2" TO 27 1/2" (CONTACT JIM DETER, (714) 837-7300)
 - T1 ALUMINUM TRELLIS SYSTEM
 - T2 - COLOR: C1 = CITYSCAPE C2 = WHITE C3 = GOLD
 - T3 ALUMINUM TRELLIS TRUCK SYSTEM
 - T4 - COLOR: C1 = CITYSCAPE C2 = WHITE C3 = CHOCOLATE
 - T5 ALUMINUM TRELLIS 2" x 6" WALL FACIA SYSTEM (COLOR: CITYSCAPE)
 - T6 EXISTING DRIVE-THRU WINDOW
 - T7 DRIVE-THRU WINDOW SEE A.1 FOR WINDOW TYPE & SPECIFICATION
 - T8 - COLOR: RB = RIGHT TO LEFT LB = LEFT TO RIGHT

- N15 EXISTING TRASH ENCLOSURE IN FRONT OF BUILDING PAINT TO MATCH SHED BUILDING
- N16 NEW BRICK ALUM. GUTTER + SIS ALUM. LEADER PAINT TO MATCH BUILDING BEYOND
- N17 ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- N18 ROOF SCREEN TO BE SELECTED BY USER
- N19 MCDONALD'S SIGNAGE
- N20 - TYPE: L1 = TRUSS B - SEE SIGNAGE PACKAGE
- N21 COMPONENT SYSTEM AND BRACING SEE A1.1 FOR PLUMB LOCATION & A8.1 FOR WINDOW TYPES
- N22 WINDOW TYPE
- N23 SPINWEL PANEL - COLOR TO MATCH ADJACENT MATERIAL IN KIND
- N24 STUCCO EXTERIOR FINISH
- N25 - COLOR: C1 = FAHNEW VALVE HC-88 BY BENJAMIN MOORE C2 = ROK MOUNTAIN 2134-30 BY BENJAMIN MOORE
- N26 TEMPORED GLASS
- O1 OUTLINE OF EXISTING TRASH ENCLOSURE IN FRONT OF BUILDING PAINT TO MATCH SHED BUILDING
- R1 TILE (LARGEST 6" WIDE COLLECTION (COLOR: RB BLACK, R12: 'R12' 1/4" SLABING BOND WATERPROOFING SETTING MATERIAL AND GROUT BY MAPO) (COLOR: FLUOR COLOR PLUS - 41) DIMENSION: (COLOR: WHITE, 17 1/2" TO 27 1/2" (CONTACT JIM DETER, (714) 837-7300)
- T1 ALUMINUM TRELLIS SYSTEM
- T2 - COLOR: C1 = CITYSCAPE C2 = WHITE C3 = GOLD
- T3 ALUMINUM TRELLIS TRUCK SYSTEM
- T4 - COLOR: C1 = CITYSCAPE C2 = WHITE C3 = CHOCOLATE
- T5 ALUMINUM TRELLIS 2" x 6" WALL FACIA SYSTEM (COLOR: CITYSCAPE)
- T6 EXISTING DRIVE-THRU WINDOW
- T7 DRIVE-THRU WINDOW SEE A.1 FOR WINDOW TYPE & SPECIFICATION
- T8 - COLOR: RB = RIGHT TO LEFT LB = LEFT TO RIGHT

PROJECT RECORD

REV.	DATE	DESCRIPTION

FOR THE PROJECT MANAGER:
McDonald's USA, LLC
 12000 W. BRIDGEWAY
 DENVER, CO 80231
 (303) 752-2000

FOR THE ARCHITECT:
CORE STATES
 12000 W. BRIDGEWAY
 DENVER, CO 80231
 (303) 752-2000

DATE: 04-15-2019
SCALE: 1/4" = 1'-0"
PROJECT NO.: 043-0206
SHEET NO.: A2.2
ELEVATIONS

McDONALD'S RESTAURANT

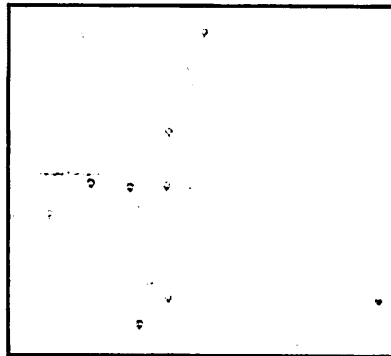
MODEL AND ADA IMPROVEMENTS

525 CUMMINGS STREET

ABINGDON VA 24210

WASHINGTON COUNTY

SITE CODE: 45-0206



LOCATION MAP
NOT TO SCALE

DEVELOPER
McDONALD'S USA, LLC
 110 NORTH CARPENTER STREET
 CHICAGO, IL 60607
 AREA CONSTRUCTION MANAGER
 FRED COX (865.322.1954)

DRAWING INDEX

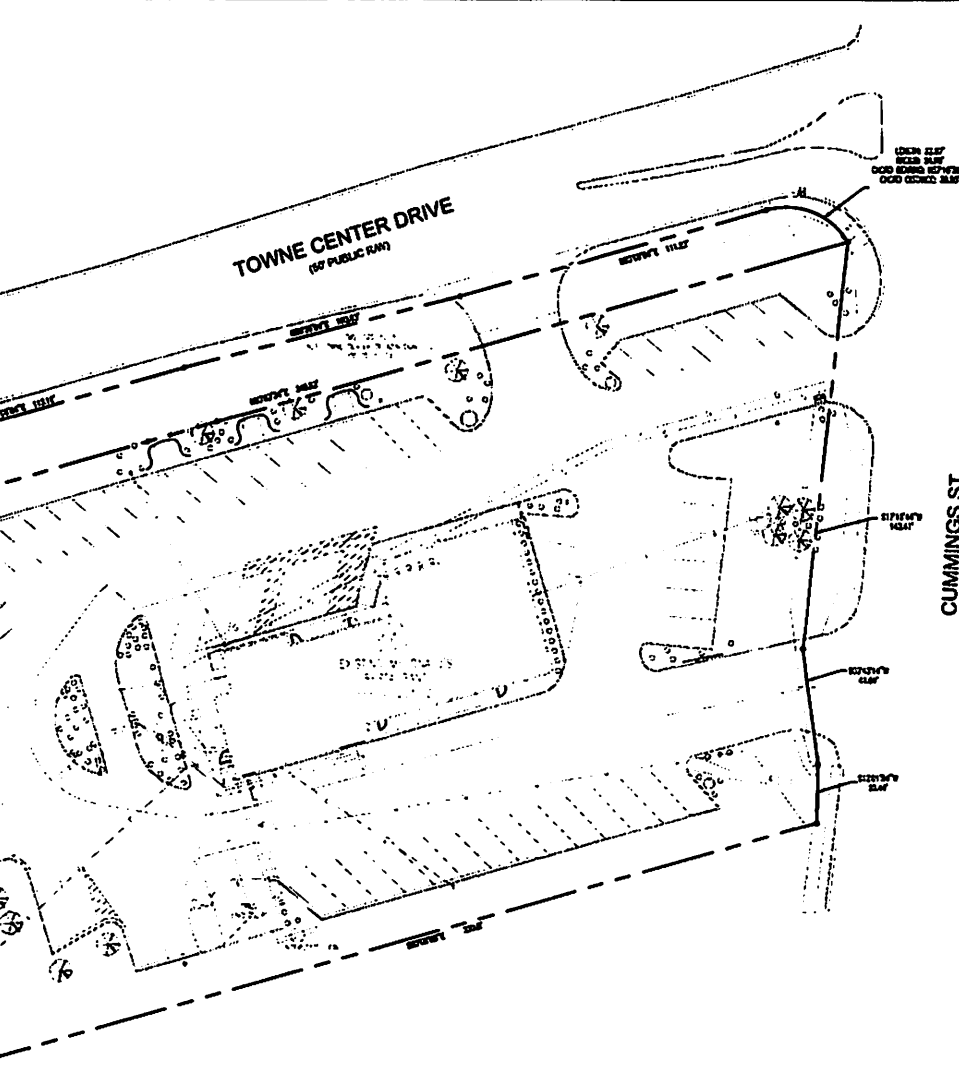
DWG NUMBER	DRAWING DESCRIPTION
C-1.0	COVER SHEET
C-1.1	EXISTING CONDITIONS PLAN
C-2.0	DEMOLITION & EROSION CONTROL PLAN
C-3.0	SITE PLAN
C-3.1	LAYOUT PLAN
C-4.0	ADA ACCESSIBILITY PLAN
SD-1.1	SITE DETAILS 1
SD-1.2	SITE DETAILS 2
SC-1.1	STRUCTURAL DETAILS 1
SC-1.2	STRUCTURAL DETAILS 2



