



**TOWN OF ABINGDON, VIRGINIA
PLANNING COMMISSION MEETING
MONDAY, AUGUST 27, 2018 – 5:30 P.M.
ARTHUR CAMPBELL MEETING ROOM
MUNICIPAL BUILDING**

Welcome to the Town of Abingdon, Virginia Planning Commission Regular Meeting. We appreciate your interest and we encourage public participation in our meeting. Your comments are important to our decision making process. Please note that there will be opportunities during the meeting for you to address the Commission members. The first opportunity will come if there is a public hearing on the agenda, when the Chairman declares the hearing open for comment. The second opportunity to address the Commission will come near the end of the agenda when the Chairman will inquire if anyone wishes to address the members of the Commission. Anyone addressing the Commission will approach the podium; give your first and last name and your complete physical address. Comments must be limited to three minutes.

A. WELCOME – *Wayne Austin, Chair*

B. ROLL CALL – *Jason Boswell, Interim Director of Planning*

C. APPROVAL OF MINUTES

- June 25, 2018
- July 23, 2018

D. CERTIFICATE OF APPROPRIATENESS

- 1. Application for Certificate of Appropriateness; Holiday Inn Express & Suites, Falcon Hospitality, 625 Lorretto Dr. Wytheville, VA 24382; Owner. Matthew Bundy, Bundy Architecture and Engineering, Inc.; Representative. Construction of a New Holiday Inn & Suites with parking, to be located at the Meadows.**
- 2. Application for Certificate of Appropriateness; McDonald's USA, LLC, 4601 Six Forks Rd. Suite 200, Raleigh, NC 27609; Owner. John Connelly, Britt, Peters & Associates, Inc., 101 Falls Park Drive, Suite 601, Greenville, SC 29601; Representative. Remodel of existing McDonald's restaurant to include updated building façade, new décor, new front counter and rework of existing restrooms for ADA compliance with new finishes. Located at 1105 Old Berry Drive, Abingdon, VA 24210. Currently Zoned B-2, (Tax Map No. 104C2-12-4).**

- 3. Application for Certificate of Appropriateness; Multi-Use Sports Complex, East of Green Spring Road, P.O. Box 789, Abingdon, VA 24212; Owner. Matt Bolick; Town of Abingdon; Representative.** Requesting approval of final architectural design of proposed structures. These structures were previously presented to the Planning Commission for preliminary review & comment at the June 25, 2018 meeting.

E. OLD BUSINESS/MATTERS NOT ON THE AGENDA

1. Comprehensive Plan - Update

F. ANNOUNCEMENTS

G. ADJOURNMENT

**TOWN OF ABINGDON
PLANNING COMMISSION
MONDAY, JUNE 25, 2018 – 5:30 PM
ARTHUR CAMPBELL MEETING ROOM – MUNICIPAL BUILDING**

A meeting of the Abingdon Planning Commission was held on Monday, June 25, 2018 at 5:30 pm in the Arthur Campbell Meeting Room.

A. Vice-Chairman Kenny Shuman called the meeting to Order.

B. Roll Call – Jason Boswell, Interim Director of Planning

Members Present:

Mr. James Anderson
Dr. Ramsey White
Mr. Scott Wilson
Mr. Rick Humphreys
Mr. Kenny Shuman
Mr. Tony Sullivan

Comprising a quorum of the Commission

Members Absent:

Mr. Wayne Austin, Chairman

Administrative Staff Present:

Mr. Tony Sullivan – Interim Town Manager
Mr. Jason Boswell – Interim Director of Planning

C. APPROVAL OF MINUTES

Approval of Minutes: Regular Meeting, April 23, 2018

On motion of Mr. Wilson, seconded by Mr. Anderson the minutes of April 23, 2018 were accepted as presented.

The roll call vote was as follows:

Mr. Anderson	Aye
Dr. White	Aye
Mr. Wilson	Aye
Mr. Humphreys	Aye
Mr. Shuman	Aye
Mr. Sullivan	Aye

D. PUBLIC HEARING: SPECIAL USE PERMIT

Public Hearing: Special Use Permit: Timothy & Lydia Hoke, owner, 243 Fugate Street, currently zoned R3. Request to approve plans for an addition to an existing structure in the flood hazard district. Tax Map No. 018-6-37.

Mr. Shuman opened the Public Hearing.

Mr. Hoke represented himself and asked to be able to add an addition for his family of 650 square feet to the existing property located at 243 Fugate Street.

Mr. Humphreys asked Mr. Hoke if he was ok with the revised square footage in order to give the town a water drainage easement. Mr. Hoke was in agreement.

Mr. Shuman closed the Public Hearing.

Mr. Boswell thanked Mr. Hoke and told the board that Mr. Hoke had been very gracious and patience through this lengthy process. During this process, the right-of-way had to be vacated and that the process was a very lengthy one.

Mr. Bundy's letter states that there will be less than 1% rise from the flood study. Mr. Bundy found this to be an insignificant amount and Mr. Boswell agreed with Mr. Bundy's finding.

Mr. Humphreys made a motion that the plans for the addition to the existing structure be approved by the board. A Special Use Permit should be granted.

On motion of Mr. Humphreys, Seconded by Mr. Wilson, the Planning Commission members recommended that the proposed plans for the addition to the existing structure be approved.

The roll call vote was as follows:

Mr. Anderson	Aye
Dr. White	Aye
Mr. Wilson	Aye

Mr. Humphreys	Aye
Mr. Shuman	Aye
Mr. Sullivan	Aye

E. CERTIFICATE(S) OF APPROPRIATENESS

1. Application for Certificate of Appropriateness; Beef O Brady's, 21st Century Cinema Inc. LLC, P.O. Box 2226, Abingdon, VA 24212, Owner. Expansion of the Cinemall's existing tenant space to accommodate a Beef O Brady's franchise restaurant. Three separate expansions. One will require 6 existing accessible parking spaces to be relocated. One will leave 11'-4" of sidewalk depth in front of the public entrance to the restaurant. One will be in an existing service area to the rear of the building and will not be visible from the entrance corridor. The Cinemall's existing canopy will be shortened by 34' - 6" in length. Located at **721 E. Main Street, Abingdon, VA**. Currently Zoned B-2, Tax Map No. 007-1-1

Mr. Michael Haslam, Burwill Construction Company represented Beef O Brady as their general contractor and designer. Mr. Haslam stated that the site plan shows that the project will leave an excess of 11 feet of sidewalk at the front of the property. There are 6 handicapped parking spaces that will be relocated in the front isle where there are already 2 accessible van spaces. Setbacks are adequate with frontage regulations and will have no encroachments in any way. The proposed floor plan of the entry into the building will be aesthetically pleasing from the town's entrance corridor.

Currently the handicap parking spaces have a curb filled with gravel in front. The existing crosswalk will be used for handicapped access, which means that in order to access passage you will have to go back behind the parked vehicles to get to the accessible crosswalk. This is the current way to the crosswalk.

The grade of the existing parking spaces is not 2% sloped as required. The new spaces will be the same grade as the existing spaces.

The current parking count is 289, with 30 of these being allocated for the restaurant as recommended. The board would need to know how many spaces should be allotted for the theatre and how many for the restaurant.

When patrons leave, will they have a problem when turning left onto Lee Highway?

There will be no additional sign/s placed in the front of the property at the Lee Highway entrance to the complex.

Board is requesting the Beef O Bradys to landscape the property with grass medians, trees, shrubs, etc., per the Entrance Corridor Overlay.

After going back and forth, Mr. Haslam stated that he had two different concerns from what the board discussed, 1.) the board was concerned with the parking capacity and 2.) the board wanted to decrease the parking capacity with landscaping.

Mr. Shuman summarized the discussion with 1. Information forthcoming of how many parking spaces will be needed for the theater and the restaurant, 2. Elevation of the parking spaces to match the existing spaces, 3. Issue of the parking area, if it qualifies with the requirements for the Entrance Corridor Overlay.

The board will need to see landscaping plans before they can be approved.

On motion of Mr. Humphreys, Seconded by Mr. Anderson, Planning Commission members recommended that the proposed be tabled until information can be supplied for additional parking, landscaping plan and the elevation of the handicapped parking spaces in the Entrance Corridor Overlay.

The roll call vote was as follows:

Mr. Anderson	Aye
Dr. White	Aye
Mr. Wilson	Aye
Mr. Humphreys	Aye
Mr. Shuman	Aye
Mr. Sullivan	Aye

Beef O Brady is requesting to place the sign on the building. It will be larger than the code stipulates, being 137 square feet, and will need to have a waiver from the board to permit this signage. They will also have to submit a drawing and scale of the sign. It was discussed that with the setback that a larger sign maybe allowed. They can work with Mr. Boswell on the size and specifications of the signage. Mr. White suggested that with the setback that the size of the sign should be fine. Mr. Humphreys suggested that a smaller sign be placed on the building and one at the front entrance.

Beef O Brady should return to the committee with information on the parking spaces, slope of parking space and design, and Landscaping design, sign design, (if not worked out with Mr. Boswell). They would need to come back and apply for a wavier/exception for the signage and parking space number.

Board agreed that the building design is good.

*** Side note: Mr. Wilson brought up the fact that the old Cinemall sign at the road needs to be removed. Someone is mowing and weed eating around the old signage. It would only take a person with a dump truck and a day to remove the old sign.

On motion of Dr. White, Seconded by Mr. Anderson, Planning Commission members recommended that the sign be allowed to be put on the building and to be larger than specified by town code.

The roll call vote was as follows:

Mr. Anderson	Aye
Dr. White	Aye
Mr. Wilson	Nay
Mr. Humphreys	Nay
Mr. Shuman	Nay
Mr. Sullivan	Aye

The vote was tied. They will have to work with Mr. Boswell and see what the code allows for a sign in the Entrance Corridor Overlay.

2. Application for Certificate of Appropriateness; First Community Bank, 29 College Drive, Bluefield VA, 24605, Owner. Exterior improvements change the windows and façade of the existing bank building. Located at **271 W. Main Street, Abingdon, VA.** Currently Zoned B-3, Tax Map No. 011-1-84.

First Community Bank did not have a representative present and the board felt that the only thing they could do was to table the COA until someone would be available to represent First Community Bank.

Mr. Humphreys made note that they were using two different period style windows but that there was nothing that the board could do about the design.

On motion of Mr. Wilson, Seconded by Mr. Humphreys, Planning Commission members recommended that the proposed be tabled due to having no representation available to answer questions from the board.

The roll call vote was as follows:

Mr. Anderson	Aye
Dr. White	Aye
Mr. Wilson	Aye
Mr. Humphreys	Aye
Mr. Shuman	Aye
Mr. Sullivan	Aye

E. DISCUSSION TOPIC:

1. **Preliminary design, Multi-Use Sports Complex:** CHA, Dave Barlow: representative.

Mr. Dave Barlow represented CHA Construction.

Orientation of the site and various components being proposed for the Sports Complex project follows.

Buildings:

1. Multi-Purpose Field – Soccer field, a little less than 200 parking spaces.
2. Baseball / Softball Field – Full size high school field specifications or full size softball field with 200 parking spaces. This type of field can be used for a Little League field, a regulations size field, etc.

Building on the site and there usages:

1. Batting Cage
2. Building J - Two- Story - Concession/Restroom/Score-Table area, Support Space/Mechanical/ Open Room on the second story will have windows facing all four fields, Façade to be Brick and wood left from the previous structure
3. Building I - One-Story - Concession/Restroom, near Soccer field with wrap around porch
4. Maintenance Building - One-Story with storage and support.

Architecture and Architectural Aspects: Presented by Thomas Weems - Architect

Basis material for all buildings will be brick and or wood, green standing seam roof, window frames made of anodized material with a masonry base that would be stained. Material left on the property from the original building will be incorporated into the design of the outside façade on the four buildings on the property.

The property will have extensive fencing, which will be made of black coated fencing to eliminate shine. The intent is to keep roadside ditches to keep the look Green. The grass on all the fields will be a natural grass, no artificial turf.

The property will have public water and sewer. The fields will have the same grade as the Creeper Trail. There will only be one entrance onto the Creeper Trail from the Sports Complex.

Mr. Humphreys mentioned having removable mounds, bases and fencing for the fields to be able to use the fields for multiple uses.

The information presented was a preliminary design as to what direction the Sports Complex is heading.

F. PUBLIC COMMENTS

1. Mr. Joe Levine of 340 and 350 Green Spring Road. Mr. Levine asked if the First Community Bank was in the Historic District, board advised him that it was not. Mr. Levine asked if the Sports Complex would have bleachers installed for the spectators. He was informed that each building would have about 100 seats with available space for field chairs and/or blankets.

2. Ms. Donna Levine of 340 and 350 Green Spring Road. Ms. Levine expressed concern about interstate noise and if the noise on the field would be harmful to the children playing. The noise created from the playing field would not interrupt the Creeper Trail as most games would be played in the evening and the Creeper Trail closes at dusk. She asked if the town would be putting in a noise barrier wall with the Exit 17 construction. This could help with the amount of noise that the children would be exposed to.

G. UPDATES FROM STAFF AND PLANNING COMMISSION MEMBERS

1. Properties belonging to Ms. Ann Hutton have been cited and if the proper actions are not taken in the set time the Town will abate the nuisance.

It appears that someone is coming in and doing work to the property. In this case, we have to give Ms. Hutton the allowed time in order to get the property up to code.

Board believes that the letter is a good first step in this process to enforce the town code. Board also believes that the enforcement of town code should remain consistent for all citizens.

Staff will report on the progress of the clean up on a monthly basis. Ms. Hutton will be instructed to fix the railing at the property located on Valley Street immediately, as it is causing a safety issue. Regardless of who owns the sidewalk the railing needs to be fixed immediately before someone is hurt and the town is held liable because they were aware of a safety issue. Should a warning sign be put up to protect the town in case of an accident? Mr. Boswell and Mr. Bolick are to come up with a way to rectify this problem by the next Planning Commission meeting on July 23, 2018.

2. Kroger Mid-Atlantic Division Office has been contacted and asked to submit a schedule of deliveries for the Abingdon Kroger facility. No response has been sent to the Town of Abingdon Planning Department.

Mr. Boswell has been in touch with Mr. Childress and has made him aware of the code violations. Mr. Childress has directed Mr. Boswell to send all future correspondences to him and he will forward the information on to the proper department.

The board feels that this is a potential safety issue and needs to be addressed.

Staff has been instructed that the Code Compliance officer should visit the Kroger Fuel parking lot and issue a citation stating that the Planning Commission terms are not being met. Code Compliance should check on the safety aspects at the property. Board would like the Code Enforcement Officer to keep an eye on the situation. The board would like an update at the next Planning Commission meeting, (July 23, 2018), to see if the Kroger Fuel Center is in compliance with the town code.

Mr. Humphreys feels that the board needs to have an Attorney present to answer legal questions in such matters. Without legal counsel, board is not sure of what authority they have in this situation.

Board wishes to see if the approved times of delivery were on a COA or granted with a Special Permit.

*** Excerpt from the letter sent May 7, 2018 to:

Kroger Mid-Atlantic Division Office
3635 Peters Creek Rd NW
Roanoke, VA 24019

Cummings Street is one of the most dangerous streets in our town and becomes very congested during the times set forth as "non-delivery times" for your fuel tankers. These were important issues in 2013 and they are even more important now. The times during which NO DELIVERIES are to take place are:

- No deliveries between: 7:00 AM – 9:00 AM daily
- No deliveries between: 11:00 AM – 1:00 PM daily
- No deliveries between: 3:00 PM – 6:00 PM daily

Dr. White left the meeting at 7:02 P.M.

Mr. Humphreys stressed the importance of the committee members getting the proper Planning Commission training.

Mr. Humphreys also handed out town pins to each member in thanks for their service on the Planning Commission, as this is his last meeting.

Mr. Humphreys inquired about the SWOT and if the practice has been suspended. This will be discussed at the next meeting.

Mr. Shuman thanked Mr. Humphreys for his service and friendship while serving

on the Planning Commission.

H. ADJOURN

On motion of Mr. Humphreys, Seconded by Mr. Wilson, recommended the meeting be adjourned with no further business to address.

The roll call vote was as follows:

Mr. Anderson	Aye
Dr. White	Aye
Mr. Wilson	Aye
Mr. Humphreys	Aye
Mr. Shuman	Aye
Mr. Sullivan	Aye

Adjourn Time: 7:05 P.M.

Wayne Austin, Chairman

Tony Sullivan, Secretary

Next regularly scheduled meeting will be July 23, 2018 at 5:30 pm in the Arthur Campbell Room, 1st floor of the Town Municipal Building.

**TOWN OF ABINGDON
PLANNING COMMISSION
MONDAY, JULY 23, 2018 – 5:30 PM
ARTHUR CAMPBELL MEETING ROOM – MUNICIPAL BUILDING**

A meeting of the Abingdon Planning Commission was held on Monday, July 23, 2018 at 5:30 pm in the Arthur Campbell Meeting Room.

A. Chairman Wayne Austin called the meeting to Order.

B. Roll Call – Jason Boswell, Interim Director of Planning

Members Present:

Dr. Ramsey White
Mr. Wayne Austin
Mr. Kenny Shuman
Mr. Scott Wilson
Mr. James Anderson
Mr. Tony Sullivan

Comprising a quorum of the Commission

Members Absent:

Mr. Al Bradley

Administrative Staff Present:

Mr. Tony Sullivan – Interim Town Manager
Mr. Jason Boswell – Interim Director of Planning
Mr. Matt Bolick - Director of Public Services and Construction
Mr. John Holbrook – Interim Chief of Police
Mrs. Janice Dornon – Administrative Assistant

C. APPROVAL OF MINUTES

Approval of Minutes: Regular Meeting, July 23, 2018

On motion of Mr. Wilson, seconded by Mr. Shuman the minutes of June 25, 2018 were accepted with corrections.

The roll call vote was as follows:

Dr. White	Aye
Mr. Austin	Abstain (wasn't present at the 6-25-18 meeting)
Mr. Shuman	Aye
Mr. Wilson	Aye
Mr. Anderson	Aye
Mr. Sullivan	Aye

D. CERTIFICATE(S) OF APPROPRIATENESS

- 1. Application for Certificate of Appropriateness; Beef O Brady's, 21st Century Cinema Inc. LLC, P.O. Box 2226, Abingdon, VA 24212, Owner.** Expansion of the Cinemall's existing tenant space to accommodate a Beef O Brady's franchise restaurant. Three separate expansions. One will require six existing accessible parking spaces to be relocated. One will leave 11'-4" of sidewalk depth in front of the public entrance to the restaurant. One will be in an existing service area to the rear of the building and will not be visible from the entrance corridor. The Cinemall's existing canopy will be shortened by 34' - 6" in length. Located at **721 E. Main Street, Abingdon, VA.** Currently Zoned B-2, Tax Map No. 007-1-1

Mr. Steve Weston represented Beef O Brady, which is located at 721 E. Main Street. He stated that he had several areas to discuss.

1. Landscaping – additional landscaping will be added to the site. The site plan lists the materials to be used. Mr. Michael Haslam said that an additional six trees would be planted in curb space in two rows of three. This design will not eliminate any parking spaces.
2. Parking – Mr. Weston asked Mr. Haslam to speak to the board about the parking spaces. Mr. Haslam said that they would be moving the six handicap spaces to the side of the building along with the two existing van handicap accessible spaces therefore creating eight van handicap accessible spaces. Having a 2% slope or less as required.
3. Signage – The proposed sign will have East & South exposure. They are only asking for one sign that can clearly be seen from the street. Sign will be affixed to the front of the building. Sign size is appropriate for building dimensions. The sign request is for a sign the same size as the one used at most of the 200 other Beef O Brady locations.

During the discussion Interim Chief of Police, Mr. John Holbrook was asked to present a report relating to vehicle crashes at the entrance/exit of the property located at 721 E. Main Street. Mr. Holbrook reported that there have been three accidents at this property since 2004. One involving a car and pedestrian and two involving other vehicles. He also included the traffic count from 2017 using the area from Tanner Street and Thomson Drive; more than 13,000 vehicles pass this entrance/exit on any given day. Mr. Sullivan asked Mr. Holbrook, being a traffic enforcement officer if making a left turn at this property deemed a problem. Mr. Holbrook stated that he did not. Mr. Holbrook did check the crash report for VDOT, which is located directly across the street. There has only been one crash since 2007 with the vehicle making a left turn.

Mr. Austin said that there is a turning lane there for this purpose.

Mr. Sullivan asked what could be done so that a patron would not have to be rescheduled until the next Planning Commission meeting, a month later. Mr. Shuman stepped in to say that at the last meeting the signage code was unsure, this is the reason that Beef O Brady is back presenting at tonight's meeting. The ordinance is not clear about a sign being mounted to a building or hanging from the building. Mr. Sullivan asked Mr. Boswell about sign regulation and Mr. Boswell stated that the code does not specifically address wall mounted signs.

Mr. Weston told the board that when the Cinemall was first opened that they only had four theaters. They now have twelve theaters meaning that they have more show times in more theaters with the new digital movies starting in 2012. Movies can be shown every hour, which spreads attendance to different show times making traffic less of a problem. Even in the early days of the theater, parking was not a problem and neither was traffic. They can use the Roses parking lot for overflow parking.

Mr. Weston also made it clear that they wished to be good neighbors and if the parking and or traffic should become a problem, they would work with the Town to find a suitable solution to that problem.

Mr. Sullivan made the comment that there are several ordinances that need to be reviewed and modified as some of the codes are not clearly stated.

Board decided that a waiver of the requirements should be granted for the number of allowed parking spaces.

On motion of Dr. White, Seconded by Mr. Anderson, Planning Commission members recommended that the COA be approved as presented.

The roll call vote was as follows:

Dr. White	Aye
Mr. Austin	Aye
Mr. Shuman	Aye
Mr. Wilson	Aye
Mr. Anderson	Aye
Mr. Sullivan	Aye

COA was unanimously approved.

On motion of Mr. Shuman, Seconded by Mr. Sullivan, the Planning Commission members recommended that a waiver of requirements should be granted for the number of allowed parking spaces required as presented by Mr. Weston.

The roll call vote was as follows:

Dr. White	Aye
Mr. Austin	Aye
Mr. Shuman	Aye
Mr. Wilson	Aye
Mr. Anderson	Aye
Mr. Sullivan	Aye

The waiver of requirements for the number of parking spaces was approved unanimously.

***Dr. White made the comment that he had counted forty vacant storefronts in the town from the Cinemall to the old Southern States building.

2. Application for Certificate of Appropriateness; First Community Bank, 29 College Drive, Bluefield VA, 24605, Owner. Exterior improvements change the windows and façade of the existing bank building. Located at **271 W. Main Street, Abingdon, VA.** Currently Zoned B-3, Tax Map No. 011-1-84.

Mr. Jim Bundy represented the property located at 271 W. Main Street. Mr. Bundy apologized for not being at the last meeting held on June 25, 2018.