REVISIONS		
REV	DATE	REVISIONS
C	02/27/2014	ISSUE FOR PERMIT
1	04/04/2014	BUILDING REVISIONS

THESE PLANS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

DRAWN BY: M. W. W. DATE: 01/14

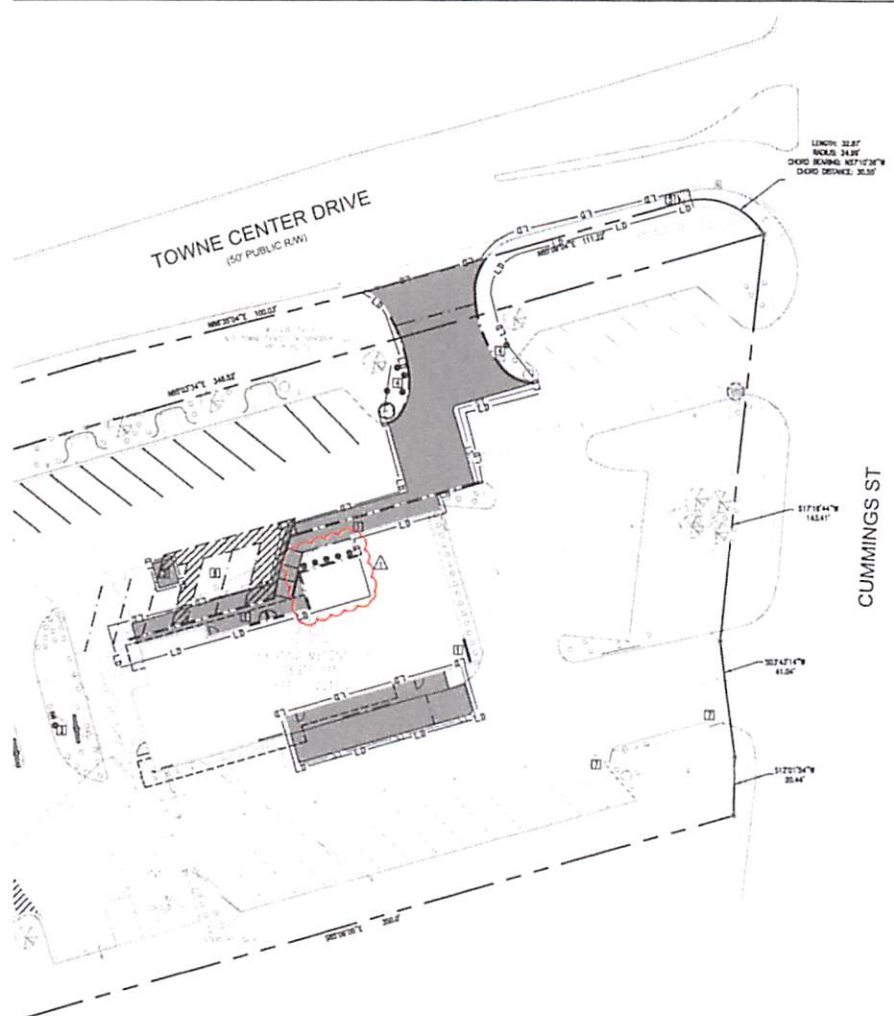


NOTE: CONDITIONS SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION FROM PLANS AND FIELD SURVEYS BY THE DESIGN PROFESSIONALS AND FIELD REPRESENTATIVES OF BRITT PETERS & ASSOCIATES, INC. IF THERE ARE ANY CHANGES OR DISCREPANCIES IN THE FIELD, THE CONTRACTOR SHALL CONTACT THE DESIGNER BEFORE PROCEEDING TO CONSTRUCTION.



SCALE: 1/8" = 1' - 0"

<p>BRITT PETERS & ASSOCIATES, INC. REGISTERED ENGINEERS</p> <p>451 Falls Park Drive Raleigh, NC 27601 (919) 771-8880 Fax: (919) 771-8881 www.britt-peters.com</p>	
<p>McDonald's USA, LLC</p> <p>McDonald's USA, LLC is a wholly owned subsidiary of McDonald's Corporation. The information on this plan was prepared by the design professional named on the title block for the project. The design professional is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the design professional's staff.</p>	
<p>PROJECT: EXISTING CONDITIONS PLAN</p>	<p>DATE: 4.4.10</p> <p>SCALE: 1/8" = 1' - 0"</p>
<p>NO. 1</p>	<p>DATE: 4.4.10</p>
<p>NO. 2</p>	<p>DATE: 4.4.10</p>
<p>NO. 3</p>	<p>DATE: 4.4.10</p>
<p>NO. 4</p>	<p>DATE: 4.4.10</p>
<p>NO. 5</p>	<p>DATE: 4.4.10</p>
<p>NO. 6</p>	<p>DATE: 4.4.10</p>
<p>NO. 7</p>	<p>DATE: 4.4.10</p>
<p>NO. 8</p>	<p>DATE: 4.4.10</p>
<p>NO. 9</p>	<p>DATE: 4.4.10</p>
<p>NO. 10</p>	<p>DATE: 4.4.10</p>
<p>NO. 11</p>	<p>DATE: 4.4.10</p>
<p>NO. 12</p>	<p>DATE: 4.4.10</p>
<p>NO. 13</p>	<p>DATE: 4.4.10</p>
<p>NO. 14</p>	<p>DATE: 4.4.10</p>
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<p>NO. 17</p>	<p>DATE: 4.4.10</p>
<p>NO. 18</p>	<p>DATE: 4.4.10</p>
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<p>NO. 26</p>	<p>DATE: 4.4.10</p>
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<p>NO. 28</p>	<p>DATE: 4.4.10</p>
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<p>NO. 35</p>	<p>DATE: 4.4.10</p>
<p>NO. 36</p>	<p>DATE: 4.4.10</p>
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<p>NO. 42</p>	<p>DATE: 4.4.10</p>
<p>NO. 43</p>	<p>DATE: 4.4.10</p>
<p>NO. 44</p>	<p>DATE: 4.4.10</p>
<p>NO. 45</p>	<p>DATE: 4.4.10</p>
<p>NO. 46</p>	<p>DATE: 4.4.10</p>
<p>NO. 47</p>	<p>DATE: 4.4.10</p>
<p>NO. 48</p>	<p>DATE: 4.4.10</p>
<p>NO. 49</p>	<p>DATE: 4.4.10</p>
<p>NO. 50</p>	<p>DATE: 4.4.10</p>



- GENERAL DEMOLITION NOTES:**
- EXISTING SITE CONDITIONS SHALL BE VIEWED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DIFFERENCES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION IN WRITING TO THE AEA AND AWAIT FURTHER INSTRUCTIONS.
 - PRIOR TO COMMENCING DEMOLITION & CLEANING, SEDIMENT TABLES AND TEMPORARY INLET PROTECTION SHALL BE INSTALLED.
 - ALL EXISTING TO REPAIR SHALL BE PROTECTED FROM DAMAGE. IN THE EVENT THAT EXISTING ITEMS TO REPAIR ARE DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE ITEM AT NO COST TO THE OWNER.
 - ALL DEPRESSIONS FORMED BY DEMOLITION SHALL BE FILLED. REFER TO THE GRADING PLAN & SOILS REPORT FOR FURTHER SPECIFICATIONS FOR THE FILL REQUIREMENTS.

- KEY NOTES:**
- 1. VERIFY BUILDING DOORS AND FACES. REFER TO A/E PLANS.
 - 2. REMOVE EXISTING DRIVE DRIVE EQUIPMENT (C&G FOUNDATIONS AND DETECTOR LOOPS TO REMAIN AND BE REUSED.)
 - 3. VERIFY EXISTING PARALLEL SLOPES. IF SLOPES ARE GREATER THAN 2:1 IN ANY DIRECTION, REMOVE AND REPLACE CONCRETE WITHIN THE LIMITS OF DISTURBANCE AS NECESSARY TO ACHIEVE ADA COMPLIANCE.
 - 4. CONDUIT RELOCATION WITHIN THE LIMITS OF DISTURBANCE AS REQUIRED.
 - 5. CONDUIT RELOCATION OF EXISTING STEP SIDE WITH THE TOP OF ASBESTOS.
 - 6. WIRE OUT STAIRING ON CONCRETE TO REMAIN.
 - 7. INSTALL SEDIMENT TABLES AT CONCRETE PLANE.

DEMOLITION SEQUENTIAL:

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LABEL REGULATIONS AND ORDINANCES IS MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT.

- INSTALL TEMPORARY INLET PROTECTION AS SHOWN ON C-2.0.
- SEMI DEMOLITION WORK AS SHOWN ON C-2.0. DEMOLITION WORK SHALL INCLUDE PRUNING, REMOVAL OF EXISTING BUILDING, CLEANING, AND PAVING. PRIOR TO EXPOSING SANDPANE, METAL SEDIMENT TABLES AS SHOWN ON C-2.0.

NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION CONTROL DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. EROSION CONTROL DEVICES SHALL BE MAINTAINED IN THE AREAS OF THE SECONDARY CONTROL DEVICES UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.

- SEMI BUILDING AND SEMIABLE CONSTRUCTION.
- PAVE AREAS DESIGNATED FOR PARKING. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH RECEPTION PAVING, ETC. SEED AND MULCH DESIGNATED AREAS WITHIN FIFTEEN (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNOBTURATED DURING CONSTRUCTION OF THE BUILDING FLOOR AND ASSOCIATED PARKING/ DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.

- REMOVE SEDIMENT TABLES AS UPSTREAM AREAS ARE STABILIZED AND REMOVE TEMPORARY INLET PROTECTION UPON PROJECT COMPLETION. SEED OUT OF PAVE AND RESULTING DRIVE AREAS.