Mr. Bundy verified that they would be replacing all the original windows with new replacements.

Will be changing the front door, finish will look like granite. Will enhance the back entrance door. Take down part of the drive-thru. Increase the roofline in order to shade the ATM.

Signage will be added to control traffic flow. There will be one traffic entrance on the east side. To exit you will be able to go around and go through the drive-thru, or out

through the alley. Parking will be on Main Street, at the back of the building or on the west side of the building.

There will be no entrance at the front of the building. Do not enter signs will be on the main street side of the building. Foot traffic entrance will be on the east side of the business. Patrons will be able to enter the building from the side and back entrances.

Landscaping will be on the alley side of the building. This will cut down the size of the current existing entrance.

He apologized for the confusion over the type of replacement windows as the plans have changed several times during the planning stage.

They will make the signage visible.

On motion of Dr. White, Seconded by Mr. Shuman, Planning Commission members recommended the approval of the COA as presented.

The roll call vote was as follows:

Dr. White	Aye
Mr. Austin	Aye
Mr. Shuman	Aye
Mr. Wilson	Aye
Mr. Anderson	Aye
Mr. Sullivan	Aye

COA was unanimously approved.

E. DISCUSSION TOPIC:

1. Comprehensive Plan Review – Update

Mr. Boswell told the board that it is time for a Comprehensive Plan Review Update as it has been five years since the last one was completed. The Code of VA stipulates that the Comprehensive Plan shall be reviewed or updated every five years. The last revision was completed in sections in house by the board. The Town of Abingdon has allocated \$17,000.00 from the 2018-2019 yearly budget for the Comprehensive Plan Review update and another \$17,000.00 from the 2019-2020 yearly budget to finish the update. Mr. Shuman suggested that they hire a consulting firm to review and update the plan. The update will depend on the RFP – Request for Proposal. The Plan should include directives as to how things should be developed. Town staff recommends a sectional update with the transportation plan and land use map being the focus.

F. PUBLIC COMMENTS – None

G. UPDATES FROM STAFF AND PLANNING COMMISSION MEMBERS

1. Properties belonging to Ms. Ann Hutton: staff update on progress with cleanup and a solution to the safety issue with the railing located at the Valley Street property. Mr. Boswell and Mr. Bolick are to suggest ways to rectify the safety issue.

Mr. Boswell told the board that Ms. Hutton is complying with the ordinances and is cleaning up the Valley Street property. The trees have been removed out of the front yard. The property is very much improved. The town staff will be watching the progress to see that it continues.

The safety issue of the railing will be rectified. Matt Bolick stated that he is 99% sure that the town owns the right-o-way and that this safety issue is on his list of items to have corrected during the 2018 summer season. They will revisit reconstruction of the sidewalk in a couple of years.

2. Kroger Mid-Atlantic Division: board wishes to see if the approved times of delivery were on a COA or granted with a Special Permit. Code Compliance is to keep an eye on the fueling center delivery and safety issues. The board would like an update to see if the Kroger Fuel Center is in compliance with the town code.

Kroger's has still not responded to the letter sent to them by Mr. Boswell on May 7, 2018, please see except of letter at the bottom of this update. Mr. Boswell has been in touch with Mr. Childress of Kroger. Mr. Childress said he would be in contact with the responsible personnel on this matter. The Fuel Center was approved via a COA and not a Special Use Permit. The Planning Commission granted the COA contingent on delivery hours by fuel tankers. Kroger's then appealed the Planning Commission decision to the Town Council. Mr. Shuman is not sure that Kroger's is doing as requested in the approved COA and Town Council recommendations.

Interim Chief of Police, Mr. John Holbrook gave a vehicle crash report stating that there have been four accidents in the last five years. Three were turning left, one turning right. No fuel tankers were involved in any of these incidences.

The fuel tanker deliveries are based on a computer generated automatic refill system.

Mr. Austin stated that first, Kroger's needs to respond to the letter sent on May 7, 2018. Second, recognize that their deliveries times are outside of the recommended delivery times. They should not have fuel tanker trucks on Cummings Street during peak hours.

Board agreed that they need legal representation to advise them on the direction they need to proceed in. After the board has been given legal counsel, they can proceed to present the issue to the Town Council for further direction.

Mr. Shuman advised the board of the safety issues of the parking spaces at the side of Shoney's. This is an accident waiting to happen with patrons backing up with the fuel pumps behind them and thru traffic.

*** Excerpt from the letter sent May 7, 2018 to:

Kroger Mid-Atlantic Division Office
3635 Peters Creek Rd NW
Roanoke, VA 24019

Cummings Street is one of the most dangerous streets in our town and becomes very congested during the times set forth as "non-delivery times" for your fuel tankers. These were important issues in 2013 and they are even more important now. The times during which NO DELIVERIES are to take place are:

- No deliveries between: 7:00 AM – 9:00 AM daily
- No deliveries between: 11:00 AM – 1:00 PM daily
- No deliveries between: 3:00 PM – 6:00 PM daily

***Mr. Shuman addressed the comment made previously in the meeting by Dr. White about counting forty vacant storefronts in the town. The EDA, Economic Development Authority, has surveyed the town and found multiple empty storefronts. EDA will be having a meeting on August 16th. They will be addressing this issue and working on a revitalization plan to present to the September 2018 Town Council. They are presently working with Tonya Triplett and Jayne Duehring.

Mr. Shuman said the EDA had surveyed more than a dozen businesses in town to see what is needed to help reinvigorate Main Street. More money will be used for façade renovations as well.

Dr. White said that when he was trying to open up a new business that he received the run around, being sent from place to place in order to get the permits he needed. No one saying thank you for bringing your business to town. No thank you for collecting my taxes. What can be done to streamline this process?

Mr. Sullivan wanted to know if the town government process of opening a new business is the roadblock or is it something else.

H. ADJOURN

On motion of Mr. Shuman, Seconded by Mr. Anderson, recommended the meeting be adjourned with no further business to address.

The roll call vote was as follows:

Dr. White	Aye
Mr. Austin	Aye
Mr. Shuman	Aye
Mr. Wilson	Aye
Mr. Anderson	Aye
Mr. Sullivan	Aye

Adjourn Time: 6:50 P.M.

Wayne Austin, Chairman

Tony Sullivan, Secretary

Next regularly scheduled meeting will be August 27, 2018 at 5:30 pm in the Arthur Campbell Room, 1st floor of the Town Municipal Building.

Abingdon, Virginia



IMPORTANT NOTE:

The complete application along with \$50.00 administrative fee must be filed with the Town of Abingdon's Office of Planning & Zoning no later than the Second Tuesday of the month to be heard at that month's Planning Commission meeting. Applications received after the Second Tuesday of the month will be heard at the following month's meeting. If an application is not **complete**, it will not be included on the meeting agenda. To avoid delays, it is recommended that applicants meet with staff **before the deadline** to review the COA application.

APPLICATION FOR ENTRANCE CORRIDOR, CERTIFICATE OF APPROPRIATENESS Town of Abingdon, Virginia

Town of Abingdon Planning Commission
133 East Main Street • Abingdon, VA 24212
Phone: (276) 628-3167 • Fax: (276) 698-3412

Location of Property	MEADOWS LOT 9	Zoning District	BUSINESS
Business Name	HOLIDAY INN EXPRESS & SUITES	Tax Map No:	

Applicant/Property Owner Name (PRINT)	FALCON HOSPITALITY LLC	Representative Agent(s) Name	MATT BUNDY
Signature		Firm	MATTHEW BUNDY
Mailing Address	625 LORRETTO DR	Mailing Address	190 E MAIN ST, 2ND FLOOR
City	WYTHEVILLE	City	ABINGDON
State/Zip	VA 24382	State/Zip	VA 24210
Phone/Fax Number:	276-620-9393	Phone/Fax Number:	276-451-6084
Email:	NICKPATEL1975@GMAIL.COM	Email:	MBUNDY@BUNDYAE.COM

(Check the Appropriate Boxes - Check all that Apply)

<input type="checkbox"/>	Exterior Change	<input type="checkbox"/>	Addition	<input type="checkbox"/>	Relocation
<input type="checkbox"/>	Wall/Fence	<input type="checkbox"/>	Deck/Porch	<input type="checkbox"/>	Demolition
<input type="checkbox"/>	Driveway/Parking Area	<input type="checkbox"/>	New Structure/Building	<input type="checkbox"/>	Grounds/Landscaping
<input type="checkbox"/>	Dumpster/HVAC Screen, etc.	<input type="checkbox"/>	Other _____	<input type="checkbox"/>	Other _____

The above named person(s)/firm has permission to represent me regarding this request for site plan and architectural review. I understand that I or my representative agent(s) must be present at the Planning Commission Meeting on the date assigned by staff, typically the 4th Monday of the month, to present my proposal and that failure to attend may result in the denial of my proposal by the Commission due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before receiving a Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modifications to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from the date of approval. I hereby authorize town staff and/or members of the Planning Commission the right to enter onto my property during normal business hours for the purposes of investigating my request for a Certificate of Appropriateness. I further authorize Town staff to notify any adjoining property owners of this application for Certificate of Appropriateness.

Signed Date 7/11/18

PLEASE READ:

Applicants are encouraged to submit complete applications with sufficient information to enable a clear understanding of the proposal by Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations or changes will result in delays. Planning Department staff will periodically inspect properties for compliance with the COA. Failure to comply may also result in delays in the issuance of a Certificate of Occupancy, fines, or other enforcement actions.

FULL DESCRIPTION OF PROPOSAL:

HOTEL AND PARKING

REQUIRED INFORMATION TO BE SUBMITTED WITH APPLICATION:

Each item submitted is to be INITIALED by the applicant. If you are not submitting any of the requested information, please indicate not applicable and explain in the space provided why it is not necessary for this project.

Sketch, drawing and/or elevations showing the proposed changes or improvements

Site plan or plat of property

N/A Photographs showing property, work in question, and the area of the proposed project

A list of materials that identifies the type and quality of materials to be used in the Proposed Project

Other (please list)

\$50.00 application fee

Applicants may refer to typical submissions kept at the Department of Planning and Zoning of the Town of Abingdon, on the Lower floor of Town Hall, located at 133 East Main Street for illustrations of how to present the required information.

To be Completed by Planning Department Staff (please Initial)

AB COA application has been reviewed and deemed to be complete.

AB List of adjoining property owners notified of this COA application has been attached to this application.

An administrative fee of \$50.00 is attached with this application

All modifications requiring further review: \$25.00

Code: 011/Budget line item: 100-3-13-030-0400



NOTICE OF MEETING for the Town of Abingdon Planning Commission

A request for modifications to a property located at within the Historic District Entrance Corridor Overlay has been filed with the Town of Abingdon's Planning Commission. The request is described below:

Location: **Meadows Lot 9**

Proposal: **Construction of a new Holiday Inn Express and Suites**

Applicant: **Falcon Hospitality LLC**

Applicant's Contact: **Matthew Bundy, Bundy Architecture and Engineering INC. (276) 451-6084**

You are receiving this notice because public records indicate that you own property near or adjacent to the property listed in this request, which has been scheduled for a hearing before the Planning Commission. Recipients of this notice may wish to share it with their neighbors whose property is nearby the above noted location.

The purpose of the meeting is to allow citizens to comment regarding potential impacts the proposed changes would have on their properties or on the area in general, and to identify issues or concerns related to the appropriateness of the request. The meeting is not the appropriate setting to learn about a proposal for the first time. It is difficult to gain understanding of a proposal and offer well thought out comments during the relatively short time of the meeting.