LEGEND

- DEMOTES PROPERTY LINE ———
- DEMOTES SEDIMENT TABLE REFER TO C-2.0 ——— ST
- DEMOTES EXISTING ITEM TO BE REMOVED - - - - -
- LIMITS OF DISTURBANCE ——— LD
- DEMOTES PRESENT TO BE REMOVED [Shaded Area]
- TEMPORARY INLET PROTECTION REFER TO C-2.0 [Circle with 'X']



NO.	DATE	REVISION
0	05/27/2018	ISSUE FOR PERMIT
1	05/27/2018	ISSUE FOR PERMIT



101 Fair Park Drive
 Suite 801
 Charlotte, NC 28201
 804-271-8889
 Fax 804-233-5141
 www.BrittPeters.com

M. McDonald's USA, LLC

Project Name: DEMOLITION & EROSION CONTROL PLAN

Project No: 4419

Scale: 1" = 20'

Sheet No: C-2.0

Project Location: 101 FAIR PARK DRIVE, CHARLOTTE, NC 28201

DEMOLITION & EROSION CONTROL PLAN

Scale: 1" = 20'

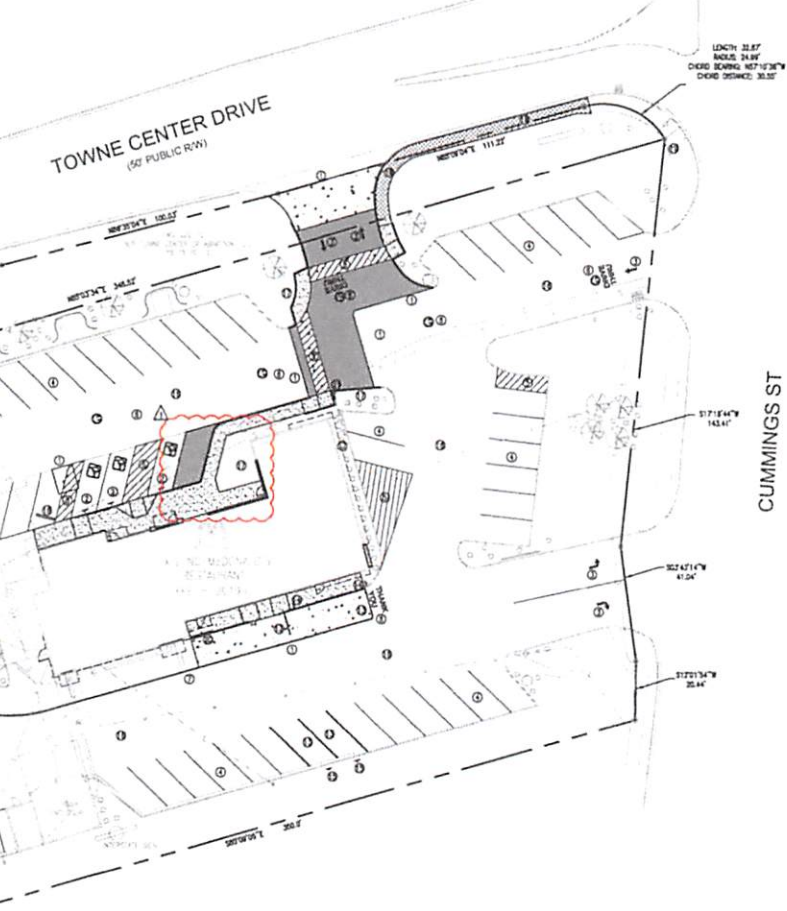
Sheet No: C-2.0

Project Location: 101 FAIR PARK DRIVE, CHARLOTTE, NC 28201

- OUTDOOR DIGITAL WOOD BOARD OVER DETAIL SHEET SD-1.1 & SD-1.2, FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER.
- CORE 18 CHAIRS, PANELLED SLIP SPRINGBOARD CANOPY (OVER DETAIL SHEET SD-1.1) REUSE EXISTING FOOTINGS AND ELECTRICITY. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER.
- CORE 19 CHAIRS, PANELLED DOUBLE WELLSIDE POINT SIGNERY SIGN WITH 7/16" LAME ANY-TIME (OVER DETAIL SHEET SD-1.1 & SD-1.1.5) FOOTING BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER.
- DISCOUNTED FULL FORWARDING MOBILE ORDER PARKING STALL SHALL BE PAINTED WITH A YELLOW 4" WIDE STRIPE.
- PULL FORWARD SIGN FOR DISCOUNTED DRIVE-THRU ORDER PARKING STALLS PER DETAIL ON SHEET SD-1.1.
- MOBILE ORDER SIGN FOR DISCOUNTED MOBILE ORDER PARKING STALLS PER DETAIL ON SHEET SD-1.1.
- CLEAN PARKING LOT, REPAIR CRACKS, SEAL/CRACK ASPHALT AND RE-STRIPE LOT.
- STABILIZE ALL NON-PAVED DISTURBED AREAS WITH HAYWOOD MULCH OR VEGETATION TO MATCH EXISTING. COORDINATE LANDSCAPE RESTRICTIONS WITH OPERATOR.
- INSTALL PRECAST CONCRETE WHEELSTOP. REFER TO SD-1.2.
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS OF ALL UTILITY LATERALS AND COORDINATE WITH A/C IF CONE PENETRATION IS IN CONFLICT.
- INSTALL 4" LONG GUARD RAIL A MINIMUM OF 5'4" FROM THE FACE OF THE DOOR.
- EXTING UNKNOWN TO EXT THRU PROPOSED FACE OF CURB.

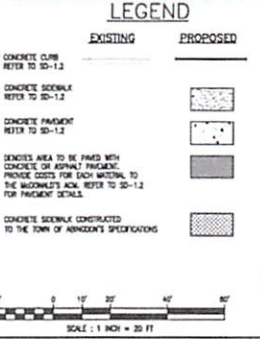
GENERAL SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL, BY HIS MEANS AND AT HIS OWN COSTS, HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH AND OTHER CONSTRUCTION OR FROM ANY DELAY DUE TO REMOVAL OR REPAIRMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING ALL NON-SUBSIDIARY UTILITIES. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR ASSISTANCE IN LOCATING EXISTING UTILITIES, CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGUN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AGENCIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK WARRANTED BY ANY REGULATORY AGENCY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF GROUND, UTILITIES AND RIGHT-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING FIRM AND/OR MATERIAL, INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE. UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO PREPARE THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONDITIONS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE REQUIREMENT SHALL BE MADE TO WHATEVER CONVENIENTLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO OBTAIN NECESSARY, AND HOLD THE OWNER AND DESIGN PROFESSIONALS HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "C" AS DETERMINED BY H&O FARM COMPANY PAVEMENT NUMBER 11111111111111111111 WITH AN EFFECTIVE DATE OF 02/28/2015.
- PARCELS A-D SD-12-4
- PROPERTY SIZE: 1.84 ACRES
DISTURBED AREA: 0.2 ACRES
- PAYMENT SPECIFICATIONS CONTRACTOR TO REFER TO SDCS REPORT FOR SITE SPECIFIC PAYMENT SPECIFICATIONS. MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPARISON TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT MCDONALD'S EXPENSE, OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.
- ALL SITE CONCRETE IS TO BE TREATED WITH WATER REPLENISHING CONCRETE SEALER TO PROTECT THE SURFACES FROM SPLITTING AND SHALLOW FROM CHEMICAL ATTACK OF CHLORIDE SALTS. SEALER SHOULD BE SEAM/SHOULDER WATER REPLENISHING, RECOMMENDING WELLS PROCESS-1000-2000 OR EQUAL, 10% SOLIDS.



SITE ZONING: B-2 - GENERAL BUSINESS DISTRICT	FRONT	RIGHT	LEFT	REAR
BUILDING SETBACKS:	EXISTING	NEW	EXISTING	NEW

1 SPACE / 200 SF OF GFA					
5,000 SF / 200 = 25 SPACES					
ANGLE:	90°	90°	90°	90°	ADA
STALL SIZE:	8' x 18'	8' x 18'	8' x 20'	8' x 18'	8' x 20'
ANGLE DIMENSION:	14'	16'	16'	16'	16'
SPACES SHOWN:	11	42	-	3	-
MIN. REQUIREMENT:	27 SPACES				
MAX. REQUIREMENT:	-				
TOTAL SPACES PROVIDED:	58 SPACES				



MCDONALD'S USA, LLC

These plans and specifications are the property of McDonald's USA, LLC. They are to be used only for the project and site identified herein. No part of these plans or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC.

C-3.0

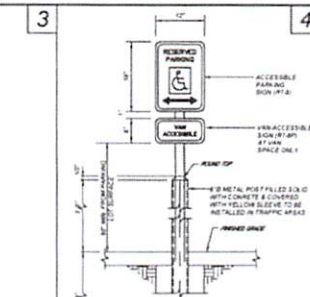
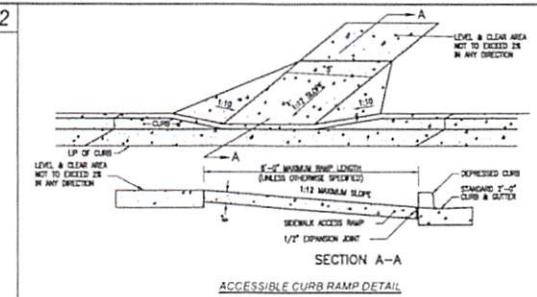
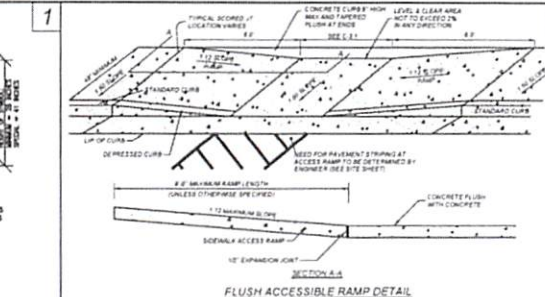
DATE: 04/14/2015

BY: [Signature]

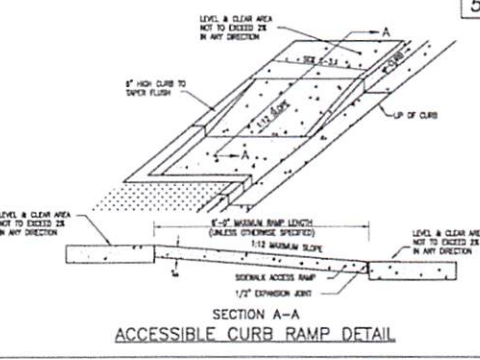
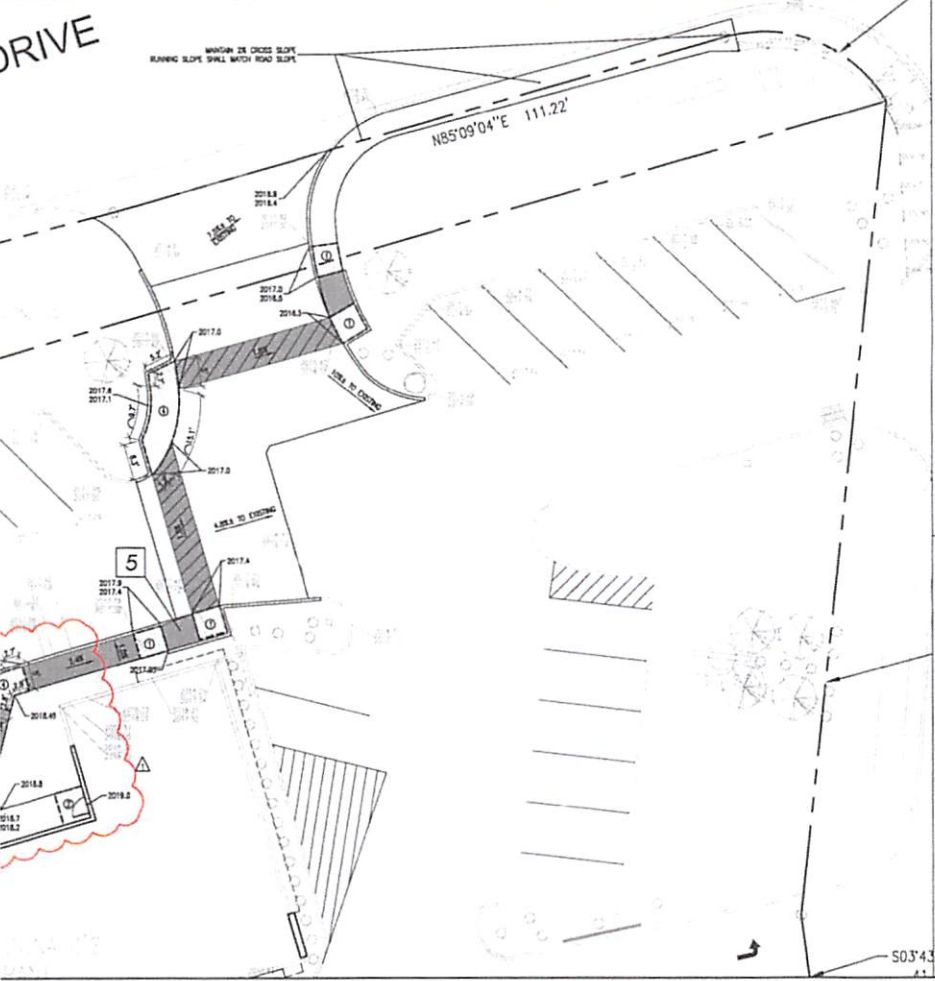
TITLE: SITE PLAN

PROJECT: 180 CUMMINGS ST. MCDONALD'S RESTAURANT





NO.	DATE	BY	CHKD



LEGEND

- SPOT ELEVATIONS
- ADA ACCESSIBLE ROUTE (USE MAXIMUM LONGITUDINAL SLOPE, 1:12 MAXIMUM CROSS SLOPE, INCLUDING RAMP)
- DEMOTES ACCESSIBLE PARKING AREA (24' MAX. SLOPE)
- LEVEL AND CLEAR LANDING AREA NOT TO EXCEED 24' IN ANY DIRECTION, SIZE OF EACH INDIVIDUAL AREA IS AS FOLLOWS:
 - 1) 5'0\"/>

SCALE: 1" = 10'-0"

BRITT PETERS ASSOCIATES
 CONSULTING ARCHITECTS

1017 Park Park Drive
 Suite 201
 Greenville, SC 29611
 864.271.8888
 Fax: 864.233.8140
 www.britteters.com

McDonald's USA, LLC

ADA ACCESSIBILITY PLAN

DATE: 4-4-19

SCALE: C-4.0



Everbite




Everbite
The Art of Signage

ILLUMINATION: N/A

FACE DETAILS:
 • Poly mounted ABS panel to
 • 1/2" x 1/2" x 1/2" LED panel
 • 1/2" x 1/2" x 1/2" LED panel
 • 1/2" x 1/2" x 1/2" LED panel
 • 1/2" x 1/2" x 1/2" LED panel

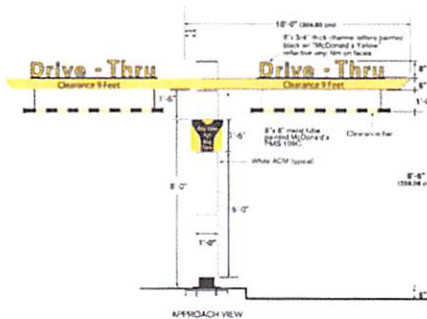
078 F: 877-430-7353 www.everbite.com

Everbite



Everbite
The Art of Signage


Double Welcome Point Gateway w/ Any Lane Any Time Bollard Face



APPROACH VIEW


Everbite, LLC, 315 Marston Ave., South Milwaukee, WI 53172 P: 888-857-4078 F: 877-430-7353 www.everbite.com

STRATACACHE



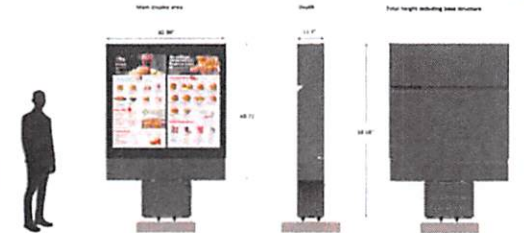
STRATACACHE
The Art of Signage

From height including base structure



1


G10 - Double Unit



OUTDOOR DIGITAL MENU BOARD

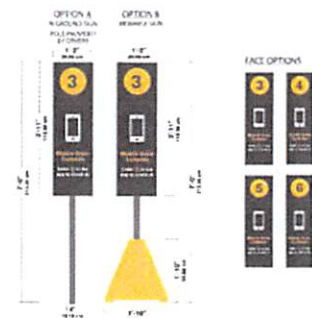
1

Everbite



Everbite
The Art of Signage

Mobile Ordering Curb Signage




ILLUMINATION: N/A

FACE DETAILS:
 • Poly mounted ABS panel to
 • 1/2" x 1/2" x 1/2" LED panel
 • 1/2" x 1/2" x 1/2" LED panel
 • 1/2" x 1/2" x 1/2" LED panel


Everbite, LLC, 315 Marston Ave., South Milwaukee, WI 53172 P: 888-857-4078 F: 877-430-7353 www.everbite.com

Everbite



Everbite
The Art of Signage

Slim Springboard Canopy w/Audio Only - Yellow



ILLUMINATION: LED Downlighting

ELECTRICAL: 15 Amps 120 volt, 50 Hz

BURST:

SHIP WEIGHT:

Everbite, LLC, 315 Marston Ave., South Milwaukee, WI 53172 P: 888-857-4078 F: 877-430-7353 www.everbite.com

SIGN NOTES:

1. SIGNS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH A/C/M AND SIGN VENDOR PRIOR TO ORDERING SITE SIGNAGE.
2. REFER TO SC-1.1 & SC-1.2 FOR SITE FOUNDATIONS.

REV	DATE	BY
0	02/27/2018	MMV
1		MMV
2		MMV
3		MMV
4		MMV
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96		MMV
97		MMV
98		MMV
99		MMV
100		MMV

BRITT PETERS ASSOCIATES
INC.
CONSULTING ARCHITECTS

121 Falls Park Drive
Suite 501
Greenville, SC 29611
864.277.8889
Fax: 864.233.8143
www.britt-peters.com

McDonald's USA, LLC
The Art of Signage

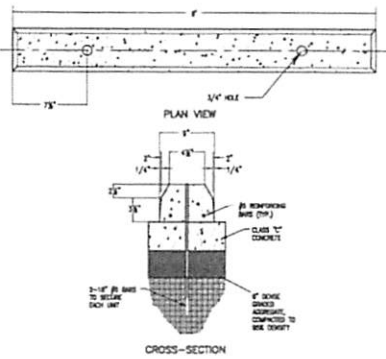
Three of the world's most recognizable brands are now under one roof. The combination of the world's most recognizable brands in one place is a powerful statement. The combination of the world's most recognizable brands in one place is a powerful statement. The combination of the world's most recognizable brands in one place is a powerful statement.

DATE: 02/27/2018
TIME: 10:00 AM
BY: JAC
PROJECT: 1808000000
SHEET: 1808000000-01

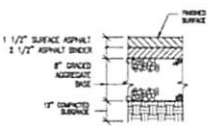
SITE DETAILS 1

DATE: 02/27/2018
TIME: 10:00 AM
BY: JAC
PROJECT: 1808000000
SHEET: 1808000000-01

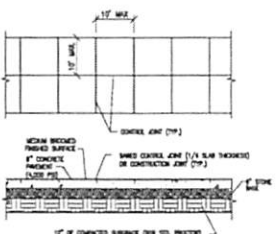
SD-1.1
SITE DETAILS 1



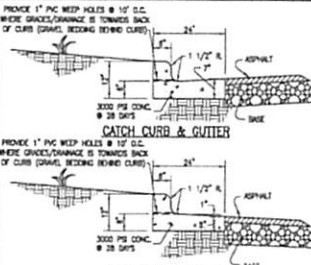
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M.A.



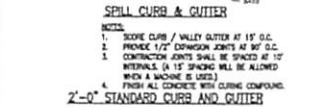
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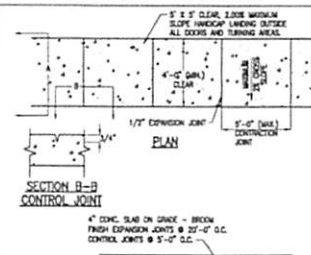
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M.A.