If you would like more information about this request, you could contact the Town of Abingdon Planning Department at (276) 628-3167 prior to the meeting. You may also contact the applicant's contact person listed above.

PLANNING COMMISSION MEETING

MEETING DATE: August 27, 2018 TIME: 5:30 PM

LOCATION: Town of Abingdon Town Hall, 133 W. Main St., Arthur Campbell Room – 1st Floor

The meeting facilities of the Town of Abingdon are accessible to people with disabilities. Anyone needing special accommodations should call 276-628-3167.

W D S Y INC
P O BOX 772
SAINT PAUL, VA 24283

SIMON, TERRY L & PASICK
SUSANNE L
460 GREEN SPRING RD
ABINGDON, VA 24210

WRIGHT, CLARENCE W JR ESTATE
456 SW 140 AVE
OCALA, FL 34481

HAGY, LEWIS HAMILTON
454 GREEN SPRING RD
ABINGDON, VA 24210

SIERRA LAND LLC
24148 WALDEN RD
ABINGDON, VA 24210

WRIGHT, CLARENCE W JR ESTATE
456 SW 140 AVE
OCALA, FL 34481

PATTERSON, CINDY M HOCKETT
410 GREEN SPRING RD
ABINGDON, VA 24210

THOMAS, NANCY
26476 OLD SALTWORKS RD
MEADOWVIEW, VA 24361

HYLTON, WALTER E
P O BOX 277
CASTLEWOOD, VA 24224

KEOHANE, MARY ELIZABETH
SPIVA
478 GREEN SPRING RD
ABINGDON, VA 24210

HARMAN, NAN ARRINGTON
P O BOX 841
ABINGDON, VA 24212

COOK, DALE
19954 BENHAMS RD
BRISTOL, VA 24202

GRUNDY NATIONAL BANK
P O BOX 2080
GRUNDY, VA 24614

PROCTOR, WILLIAM W & BERTIE C
540 NICHOLAS ST
ABINGDON, VA 24210

C & C RENTALS LLC
P O BOX 367
ABINGDON, VA 24212

BUNDY ARCHITECTURE & ENGINEERING

PO BOX 649
ABINGDON, VA 24212
PH 278-628-1067

7/10/2018

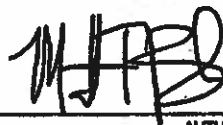
PAY TO THE ORDER OF **Town of Abingdon**

\$ **50.00

Fifty and 00/100

DOLLARS

MEMO
holiday inn express



AUTHORIZED SIGNATURE

⑈005553⑈ ⑆051404914⑆ 001037969⑈

BUNDY ARCHITECTURE & ENGINEERING

5553

Town of Abingdon

7/10/2018

50.00

HUB holiday inn express

50.00

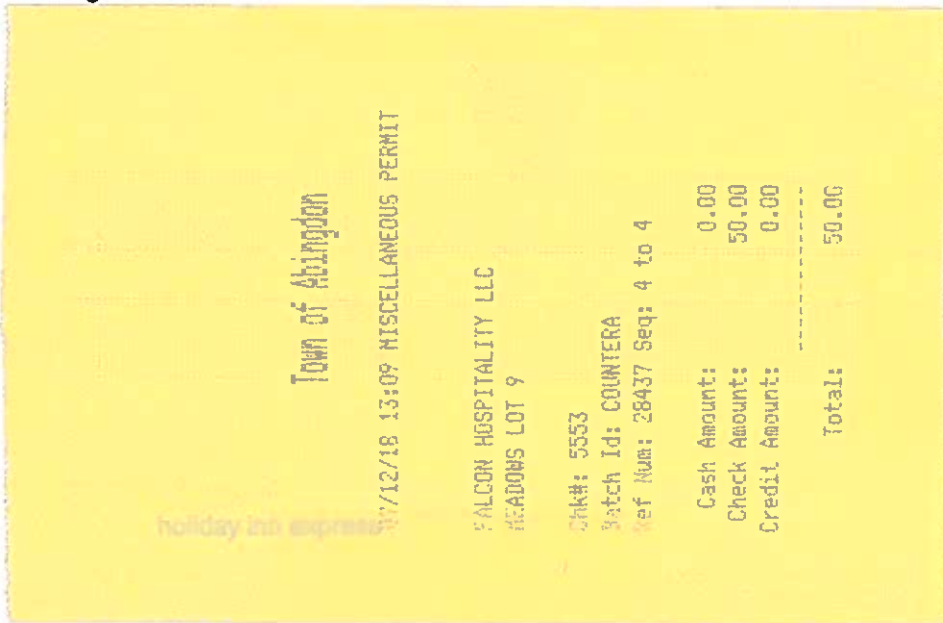
BUNDY ARCHITECTURE & ENGINEERING

5553

Town of Abingdon

7/10/2018

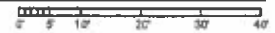
50.00



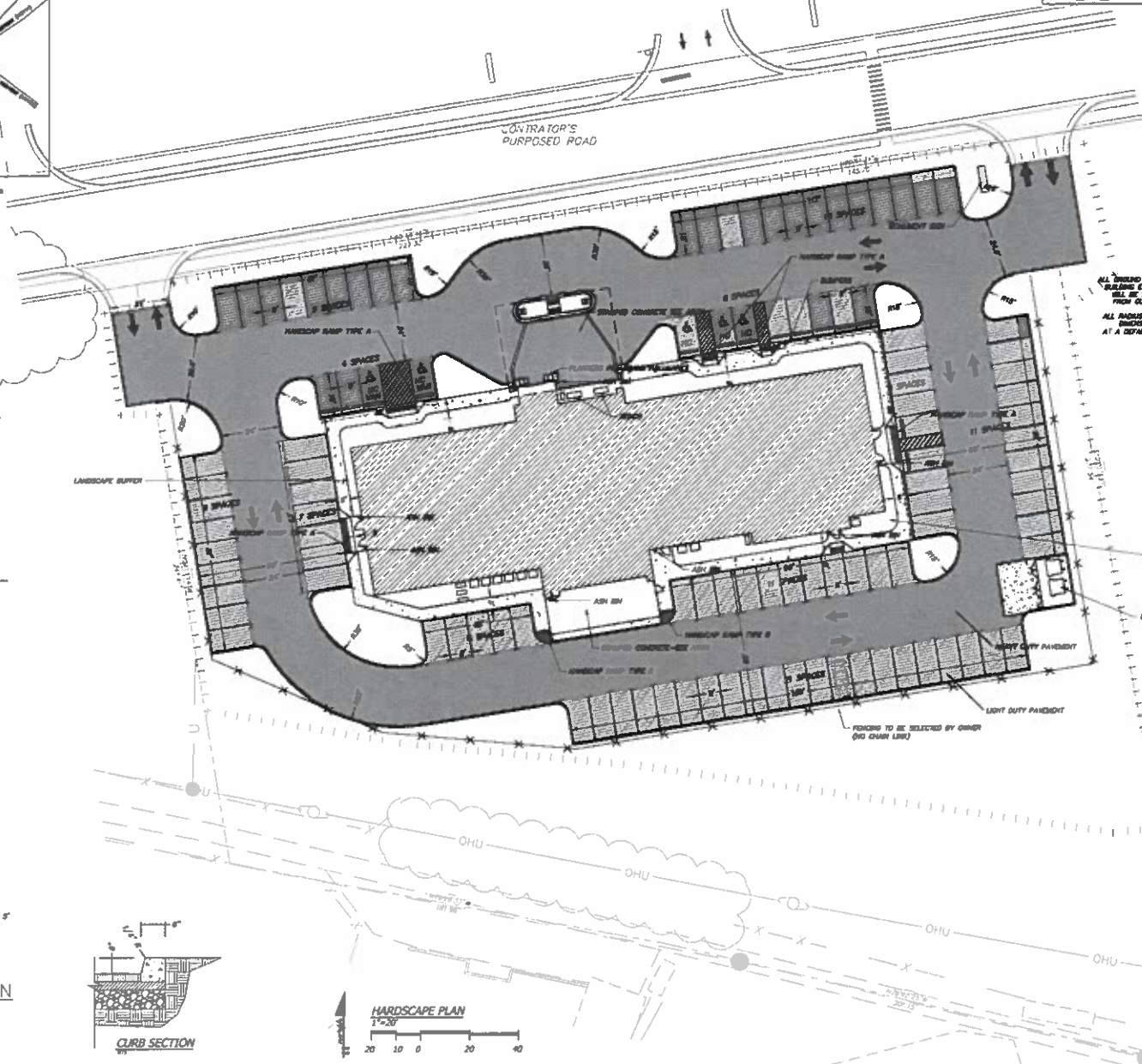
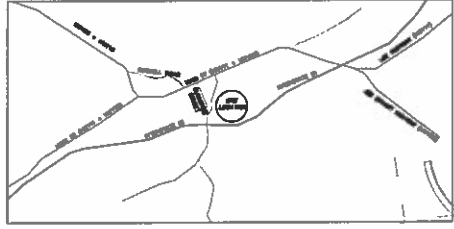
HUB holiday inn express 50.00



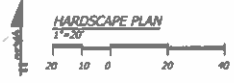
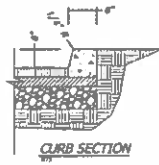
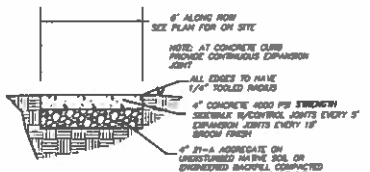
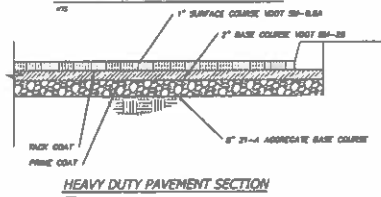
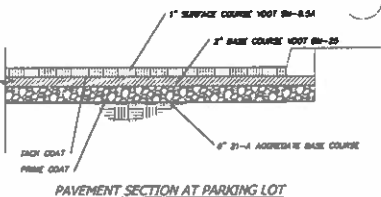
FRONT ELEVATION



SITE SUMMARY:
 PARKING RATE: 1 SPACE PER ROOM,
 BY ROOMS-61 SPACES
 PARKING PROVIDED: 107 SPACES
 2 NC REQUIRED



ALL OTHER RELATED
 PAVING EQUIPMENT
 WILL BE SUPPLIED
 FROM GUEST RENT
 ALL RADIIUS WITHOUT
 DIMENSIONS ARE
 AT A DEFAULT OF 5'