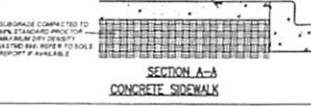
CATCH CURB & GUTTER



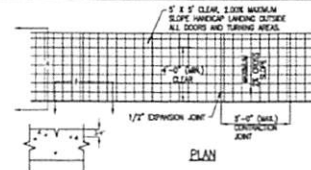
SPILL CURB & GUTTER



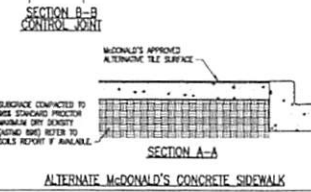
2\"/>



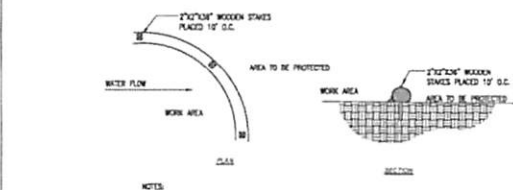
SECTION A-A
CONCRETE SIDEWALK



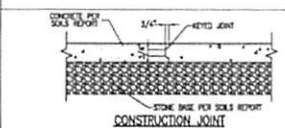
ALTERNATE MCDONALD'S CONCRETE SIDEWALK



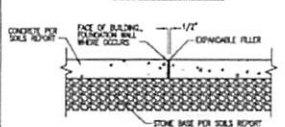
DIRECTIONAL ARROWS



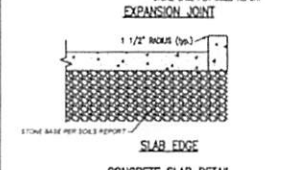
SEDIMENT TUBE



CONSTRUCTION JOINT



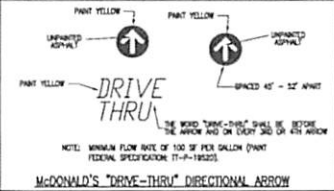
EXPANSION JOINT



CONCRETE SLAB DETAIL



MCDONALD'S "THANK YOU"



MCDONALD'S "DRIVE-THRU" DIRECTIONAL ARROW

NO.	DATE	REVISION
1	02/27/2018	ISSUED FOR PERMIT
2	04/04/2018	ISSUED FOR PERMIT
3	04/04/2018	ISSUED FOR PERMIT
4	04/04/2018	ISSUED FOR PERMIT
5	04/04/2018	ISSUED FOR PERMIT
6	04/04/2018	ISSUED FOR PERMIT
7	04/04/2018	ISSUED FOR PERMIT
8	04/04/2018	ISSUED FOR PERMIT
9	04/04/2018	ISSUED FOR PERMIT
10	04/04/2018	ISSUED FOR PERMIT

BRITT PETERS ASSOCIATES
INC.

101 Falls Park Drive
Suite 101
Cary, NC 27513
(919) 271-8859
Fax: (919) 233-5142
www.bpaengineers.com

McDonald's USA, LLC

Three of the world's leading fast-food chains are now owned and operated by McDonald's USA, LLC. The company is a subsidiary of McDonald's Corporation, a public company listed on the New York Stock Exchange. McDonald's USA, LLC is a wholly owned subsidiary of McDonald's Corporation. The company is a public company listed on the New York Stock Exchange. McDonald's USA, LLC is a wholly owned subsidiary of McDonald's Corporation. The company is a public company listed on the New York Stock Exchange.

SITE DETAILS 2

SD-1.2
SITE DETAILS 2



Town of Abington

04/01/19 14:06 MISCELLANEOUS PERMIT

Owner: SIMMONS THERES J
Property Location: 325 CUMMINGS STREET
SCORRAIE IS
APP FOR ENTRANCE/CERT OF AFFRO

Chk#: 16845
Stch Id: COUNTERS
Ref Num: 32952 Seq: 26 to 28

Cash Amount:	0.00
Check Amount:	50.00
Credit Amount:	0.00

Total:	50.00

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT, is entered into as of the day of April 7, 1989, by and between ABINGDON TOWNE CENTRE LIMITED PARTNERSHIP, a Tennessee limited partnership ("Grantor") and McDONALD'S CORPORATION, a Delaware corporation ("Grantee"),

W I T N E S S E T H:

7851
WHEREAS, Grantee is a tenant leasing a parcel of land more particularly described on Exhibit "A" attached hereto and made a part hereof ("McDonald's Parcel"), pursuant to a ground lease dated January 13, 1979, a Memorandum of Lease of which is filed with the Clerk's office of the Circuit Court of Washington County, Virginia, in Deed Book 606, Page 466 ("Ground Lease"). The McDonald's Parcel also is shown as the "McDonald's Lease Property" on the survey which is attached hereto and made a part hereof as Exhibit "B", such survey being a portion of the Final Plat of Abingdon Towne Centre Limited Partnership Property recorded in Plat Book 23, Page 219, in the Office of the Clerk of the Circuit Court of Washington County, Virginia ("Plat"); and

WHEREAS, Grantor is the owner of Part 4 of Tract 5 as shown on the Plat ("Easement Parcel"). The Easement Parcel also is shown on Exhibit "B" as the "Easement Parcel"; and

Grantor has dedicated Towne Centre Drive, as shown on the Plat to the Town of Abingdon, Virginia as a public right-of-way and has posted a bond with the Town of Abingdon to secure Grantor's maintenance obligations which expire in November, 1989. Towne Centre Drive is shown on Exhibit "B" and is labeled as such thereon; and

WHEREAS, Grantor wishes to grant, and Grantee wishes to receive, certain easements over, under and across the Easement Parcel.

NOW, THEREFORE, in consideration of the sum of Ten Thousand and No/100 Dollars (\$10,000.00), cash in hand paid by Grantee to Grantor and of the premises herein contained, the Grantor hereby agrees with Grantee as follows:

1. Ingress and Egress Easement. Grantor hereby grants and conveys to Grantee for a period of time consistent with the term of the above-described Ground Lease, including any extensions or renewals thereof, an exclusive easement for vehicular ingress and egress over and across the Easement Parcel with such easement being limited to a single location, no greater than thirty (30) feet in width, and otherwise in compliance with all applicable laws and codes, such easement being subject to the easements, encumbrances, restrictions, and other matters set forth on Exhibit "C". Grantor will have no obligation to construct or maintain the easement across the Easement Parcel and the Grantee, by its acceptance hereof, agrees that it will indemnify and hold harmless Grantor with respect to all construction and maintenance of such access on

and across the Easement Parcel, provided that this indemnification will not extend to the willful misconduct or negligence of Grantor or its agents. Grantor shall have the right to approve the initial design of such access and any material modification thereto, which approval will not be unreasonably withheld.

2. Perpetual Easement. Grantor agrees, covenants and warrants that in the event that Grantee acquires fee simple title to the McDonald's Parcel, the easement rights conveyed in numbered paragraph 1 hereof shall be perpetual, and that in such event, Grantor, at the expense of Grantee, hereby agrees to deliver to Grantee a recordable document to effectuate the perpetual nature of such easement.

3. Towne Centre Drive. To the extent that Towne Centre Drive is not, on the date of this Easement Agreement, a public right-of-way, Grantor conveys to Grantee a non-exclusive easement over and across Towne Centre Drive, provided that whatever easement rights, if any, lawfully may be granted to Grantee, will terminate upon the acceptance by the Town of Abingdon of the maintenance obligations with respect to Towne Centre Drive, which as aforesaid, is scheduled to occur in November, 1989.

4. Warranties of Title. Grantor warrants that Grantor has good and indefeasible fee simple title to the Easement Parcel and that Grantor has taken all appropriate dedicatory actions with respect to Towne Centre Drive; that Grantor has the full right and lawful authority to grant the easement over the Easement Parcel; and that Grantor will defend and indemnify Grantee against all lawful claims and that Grantee shall and may peaceably have, hold and enjoy the easement granted herein.

5. Running of Benefit. All provisions of this instrument, including the benefits and burdens, run with the land and are binding upon and inure to the benefit of the heirs, assigns, licensees, invitees, successors, tenants, employees and personal representatives of the parties hereto, but the easement herein granted will not be construed to create any right in or benefit for the general public.

6. Default. If there is a failure by either party to perform, fulfill or observe any agreement contained within this Easement Agreement, to be performed, fulfilled or observed by it, continuing for thirty (30) days, or in situations involving potential danger to the health or safety of persons in, on or about or substantial deterioration of the Easement Parcel, in each case after written notice, the other party may, at its election, cure such failure or breach on behalf of the defaulting party. Any amount which the party so electing shall expend for such purpose, or which shall otherwise be due by either party to the other, shall be paid to the party to whom due on demand, upon delivery of its invoice, together with interest at the lower of (1) the rate of ten percent (10%) per annum, or (2) the maximum rate permissible from time to time under applicable law, from the date of the expenditure or the date when it shall have become due to the date of payment in full. The provisions of this paragraph shall be in all respects

subject and subordinate to the lien of any mortgages or deeds of trust at any time or from time to time on the land of the defaulting party and the rights of the holder or holders of any mortgages or deeds of trust.

7. Construction. The rule of strict construction does not apply to this grant. This grant shall be given a reasonable construction so that the intention of the parties to convey a commercially usable right of enjoyment of Grantee is carried out.

8. Notice. Grantor's address is 701 Cherokee Boulevard, Chattanooga, Tennessee 37405 and Grantee's address is McDonald's Corporation, Real Estate/Legal Department, One McDonald's Plaza, Oak Brook, Illinois 60521, attention: Director, Real Estate/Legal Department. All notices shall be in writing and sent by certified mail, return receipt requested, with sufficient postage affixed and addressed to the parties at the foregoing addresses or to such other address as such parties, by notice as aforesaid, may designate.

IN WITNESS WHEREOF, Grantor and Grantee have caused this instrument to be executed on the dates set forth in the acknowledgments of their respective signatures, and this Agreement is to be effective as of the later of such dates.