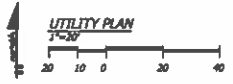
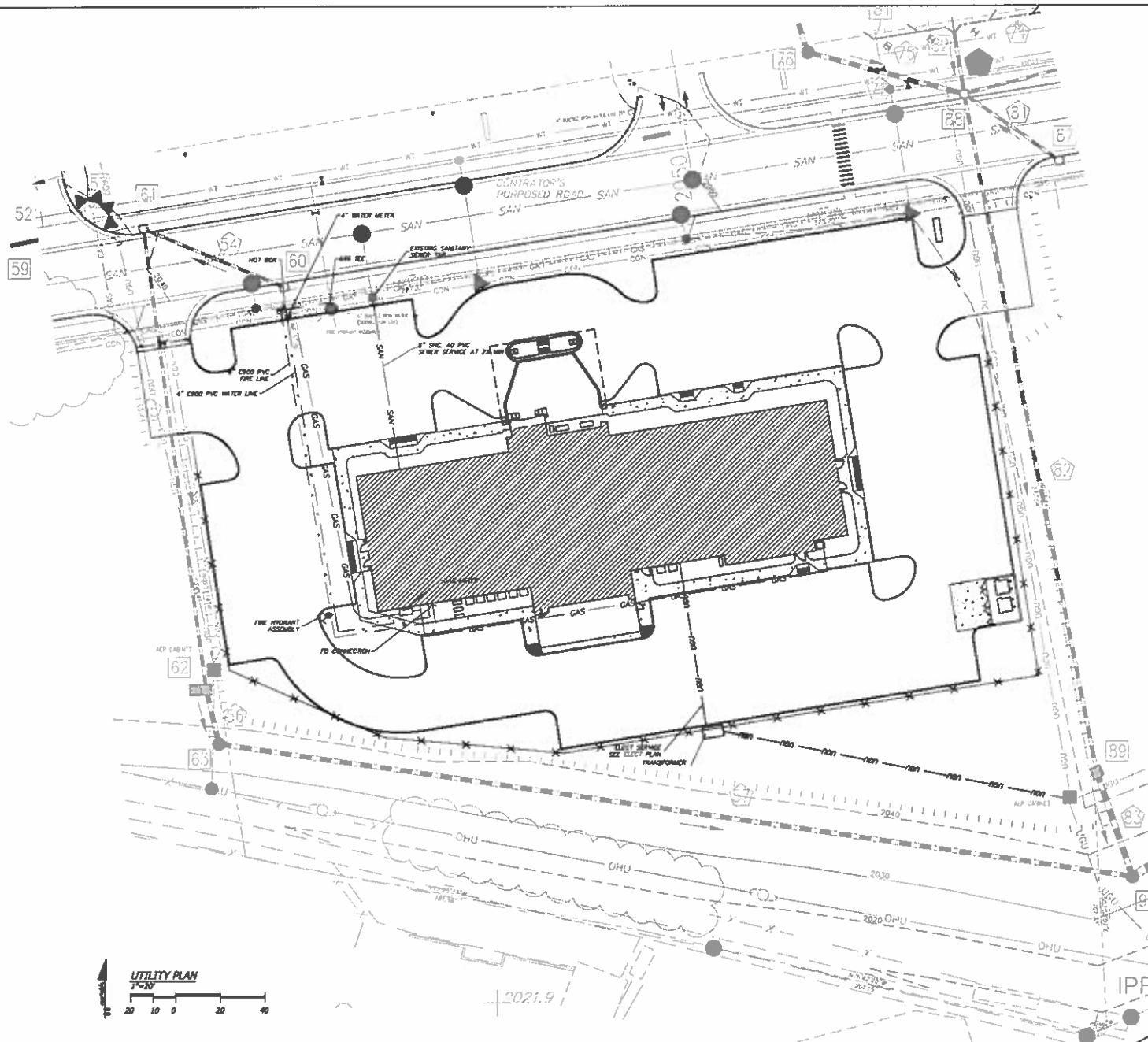
BURROUGHS
ARCHITECTURE &
ENGINEERING, INC.
 1501 E. MAIN STREET 2ND FLOOR ABINGDON VA 24210
 541-628-1047



HOLIDAY INN EXPRESS
ABINGDON VIRGINIA

Date	Description
1/18/16	
REVISED	5/25/16

INT. NO. **C1**



DATE	REV	DESCRIPTION

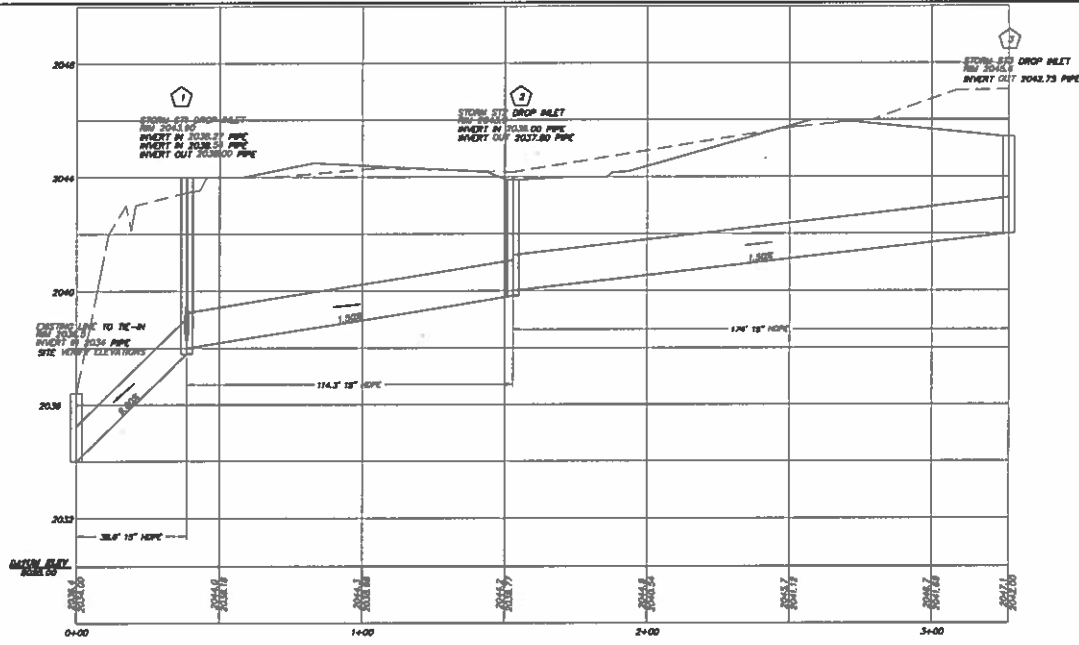
SUNBY
ARCHITECTURE & ENGINEERING, INC.
 1201 L. LEVEL STREET 2ND FLOOR ABINGDON VA 24210
 540-835-1000
 www.sunby.com



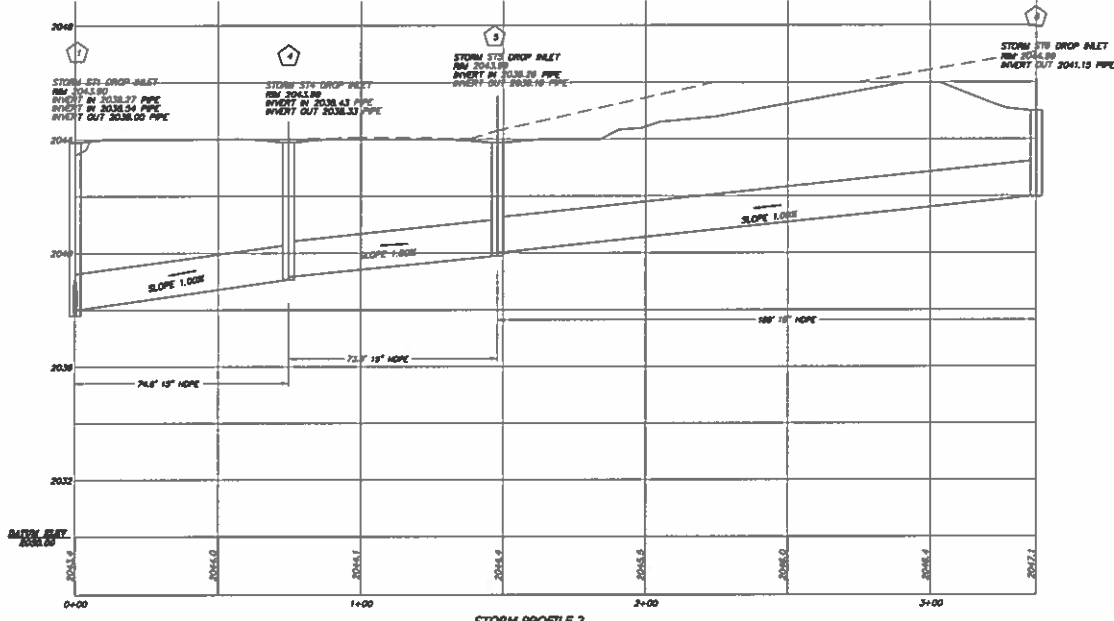
HOLIDAY INN EXPRESS
ABINGDON VIRGINIA

DATE	REV	DESCRIPTION

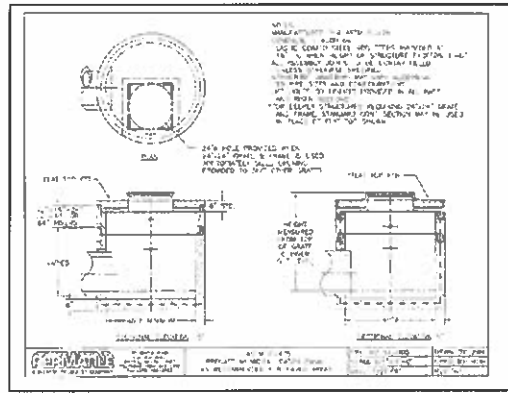
IPF
CS



STORM PROFILE 1
SCALE: 1"=20' HORIZ 1"=2' VERT



STORM PROFILE 2
SCALE: 1"=20' HORIZ 1"=2' VERT



DATE	BY	CHKD

BURDICK
ARCHITECTURE &
ENGINEERING, INC.
 310 E. MAIN STREET 2ND FLOOR ARLINGTON VA 22210
 703-435-1897



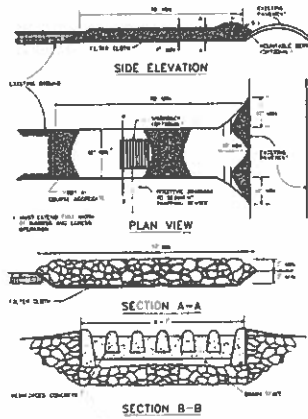
HOLIDAY INN EXPRESS
ABINGDON VIRGINIA

NO.	DATE	DESCRIPTION

C4

1992 3.02

STONE CONSTRUCTION ENTRANCE

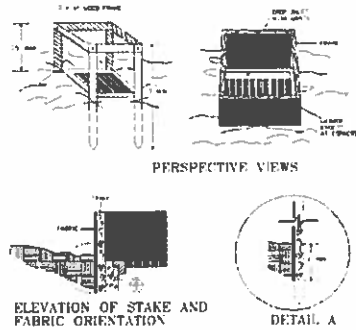


Source: Adapted from 1980 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1

III - 9

1992 3.07

SILT FENCE DROP INLET PROTECTION

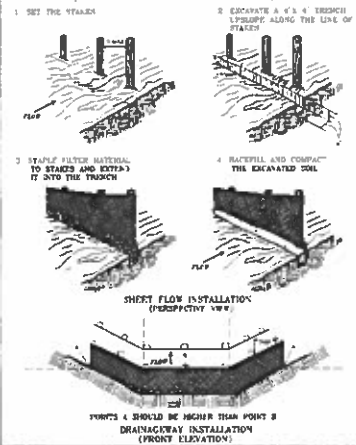


SPECIFIC APPLICATION
 THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 4%) WHERE THE ONLY INLET OR AVOIDANCE POINT (NOT EXCEEDING 1' C.F.A.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO DRAINS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIAN.
 Source: N.C. Erosion and Sediment Control Planning and Design Manual, 1989 Plate 3.07-1

III - 35

1992 3.05

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

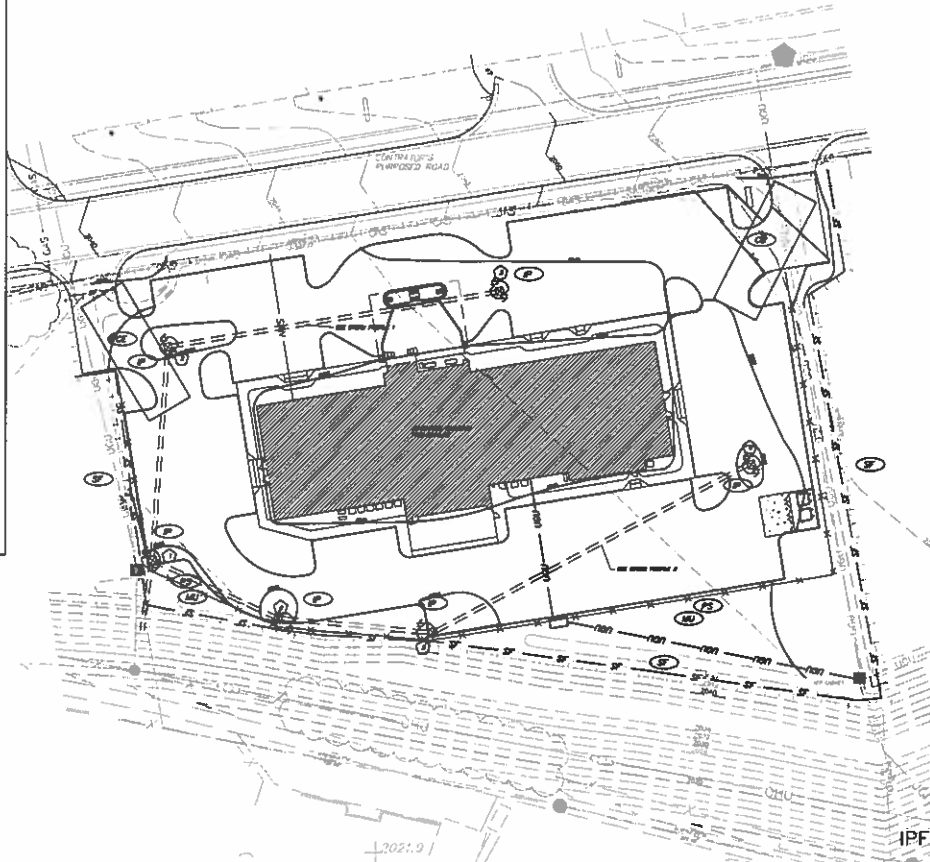


Source: Adapted from Installation of Silt and Fabric Filter Basins for Sediment Control, Sherwood and Wynn Plate 3.05-2

III - 25

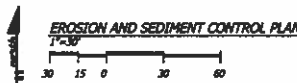
E AND S NOTES

MS 1. PROVIDE TEMPORARY STABILIZATION (STD 3.31) WITHIN SEVEN DAYS ON ALL DENuded AREAS TO REMAIN DORMANT LONGER THAN 14 DAYS (SEE PLAN FOR MD). PROVIDE PERMANENT STABILIZATION (STD. 3.32) TO ALL DENuded AREAS THAT ARE LEFT DORMANT FOR MORE THAN ONE YEAR, OR WITHIN SEVEN DAYS AFTER REACHING FINAL GRADE AND SLOSH (STD. 3.33).
 MS 2. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTRINSICALLY TRANSPORTED FROM THE PROJECT SITE. OFFSITE BORROW AREA WILL REQUIRE EAS PLAN AND DED PERMIT.
 MS 3. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENuded AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT STABILIZATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE, AND WILL RESIST EROSION.
 MS-5 PROVIDE TEMPORARY STABILIZATION TO ALL EARTHEN STRUCTURES SUCH AS DAMS, DICES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
 MS 7. PERMANENT CUT AND FILL SLOPES SHALL NOT EXCEED 1.5:1 SLOPE. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZATION MEASURES UNTIL THE PROBLEM IS CORRECTED.
 MS 18. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 15 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
 CLEANING OUT SEDIMENT CONTROL MEASURES:
 AFTER STORM EVENTS AND ONCE PEAK STORAGE VOLUMES ARE REDUCED BY SOIL WITH SEDIMENT THE MEASURES SHALL BE CLEANED OUT. SEDIMENT SHALL BE EXCAVATED AND DEPOSITED UPSTREAM OF SEDIMENT CONTROL DEVICES. THE SEDIMENT SHALL BE PLACED SUCH THAT IT MAY DRY OUT AND UTILIZED IN FILL AREAS OUTSIDE OF STRUCTURE FOOTPRINTS SUCH AS PAVING, FOOTINGS, CONCRETE, ETC.
 PERMITTEE RESPONSIBLE FOR IMPLEMENTATION:
 THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
 ANY PORTIONS OF THE PROPERTY SOLD PRIOR TO THE COMPLETION OF CONSTRUCTION SHALL HAVE STORMWATER DIRECTED INTO OPERATIONAL CONTROLS SHOWN ON THIS PLAN OR SHALL SUPPLEMENT EROSION AND SEDIMENT CONTROL MEASURES ON THE SOLD PROPERTY TO PREVENT EROSION OR SEDIMENT FROM LEAVING THE PROPERTY.



E AND S LEGEND

- CE CONSTRUCTION ENTRANCE
- SF SILT FENCING 5' — 5'
- MF MUDCH
- PI INLET PROTECTION
- PS PERMANENT SEED



BERNARDI ARCHITECTURE & ENGINEERING, INC.
 1311 L. H. HALL STREET, 2ND FLOOR, HARRISON VA 24540
 703-535-1007
 www.bernardi.com

HOLIDAY INN EXPRESS
ABINGDON VIRGINIA

SHEET NO. **C5**

CG-12 DETECTABLE WARNING SURFACE (GENERAL NOTES)

NOTE: Installation of curb ramps should be in accordance with the 2008 International Building Code (IBC) and the 2008 International Accessibility Guidelines for Buildings and Facilities (AGB) as published by the International Building Code Council (IBCC). The curb ramp should be installed in accordance with the 2008 IBC and the 2008 AGB.

GENERAL NOTES:

1. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
2. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
3. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
4. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
5. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
6. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
7. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
8. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
9. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.
10. THE DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL CURB RAMP SURFACES AS SHOWN ON THIS SHEET AND SHALL BE CONFORMANT WITH THE 2008 IBC AND THE 2008 AGB.

DETECTABLE WARNING INSTALLED ON A RADIUS

TRUNCATED DOME DETAIL

DETECTABLE WARNING DETAIL

VOOT

MANUFACTURED BY: VICTOR

MODEL: 1/8" x 1/8" x 1/8" (3/16")

SIZE: 24" x 24"

CG-12 DETECTABLE WARNING SURFACE (GENERAL NOTES)

MANUFACTURED BY: VICTOR

MODEL: 1/8" x 1/8" x 1/8" (3/16")

SIZE: 24" x 24"

CG-12 DETECTABLE WARNING SURFACE (GENERAL NOTES)

NOTE: Installation of curb ramps should be in accordance with the 2008 International Building Code (IBC) and the 2008 International Accessibility Guidelines for Buildings and Facilities (AGB) as published by the International Building Code Council (IBCC). The curb ramp should be installed in accordance with the 2008 IBC and the 2008 AGB.

RIGID PAVEMENT

FLEXIBLE PAVEMENT

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
2	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
3	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
4	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
5	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
6	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
7	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
8	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
9	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.
10	CG-12 DETECTABLE WARNING SURFACE		SQ. YD.

VOOT

MANUFACTURED BY: VICTOR

MODEL: 1/8" x 1/8" x 1/8" (3/16")

SIZE: 24" x 24"

CG-12 DETECTABLE WARNING SURFACE TYPE A (PERPENDICULAR) APPLICATION

TYPICAL DESIGN

SECTION A-A

SECTION B-B

TYPE A WITH BUFFER STRIP

TYPICAL PLACEMENT AT INTERSECTION WITHIN CROSSWALK

TYPICAL PLACEMENT AT INTERSECTION WITHIN CROSSWALK WITH BUFFER STRIP

CROSSWALK DIAGONAL PLACEMENT

CROSSWALK DIAGONAL PLACEMENT WITH BUFFER STRIP

VOOT

MANUFACTURED BY: VICTOR

MODEL: 1/8" x 1/8" x 1/8" (3/16")

SIZE: 24" x 24"

BA ARCHITECTURE & ENGINEERING, INC.

100 E. MAIN STREET 2ND FLOOR ARLINGTON VA 22201

703-433-1007

HOLIDAY INN EXPRESS

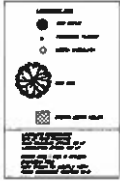
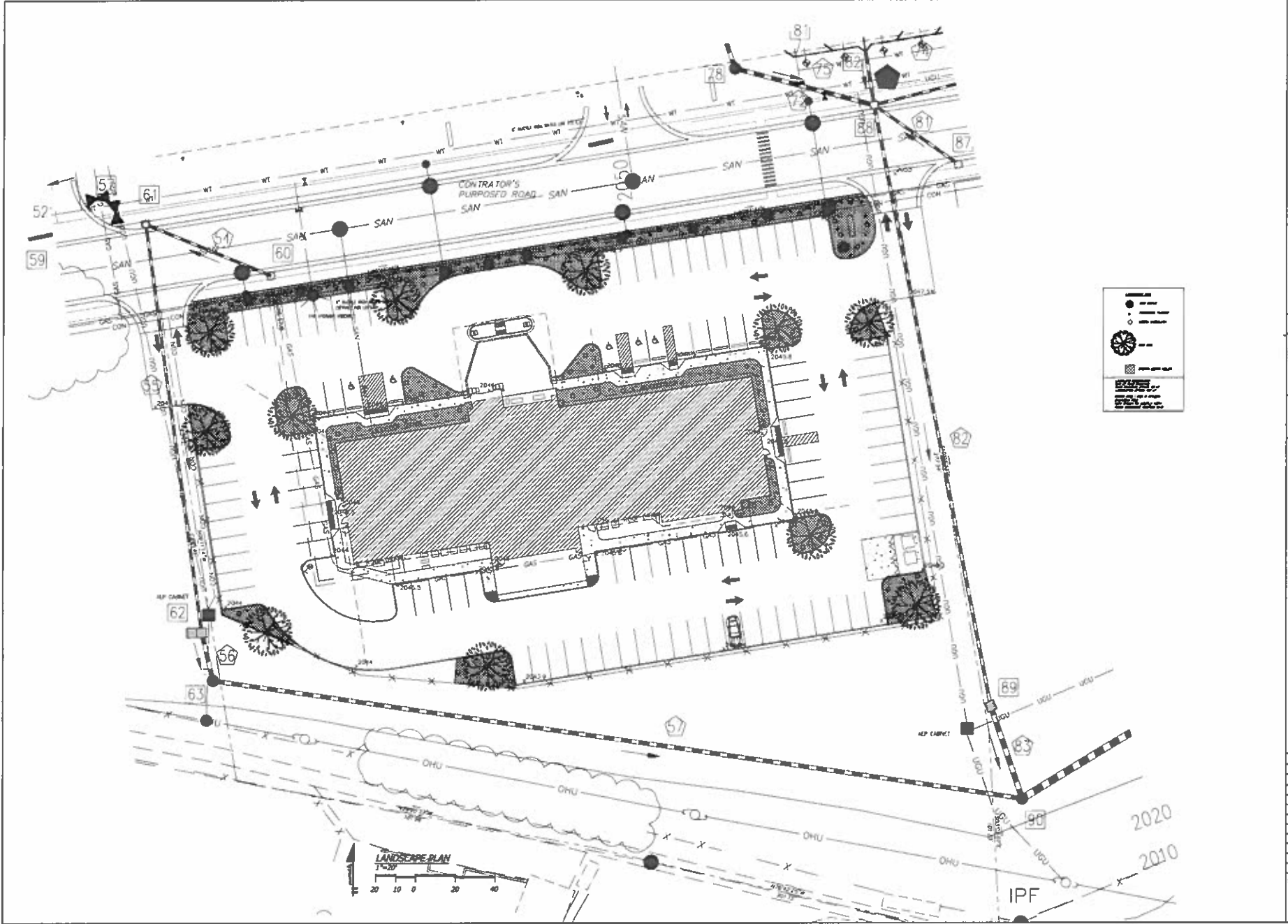
ABINGDON VIRGINIA

REV. NO.