GRANTOR:

ABINGDON TOWNE CENTRE LIMITED
PARTNERSHIP

By: Corker Development Corporation
general partner

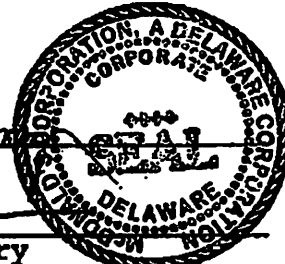
By: Robert P. Corker, Jr.
Robert P. Corker, Jr.
President

GRANTEE:

MCDONALD'S CORPORATION

By: James B. ...
Vice President

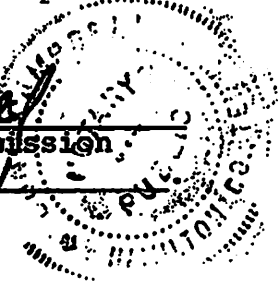
Attest: Assistant Secretary
Assistant Secretary



STATE OF TENNESSEE,
COUNTY OF HAMILTON, to-wit:

The foregoing Easement Agreement, dated April 7,
1989, was acknowledged before me this 7th day of April,
1989, by ROBERT P. CORKER, JR. President of Corker Devel-
opment Corporation, a Tennessee corporation, general partner of
Abingdon Towne Centre Limited Partnership, a Tennessee limited
partnership, on behalf of both said corporation and said partner-
ship.

Jim Campbell
Notary Public whose commission
expires May 19, 1991



STATE OF _____,
COUNTY OF _____, to-wit:

The foregoing instrument was acknowledged before me this
_____ day of _____, 1989, by _____,
President of _____, a Tennessee corporation,
on behalf of said corporation.

Notary Public whose commission
expires _____.

MCDONALD'S (ACKNOWLEDGMENT)

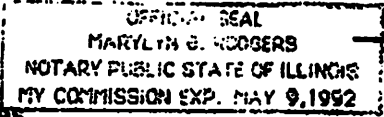
8 9 0 3 0 3 2 3 3 0 2

STATE OF ILLINOIS
COUNTY OF DuPAGE

SS:

I, Marylyn G. Rodgers, a Notary Public in and for the county and state aforesaid, DO HEREBY CERTIFY that Seymour Greenman, Vice-President, and Michael J. Sise, Assistant Secretary of McDonald's Corporation, a Delaware corporation, who are personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Vice-President and Assistant Secretary, respectively, appeared before me this day in person and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act as such Vice-President and Assistant Secretary, respectively, and as the free and voluntary act of said corporation for the uses and purposes therein set forth.

Given under my hand and notarial seal, this 14th day of April, 19 89.



Marylyn G. Rodgers
Notary Public

My commission expires _____

(ACKNOWLEDGMENT - INDIVIDUAL)

STATE OF
COUNTY OF

SS:

I, _____, a Notary Public in and for the county and state aforesaid, DO HEREBY CERTIFY that _____ and _____ of _____ who (is)(are) personally known to me to be the same person(s) whose name(s) (is)(are) subscribed to the foregoing instrument appeared before me this day in person and acknowledged that (he)(they) signed, sealed and delivered the said instrument as (h)(their) free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal, this _____ day of _____, 19 _____.

Notary Public

My commission expires _____.

(ACKNOWLEDGMENT - CORPORATE)

8 9 0 8 0 3 2 3 3 0 2

BOOK 778 PAGE 57

EXHIBIT "A"

BEGINNING at an iron pin in the western line of Virginia State Highway No. 75, which iron pin is S 19 degrees 21' 50" W, and a common corner to the property owned by Frances Fern and the property owned by Charles W. Johnson, et al, thence S 19 degrees 21' 50" W 143.41 feet to a Virginia Department of Highways monument; thence S 5 degrees 48' 20" W 41.04 feet to a Virginia Department of Highways monument, thence S 14 degrees 7' 00" W 20.44 feet to an iron pin; thence leaving Virginia State Highway No. 75 and with the property of C. W. G. Enterprises, S 87 14 degrees 10' W 350 feet to an iron pin; thence leaving the property of G. W. G. Enterprises and with the property of Charles W. Johnson, et al, N 16 degrees 34' 40" E 203.94 feet to an iron pin; thence S 87 degrees 14' 10" W 348.33 feet to the point of BEGINNING in the western edge of Route 75.

Description prepared from survey by Kenneth M. Sells,
Certified Surveyor.

Q1W2A058/JMH

BEARING	8-9-0	3-0-3	2-3-3	3-0-2	BEARING
	2258.93	137.85	68.55	137.84	N 80 43 30 E
	1110.92	145.42	72.81	145.32	N 88 11 30 E
	5822.58	775.52	390.39	779.04	S 87 56 50 W

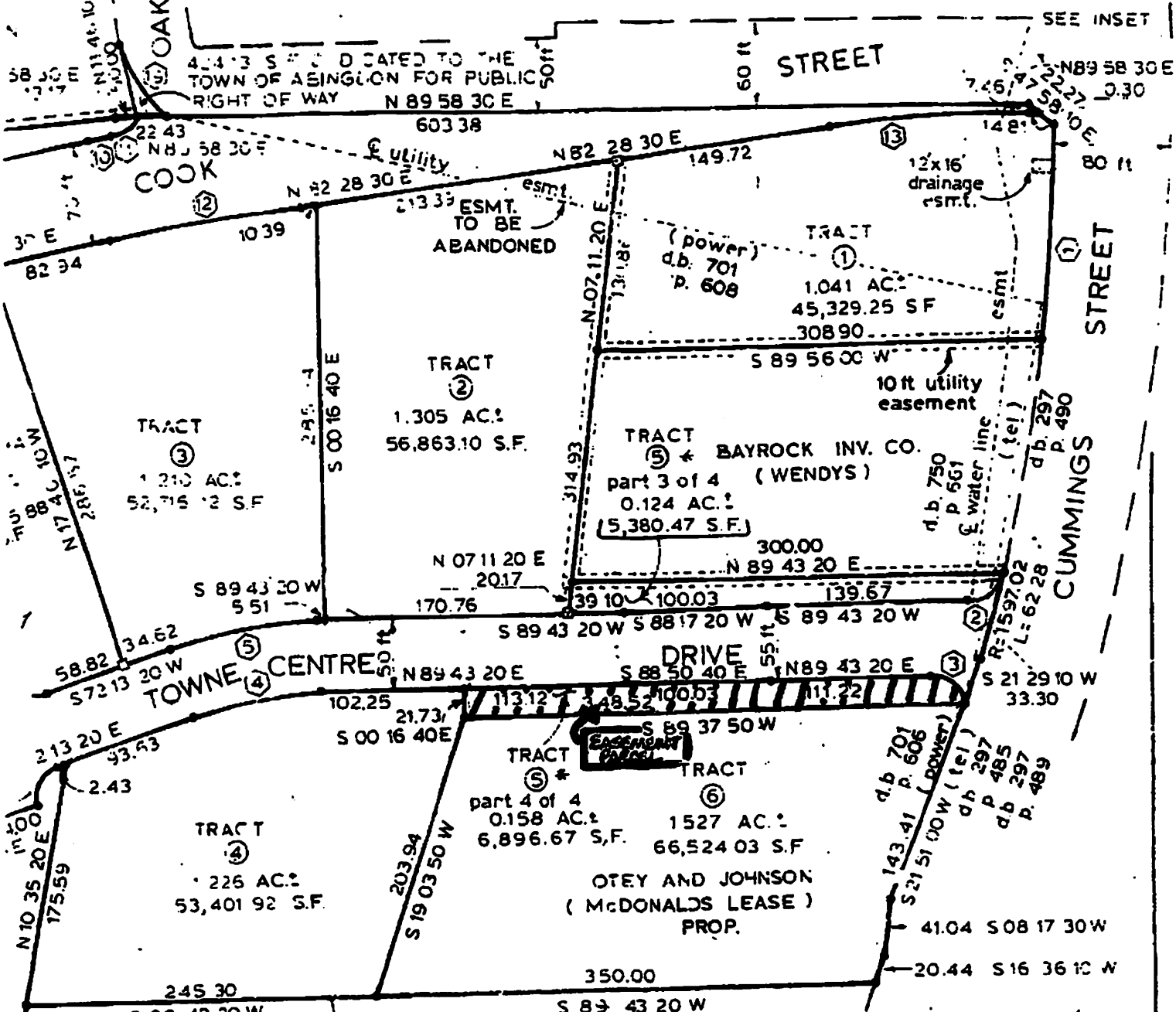


EXHIBIT B

FINAL APPROVAL DATA

TR: CITIES PROP.

"I hereby certify that the foregoing plat, to the best of my knowledge and belief, is correct and complies with the relevant procedures and regulations and that I am a duly qualified surveyor."

JRN CHICKEN STORES INC

8 9 0 8 0 3 2 3 3 0 2

BOOK 778 PAGE 59

EXHIBIT "C"

Plat of record in Plat Book 23, Page 219, in the Office of the Circuit Court Clerk of Washington County, Virginia, shows the following:

1. Easement to Appalachian Power Company by instrument dated April 22, 1985, recorded in Deed Book 701, Page 608, in the aforesaid records.
2. Water Line Easement to Washington County Service Authority by instrument dated March 8, 1984, recorded October 19, 1987, in Deed Book 750, Page 661, in the aforesaid records.
3. Easement to Appalachian Power Company by instrument dated April 5, 1985, recorded in Deed Book 701, Page 606, in the aforesaid records.
4. Easement to Intermountain Telephone Company by instrument dated August 31, 1956, recorded in Deed Book 297, Page 485, in the aforesaid records.
5. Easement to Intermountain Telephone Company by instrument dated August 31, 1956, recorded in Deed Book 297, Page 489, in the aforesaid records.