Rev.	Description
1/05/08	ISSUE FOR PERMITS
2/06/08	ISSUE FOR PERMITS

REV. NO.

C7



DATE: 10/1/2010
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]

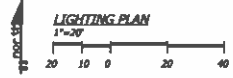
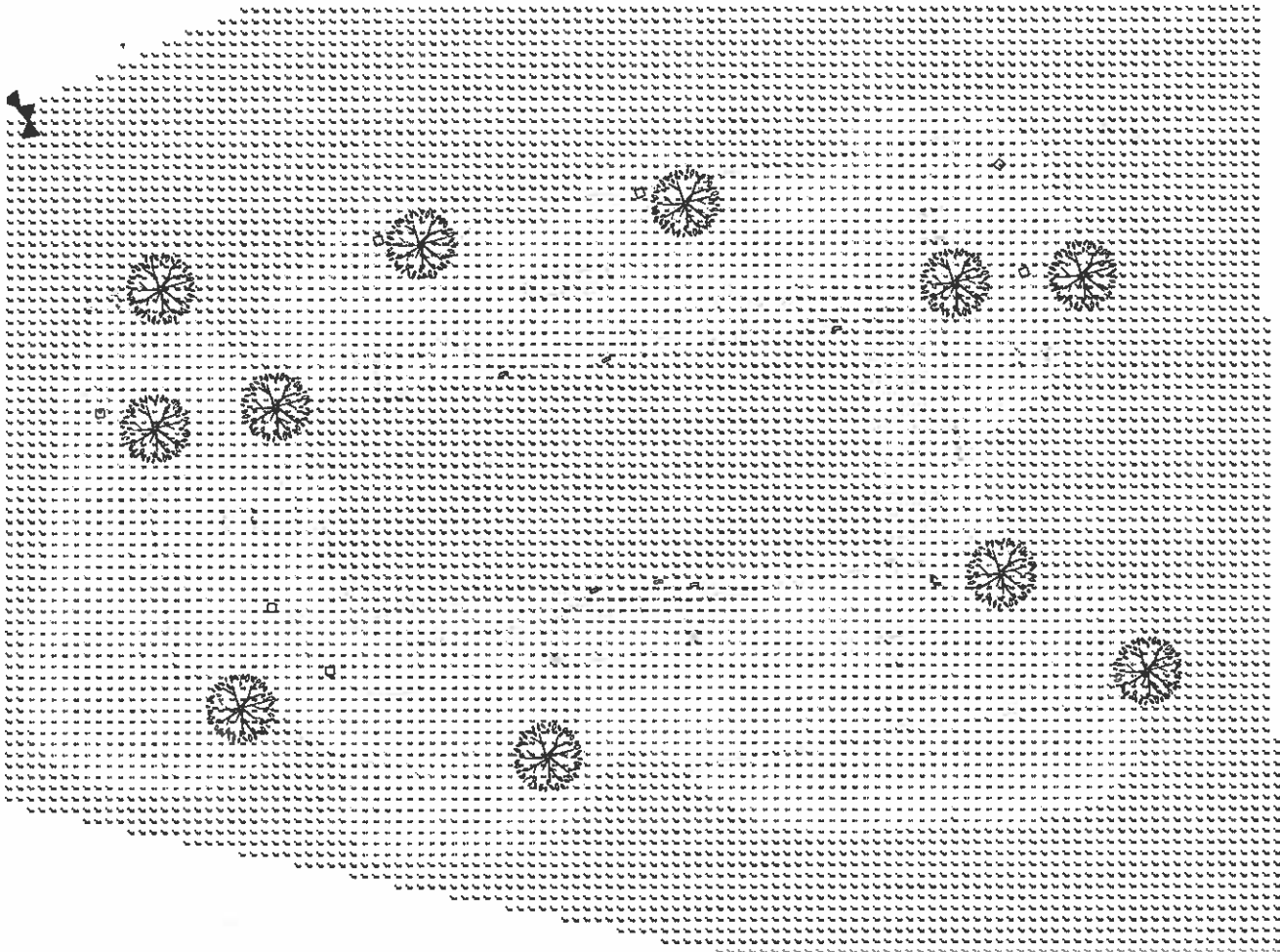
B ARCHITECTURE &
 E ENGINEERING, INC
 100 E. MAIN STREET 2ND FLOOR ABINGDON VA 24310
 434-253-1111
 www.bae.com



**HOLIDAY INN EXPRESS
 ABINGDON VIRGINIA**

NO.	DATE	DESCRIPTION
1	10/1/2010	ISSUED FOR PERMIT
2		
3		
4		
5		
6		
7		
8		
9		
10		

REV. NO. **C8**



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Number of Lamps	Control of Lamp	Light Loss Factor	Average
	A	1	Lithonia Lighting	HR12 LED 1 308130-HOK IN VOLT HS FT	HR12 WITH 1 LIGHT ENGINE, 530MA DRIVER, 4000K LED, HOUSE SIDE SHIELD, TYPE FT OPTIC	LED	_308130_0K_MVOL1	1	Absolute	1.00	114.0
	B	7	Lithonia Lighting	HR12 LED 1 308130-HOK IN VOLT HS FT	HR12 WITH 1 LIGHT ENGINE, 530MA DRIVER, 4000K LED, HOUSE SIDE SHIELD, TYPE FT OPTIC	LED	_308130_0K_MVOL1	1	Absolute	1.00	57.0
	C	6	Lithonia Lighting	CSM LED JRC 1000 4K T24	COLORFUL SERIES LED RECAL MOUNT WITH 30 4000K LEDS OPERATED AT 3000MA AND PRECISION MOLDED ACRYLIC TYPE E LENS	LED	JED_30C_1000_0K_T1	1	Absolute	1.00	194.0

Scale: 1/8" = 1'-0"
 Date: 1/25/16
 Revision: 1/25/16

BUNNY
ARCHITECTURE &
ENGINEERING, INC
 316 E. MAIN STREET 2ND FLOOR ARLINGTON VA 22209
 TEL: 703-839-8888 FAX: 703-839-8889



HOLIDAY INN EXPRESS
ABINGDON VIRGINIA

Date	Description
1/25/16	Initial
1/25/16	

SHT. NO.
C9

Abingdon, Virginia IMPORTANT NOTE:



The complete application along with a \$50.00 administrative fee must be filed with the Town of Abingdon's Office of Planning and Zoning. Applications are due on the first Monday of the month in order for the application to be placed on that month's agenda. The staff needs to have sufficient time to review site plans & post public notices per VA code section §15.2-2204. Applications received after the deadline will be heard at the following month's meeting. If the application is not complete, it will not be included on the next meeting's agenda. To avoid delays, it is recommended that applicants meet with staff before the deadline to review the COA application.

APPLICATION FOR ENTRANCE CORRIDOR, CERTIFICATE OF APPROPRIATENESS Town of Abingdon, Virginia

Town of Abingdon Planning Commission
133 East Main Street · P. O. Box 789 · Abingdon, VA 24212
Phone (276) 628-3167 · Fax (276) 698-3412

Location of Property: 1105 Old Berry Drive, Abingdon, VA 24210	Zoning District	B-2
Business Name: McDonald's	Tax Map No:	104C2-12-4

Applicant/Property Owner Name (PRINTED): McDonald's USA, LLC	Representative Agent(s) Name: John Connelly
Signature:	Firm: Britt, Peters & Associates, Inc.
Mailing Address: 4801 Six Forks Rd, Suite 200	Mailing Address: 101 Falls Park Drive, Suite 601
City: Raleigh	City: Greenville
State/Zip: NC 27609	State/Zip: SC 29601
Phone/Fax Number: 865-322-1954	Phone/Fax Number: 864-271-8869
Email: fred.cox@us.mcd.com	Email: jconnelly@brittpeters.com

(Check The Appropriate Boxes – Check all that Apply)

<input checked="" type="checkbox"/>	Exterior Change	<input type="checkbox"/>	Addition	<input type="checkbox"/>	Relocation
<input type="checkbox"/>	Wall/Fence	<input type="checkbox"/>	Deck/Porch	<input type="checkbox"/>	Demolition
<input type="checkbox"/>	Driveway/Parking Area	<input type="checkbox"/>	New Structure/Building	<input type="checkbox"/>	Grounds/Landscaping
<input type="checkbox"/>	Dumpster/HVAC, screen, et.	<input type="checkbox"/>	Other _____	<input type="checkbox"/>	Other _____

The above named person(s)/firm has permission to represent me regarding this request for architectural review. I understand that I or my representative agent(s) must be present at the Planning Commission Meeting on the date assigned by staff, typically the 4th Monday of each month at 5:30 p.m., to present my proposal and that failure to attend may result in denial of my proposal by the Commission due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before receiving a Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modification to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from the date of approval. I hereby authorize town staff and/or members of the Planning Commission the right to enter my property during normal business hours for the purposes of investigating my request for a Certificate of Appropriateness. I further authorize Town staff to notify any adjoining property owners of this application for Certificate of Appropriateness.

Signed: Fred Cox - McDonald's USA Date: July 27, 2018

PLEASE READ:

Applicants are encouraged to submit completed applications with sufficient information to enable a clear understanding of the proposal by the Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations or changes will result in delays. Planning Department staff will periodically inspect properties for compliance with the COA. Failure to comply may also result in delays in the issuance of a Certificate of Occupancy, fines, or other enforcement actions.

FULL DESCRIPTION OF PROPOSAL: (please attach more sheets if necessary)

Remodel of existing McDonald's restaurant to include updated building facade, new decor, new front counter and rework of existing restrooms for ADA compliance with new finishes.

REQUIRED INFORMATION TO BE SUBMITTED WITH APPLICATION:

Each item submitted is to be INITIALED by the applicant. If you are not submitting any of the requested information, please indicate "not applicable" and explain in the space provided why it is not necessary for this project.

- Sketch, drawing and/or elevations showing the proposed changes or improvements
- Site plan or plat of property
- Photographs showing property, work in question, and the area of the proposed project
- A list of material that identifies the type and quality of materials to be used in the Proposed Project

See attached Modern Color Scheme

Other (please list)

- \$50.00 application fee

Applicants may refer to a typical submissions kept at the Department of Planning and Zoning of the Town of Abingdon, on the lower floor of the Town Hall, located at 133 West Main Street for illustrations of how to present the required information.

To be Completed/Initialed by Planning Department Staff

- JB COA application has been reviewed and deemed to be complete.
- JB List of adjoining property owners notified of this COA application has been attached to this application.
- JB An administrative fee of \$50.00 is attached with this application.
- JB All modifications requiring further review: \$25.00.



NOTICE OF MEETING for the Town of Abingdon Planning Commission

A request for modifications to a property located at within the Historic District Entrance Corridor Overlay has been filed with the Town of Abingdon's Planning Commission. The request is described below:

Location: 1105 Old Berry Drive, Abingdon, VA 24210

Proposal: Exterior Change to Building

Applicant: McDonald's USA, LLC

Applicant's Contact: John Connelly, Britt, Peters & Associates, Inc. (864) 271-8869

You are receiving this notice because public records indicate that you own property near or adjacent to the property listed in this request, which has been scheduled for a hearing before the Planning Commission. Recipients of this notice may wish to share it with their neighbors whose property is nearby the above noted location.