Q1W2A058/JMH

Virginia: County of Washington, to-wit:

In the Clerk's Office of the Circuit Court of the County and State aforesaid, the 20th day of April, 1984 at 11:02 o'clock A.M., the foregoing writing presented and admitted to record and together with the certificate of acknowledgment recited "Taxes imposed by § 58.1 - 802 of the Code have been paid. \$ "

Teste: Mary M. Cremo Deputy Clerk



NOTICE OF MEETING
for the
Town of Abingdon Planning Commission

A request for modifications to a property located at within the Town of Abingdon has been filed with the Town of Abingdon's Planning Commission. The request is described below:

Location: **525 Cummings Street**

Proposal: **Exterior renovation of existing McDonald's**

Applicant: **McDonald's USA, LLC**

Applicant's Contact: **Britt, Peters & Associates, Inc. (864) 271-8869**

You are receiving this notice because public records indicate that you own property near or adjacent to the property listed in this request, which has been scheduled for a hearing before the Planning Commission. Recipients of this notice may wish to share it with their neighbors whose property is nearby the above noted location.

The purpose of the meeting is to allow citizens to comment regarding potential impacts the proposed changes would have on their properties or on the area in general, and to identify issues or concerns related to the appropriateness of the request. The meeting is not the appropriate setting to learn about a proposal for the first time. It is difficult to gain understanding of a proposal and offer well thought out comments during the relatively short time of the meeting.

If you would like more information about this request, you could contact the Town of Abingdon Planning Department at (276) 628-3167 prior to the meeting. You may also contact the applicant's contact person listed above.

PLANNING COMMISSION MEETING

MEETING DATE: April 22, 2019 TIME: 5:30 PM

LOCATION: Town of Abingdon Town Hall, 133 W. Main St., Arthur Campbell Room – 1st Floor

The meeting facilities of the Town of Abingdon are accessible to people with disabilities. Anyone needing special accommodations should call 276-628-3167.

NAME	ADDRESS	CITY	ST	ZIP
RATLIFF DOUGLAS R	2506 SOUTH FRONT ST	RICHLANDS	VA	24641
TANG KAI & ZHU YAN YUN	285 BOGEY DR	ABINGDON	VA	24211
RATLIFF DOUGLAS R	2506 SOUTH FRONT ST	RICHLANDS	VA	24641
SHRI SAI HOSPITALITY INC	298 TOWNE CENTER DR	ABINGDON	VA	24210
STORE MASTER FUNDING VII LLC	3017 BEAUFORT ST	MURFREESBORO	TN	37127
BAKSHI KIRAN	22 MCCORMICK CT	JOHNSON CITY	TN	37604
RASH & ASSOC #741 46 41082	P O BOX 4349	ANAHEIM	CA	92803
GRUNDY NATIONAL BANK	P O BOX 2080	GRUNDY	VA	24614
CASSON APARTMENTS II LLC & BENTLEY	1420 ROCKY RIDGE DR STE 100	ROSEVILLE	CA	95661

Abingdon, Virginia



IMPORTANT NOTE:

The complete application along with \$50.00 administrative fee must be filed with the Town of Abingdon's Office of Planning & Zoning no later than the Second Tuesday of the month to be heard at that month's Planning Commission meeting. Applications received after the Second Tuesday of the month will be heard at the following month's meeting. If an application is not **complete**, it will not be included on the meeting agenda. To avoid delays, it is recommended that applicants meet with staff **before the deadline** to review the COA application.

APPLICATION FOR ENTRANCE CORRIDOR, CERTIFICATE OF APPROPRIATENESS Town of Abingdon, Virginia

Town of Abingdon Planning Commission
133 East Main Street • Abingdon, VA 24212
Phone: (276) 628-3167 • Fax: (276) 698-3412

Location of Property	The Meadows Development - Lot 10	Zoning District	B2
Business Name	Pal's Sudden Service	Tax Map No:	Parcel 10 - Meadows Subdivision

Applicant/Property Owner Name (PRINT) Thom Crosby, CroBar LLC	Representative Agent(s) Name Steven K Hutton
Signature <i>Thom Crosby</i>	Firm Steven K Hutton and Associates, PC
Mailing Address 1001 Konnarock Road	Mailing Address 245 East New Street, Suite 201
City Kingsport	City Kingsport
State/Zip Tennessee 37664	State/Zip Tennessee 37660
Phone/Fax Number: 423 557-8755	Phone/Fax Number: 423 378-5592
Email: Thom@Palsweb.com	Email: steve@huttonarchitect.com

(Check the Appropriate Boxes - Check all that Apply)

<input type="checkbox"/>	Exterior Change	<input type="checkbox"/>	Addition	<input type="checkbox"/>	Relocation
<input type="checkbox"/>	Wall/Fence	<input type="checkbox"/>	Deck/Porch	<input type="checkbox"/>	Demolition
<input type="checkbox"/>	Driveway/Parking Area	<input checked="" type="checkbox"/>	New Structure/Building	<input type="checkbox"/>	Grounds/Landscaping
<input type="checkbox"/>	Dumpster/HVAC Screen, etc.	<input type="checkbox"/>	Other _____	<input type="checkbox"/>	Other _____

The above named person(s)/firm has permission to represent me regarding this request for site plan and architectural review. I understand that I or my representative agent(s) must be present at the Planning Commission Meeting on the date assigned by staff, typically the 4th Monday of the month, to present my proposal and that failure to attend may result in the denial of my proposal by the Commission due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before receiving a Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modifications to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from the date of approval. I hereby authorize town staff and/or members of the Planning Commission the right to enter onto my property during normal business hours for the purposes of investigating my request for a Certificate of Appropriateness. I further authorize Town staff to notify any adjoining property owners of this application for Certificate of Appropriateness.

Signed

Thom Crosby

Date 5-6-2019

PLEASE READ:

Applicants are encouraged to submit complete applications with sufficient information to enable a clear understanding of the proposal by Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations or changes will result in delays. Planning Department staff will periodically inspect properties for compliance with the COA. Failure to comply may also result in delays in the issuance of a Certificate of Occupancy, fines, or other enforcement actions.

FULL DESCRIPTION OF PROPOSAL:

Site Plan and Exterior of the proposed Pals Sudden Service facility as indicated on the submitted drawings.

REQUIRED INFORMATION TO BE SUBMITTED WITH APPLICATION:

Each item submitted is to be INITIALED by the applicant. If you are not submitting any of the requested information, please indicate not applicable and explain in the space provided why it is not necessary for this project.

Sketch, drawing and/or elevations showing the proposed changes or improvements

Site plan or plat of property

Photographs showing property, work in question, and the area of the proposed project

A list of materials that identifies the type and quality of materials to be used in the Proposed Project

Other (please list)

\$50.00 application fee

Applicants may refer to typical submissions kept at the Department of Planning and Zoning of the Town of Abingdon, on the Lower floor of Town Hall, located at 133 East Main Street for illustrations of how to present the required information.

To be Completed by Planning Department Staff (*please Initial*)

COA application has been reviewed and deemed to be complete.

List of adjoining property owners notified of this COA application has been attached to this application.

An administrative fee of \$50.00 is attached with this application

All modifications requiring further review: \$25.00

Code: 011/Budget line item: 100-3-13-030-0400

TOWN OF BURLINGTON

05/07/19 16:36 MISCELLANEOUS PERMIT

PAV'S SUDGEN SERVICE
THE MEADOWS DEVELOPMENT

batch Id: COUNTERB
Ref Num: 33679 Seq: 69 to 69

Cash Amount:	50.00
Check Amount:	0.00
Credit Amount:	0.00
<hr/>	
Total:	50.00

PRELIMINARY
NOT FOR
CONSTRUCTION

Steven K.
HUTTON
& Associates, PC
Architects, Engineers, Planners
10000 W. 11th Street, Suite 100
Denver, CO 80231-2700 • Tel: 303.751.9400



BUILDING ELEVATIONS



NEW PAL'S SUDDEN SERVICE
RESTAURANT
ABINGDON, VIRGINIA

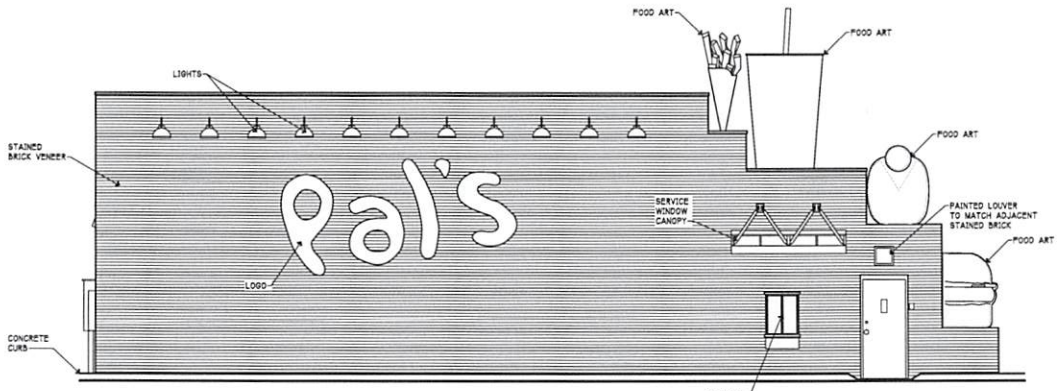
Revisions:

Date:
5/3/2019

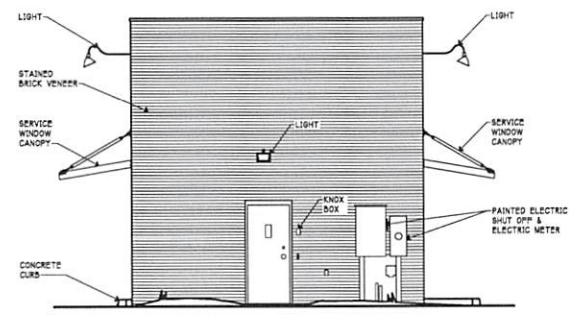
Project Number:
21908

Sheet Number:

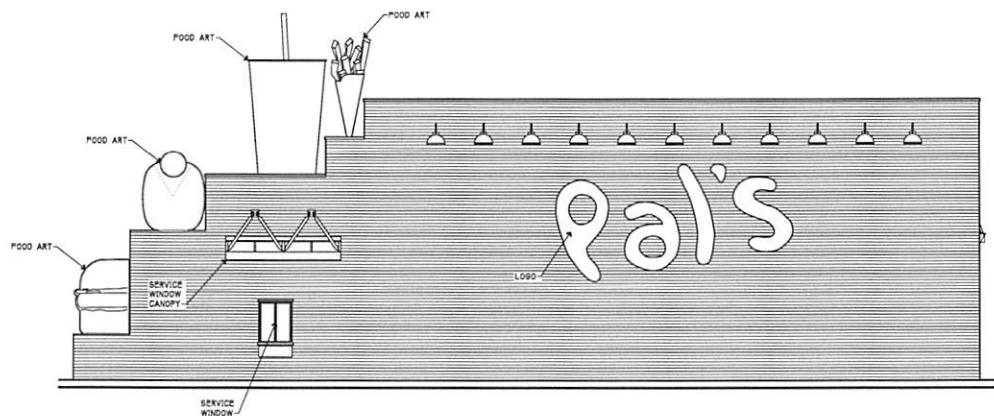
A201



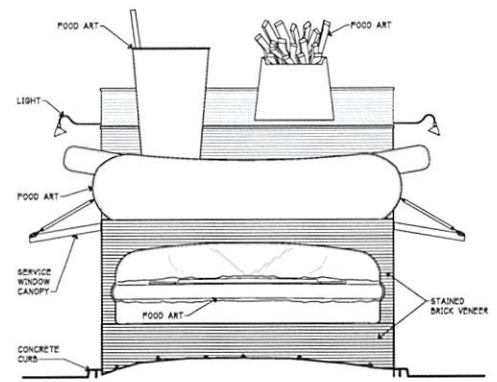
LEFT ELEVATION
SCALE: 1/4"=1'-0"



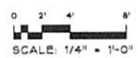
REAR ELEVATION
SCALE: 1/4"=1'-0"



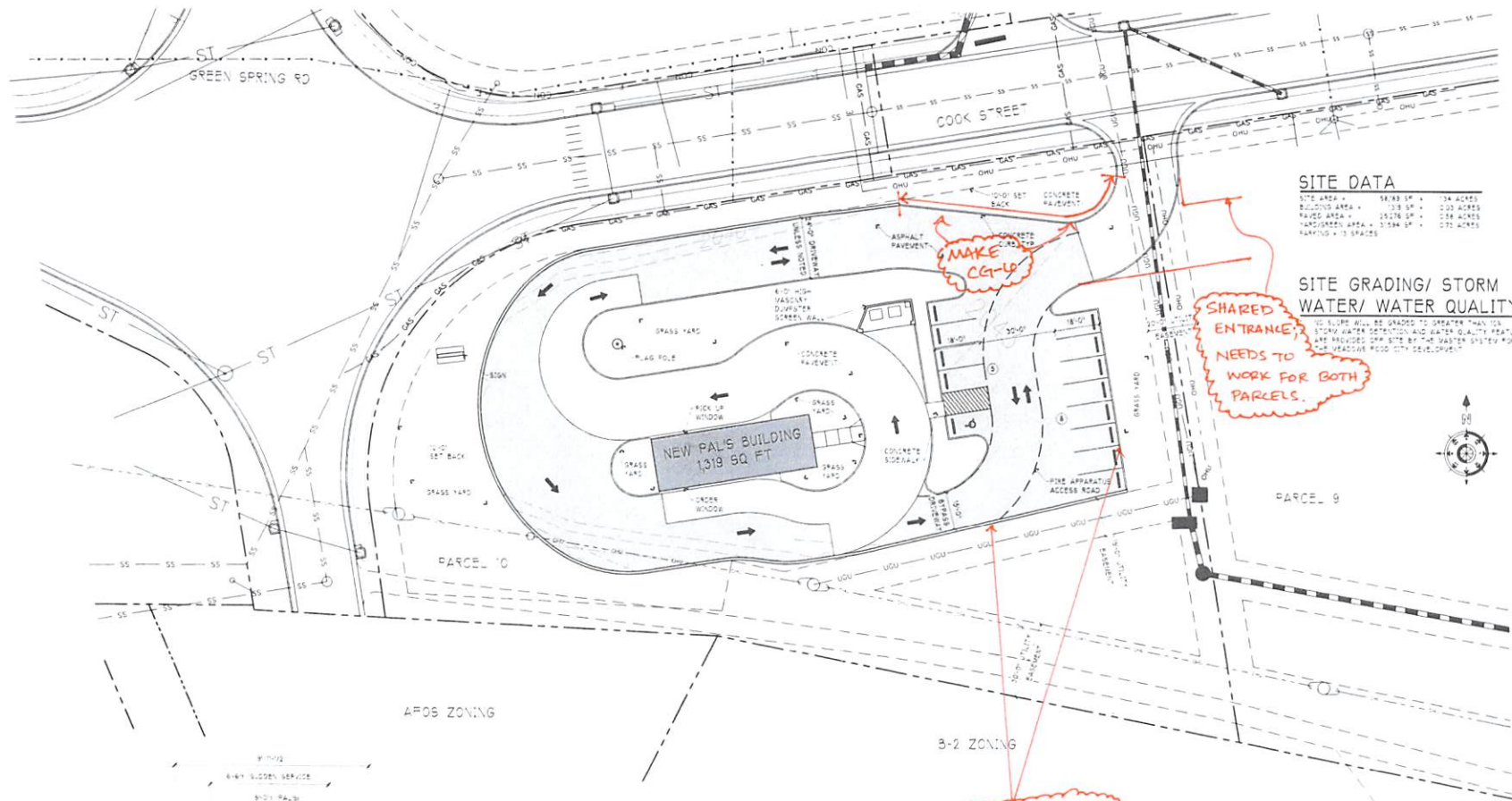
RIGHT ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

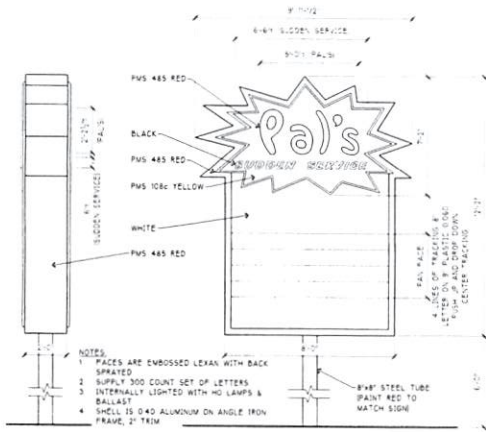






SITE PLAN
SCALE: 1/8"=1'-0"

PER SECTION C. MONUMENT SIGNS
 SHALL NOT EXCEED TEN FEET IN HEIGHT
 SHALL NOT EXCEED EIGHT FEET IN WIDTH





NOTICE OF MEETING
for the
Town of Abingdon Planning Commission

A request for modifications to a property located at within the Historic District Entrance Corridor Overlay has been filed with the Town of Abingdon's Planning Commission. The request is described below:

Location: **Meadows Parcel 10**

Proposal: **Construction of a new Pal's Sudden Service Restaurant**

Applicant: **Thom Crosby, CroBar LLC**

Applicant's Contact: **Steven K. Hutton and Associates, PC (423) 378-5592**

You are receiving this notice because public records indicate that you own property near or adjacent to the property listed in this request, which has been scheduled for a hearing before the Planning Commission. Recipients of this notice may wish to share it with their neighbors whose property is nearby the above noted location.

The purpose of the meeting is to allow citizens to comment regarding potential impacts the proposed changes would have on their properties or on the area in general, and to identify issues or concerns related to the appropriateness of the request. The meeting is not the appropriate setting to learn about a proposal for the first time. It is difficult to gain understanding of a proposal and offer well thought out comments during the relatively short time of the meeting.

If you would like more information about this request, you could contact the Town of Abingdon Planning Department at (276) 628-3167 prior to the meeting. You may also contact the applicant's contact person listed above.

PLANNING COMMISSION MEETING

MEETING DATE: May 20, 2019 TIME: 5:30 PM

LOCATION: Town of Abingdon Town Hall, 133 W. Main St., Arthur Campbell Room – 1st Floor

The meeting facilities of the Town of Abingdon are accessible to people with disabilities. Anyone needing special accommodations should call 276-628-3167.

W D S Y INC
P O BOX 772
SAINT PAUL, VA 24283

SIMON TERRY L & PASICK SUSANNE L
460 GREEN SPRING RD
ABINGDON, VA 24210

WRIGHT CLARENCE W JR ESTATE
456 SW 140 AVE
OCALA, FL 34481

HAGY LEWIS HAMILTON
454 GREEN SPRING RD
ABINGDON, VA 24210

SIERRA LAND LLC
24148 WALDEN RD
ABINGDON, VA 24210

THOMAS NANCY
26476 OLD SALTWORKS RD
MEADOWVIEW, VA 24361

KEOHANE MARY ELIZABETH SPIVA
478 GREEN SPRING RD
ABINGDON, VA 24210

COOK DALE
19954 BENHAMS RD
BRISTOL, VA 24202

PROCTOR WILLIAM W & BERTIE C
540 NICHOLAS ST
ABINGDON, VA 24210

PATTERSON CINDY M HOCKETT
410 GREEN SPRING RD
ABINGDON, VA 24210

HYLTON WALTER E
P O BOX 277
CASTLEWOOD, VA 24224

HARMAN NAN ARRINGTON
P O BOX 841
ABINGDON, VA 24212

GRUNDY NATIONAL BANK
P O BOX 2080
GRUNDY, VA 24614

C & C RENTALS LLC
P O BOX 367
ABINGDON, VA 24212

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