The purpose of the meeting is to allow citizens to comment regarding potential impacts the proposed changes would have on their properties or on the area in general, and to identify issues or concerns related to the appropriateness of the request. The meeting is not the appropriate setting to learn about a proposal for the first time. It is difficult to gain understanding of a proposal and offer well thought out comments during the relatively short time of the meeting.

If you would like more information about this request, you could contact the Town of Abingdon Planning Department at (276) 628-3167 prior to the meeting. You may also contact the applicant's contact person listed above.

PLANNING COMMISSION MEETING

MEETING DATE: August 27, 2018 TIME: 5:30 PM

LOCATION: Town of Abingdon Town Hall, 133 W. Main St., Arthur Campbell Room – 1st Floor

The meeting facilities of the Town of Abingdon are accessible to people with disabilities. Anyone needing special accommodations should call 276-628-3167.

UNITED WAY VIRGINIA
HIGHLANDS INC
P O BOX 644
ABINGDON, VA 24212

DUTT & WAGNER OF VIRGINIA
INC
P O BOX 518
ABINGDON VA 24212

OAKSTONE PROPERTIES INC
P O BOX 350
CHILHOWIE VA 24319

PALMETTO PROPERTIES LLC
20507 GOLDEN VIEW DR
BRISTOL VA 24202

PREMIER HOSPITALITY LLC
1093 OLD BERRY DR
ABINGDON VA 24210

MANAGEMENT PROPERTIES INC
901 N ROAN ST
JOHNSON CITY, TN 37601

LIGHT MILLING COMPANY
P O BOX 309
ABINGDON VA 24212

TAC INVESTMENTS LLC
616 CAMPUS DR STE 100
ABINGDON VA 24210

HIGHLANDS UNION BANK
P O BOX 1128
ABINGDON VA 24212

MOUNTAIN HOSPITALITY LLC
1093 OLE BERRY DR
ABINGDON VA 24210

STAR PROPERTIES INC
PO BOX 385
ALLENTOWN PA 18105

Town of Abingdon

08/08/18 11:26 MISCELLANEGUS PERMIT

Owner: MCDONALDS USA, LLC
Property Location: 1105 OLD BERRY DRIVE
CERTIFICATE OF APPROPRIATENESS
MCDONALDS

Batch Id: COUNTERB
Ref Num: 28814 Seq: 19 to 19

Cash Amount: 0.00
Check Amount: 0.00
Credit Amount: 50.00

Total: 50.00

TOWN OF ABINGDON
133 WEST MAIN STREET
ABINGDON, VA 24210

08/08/2018 11:24:08

CREDIT CARD

VISA SALE

Card # XXXXXXXXXXXXX7066
SEQ #: 3
Batch #: 389
INVOICE 3
Approval Code: 008364
Entry Method: Manual
Mode: Online
Tax Amount: \$0.00
Avs Code: NNN
Card Code: M

SALE AMOUNT \$50.00

CUSTOMER COPY



MODERN SCHEME EIFS/STUCCO



BUILDING FINISH BELOW TRELLIS



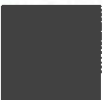
EIFS/STUCCO
BENJAMIN MOORE
HC-168 CHELSEA GRAY

NEW CONSTRUCTION ABOVE TRELLIS



EIFS/STUCCO
BENJAMIN MOORE
HC-168 CHELSEA GRAY

BRAND WALLS



EIFS/STUCCO
BENJAMIN MOORE
2134-30 IRON MOUNTAIN



TILE OPTIONAL (NOT AVAILABLE w/ LOW VOLUME)
EUROWEST EWOOD COLLECTION
R9 BLACK

DRIVE THRU SURROUND



EIFS/STUCCO
BENJAMIN MOORE
2134-30 IRON MOUNTAIN



CORRUGATED METAL OPTIONAL
CITYSCAPE BY METAL ERA
(SEE PAGE 18 FOR ADDITIONAL GUIDELINES)

McDONALD'S RESTAURANT

DRIVE-THRU IMPROVEMENTS

1105 OLD BERRY DRIVE

ABINGDON, VA 24210

WASHINGTON COUNTY

SITE CODE: 045-0706

SITE INFORMATION

DNA NUMBER	045-0706-01-00000001
LAND USE/PLANNING	COMMERCIAL (C-2)
BUILDING SETBACKS	
PROVIDED PARKING SPACES	
REQUIRED PARKING SPACES	
PROVIDED TOTAL	38
SITE DATA	



LOCATION MAP
SITE 045-0706

DRAWING INDEX

DWG NUMBER	DRAWING DESCRIPTION
C-1.0	COVER SHEET
C-2.0	SITE PLAN
SD-1.1	SITE DETAILS
SC-1.1	STRUCTURAL DETAILS

DEVELOPER

McDONALD'S USA, LLC

4601 SIX FORKS ROAD
SUITE 200

RALEIGH, NC 27609
AREA CONSTRUCTION MANAGER
FRED COX (865 322 1954)

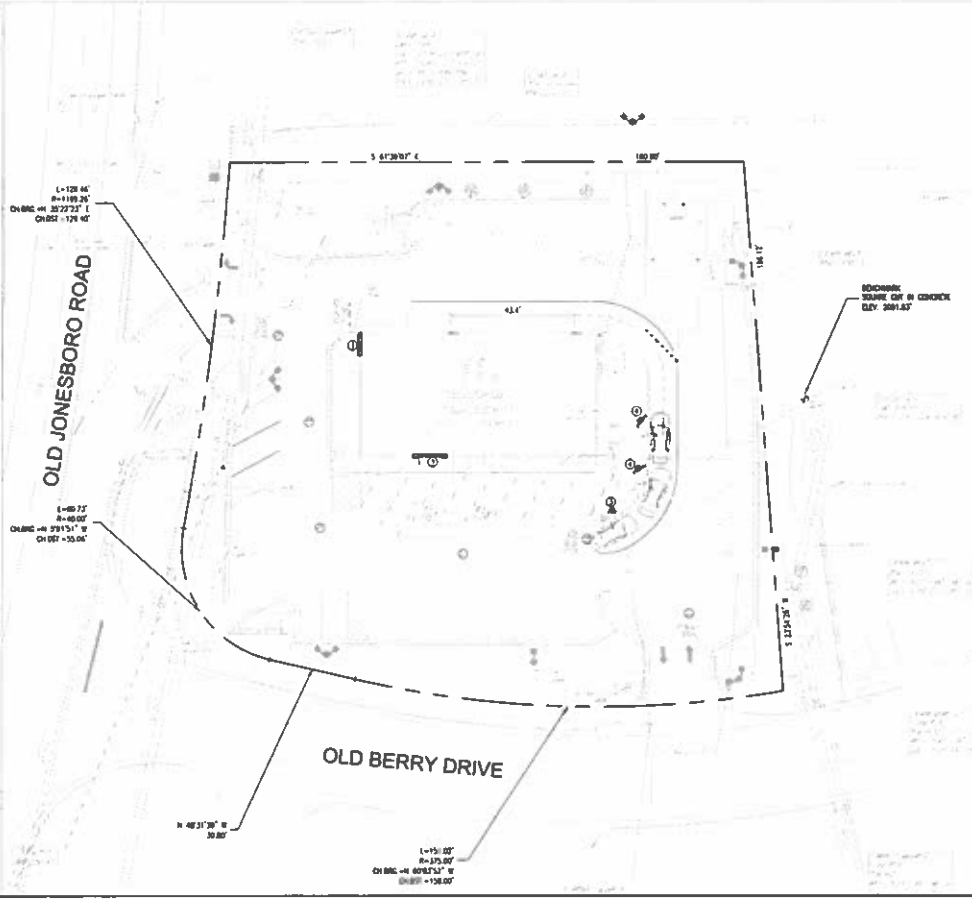
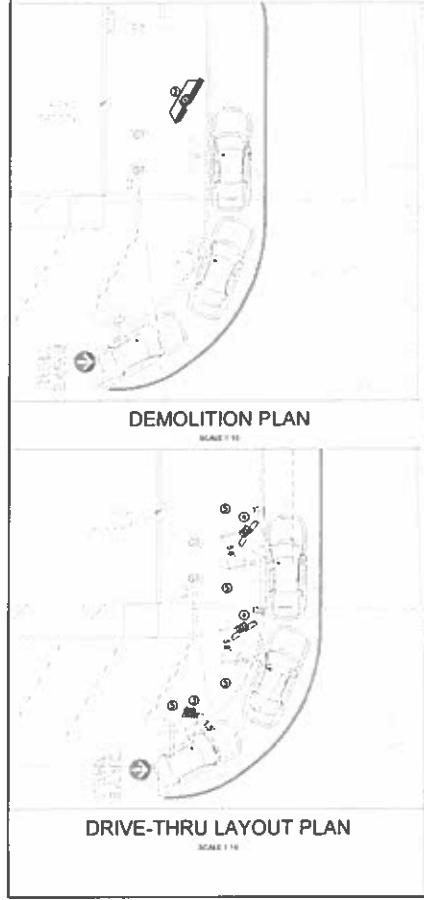
CONTACT INFORMATION

ZONING:
1105 OLD BERRY DRIVE
ABINGDON, VA 24210
WASHINGTON COUNTY

811
Know what's below.
Call before you dig.



REV	DATE	DESC. UPDATES
0	07/23/2018	ISSUE FOR PERMIT

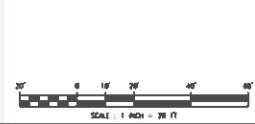


KEY NOTES:

- VERIFY POINTS AND BUILDING FACIES. REFER TO A/E PLANS.
- REMOVE EXISTING SIGN BOARD EQUIPMENT AND FOUNDATION.
- INSTALL OUTDOOR SIGNAGE PER BIDDING NUMBER (PER DETAIL SHEET 50-1.1 & 50-1.2). FOUNDING AND ELECTRICAL BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH WOODWARD'S CONSTRUCTION MANAGER.
- INSTALL OUTDOOR SIGNAGE PER BIDDING NUMBER (PER DETAIL SHEET 50-1.1 & 50-1.2). FOUNDING AND ELECTRICAL BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH WOODWARD'S CONSTRUCTION MANAGER.
- STAKEOUT ALL SIGN-PAVED DECORATED AREAS WITH REVISIONS. REFER TO LAYOUT PLAN BY OTHER FOR FURTHER INFORMATION.

GENERAL SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND EXISTENCE OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND SHOULD BE ONLY APPROXIMATE. THE CONTRACTOR SHALL DO AN INVESTIGATION AND AS TO EXTRA COSTS MUST LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR OTHER COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER STRUCTURES OR FROM ANY DELAY DUE TO REVISIONS OR REINFORCEMENT OF THE LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT ALL FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY BIDDING.
- THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BEFORE STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR EXCAVATION OF ANY KIND SHALL BEGUN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER COORDINATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AGENCIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE OR NOTIFICATION BY ANY REGULATORY AGENCY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF GASLINES, UTILITIES AND RIGHT-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED WHILE PERMISSION IS OBTAINED.
- CONTRACTOR SHALL UNDERNEAR THE SITE AS A MINIMUM SO THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM PLUNGE, AND ADJACENT PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DRAINAGE TO ANY EXISTING NEW AND/OR EXISTING ROADS OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROWN CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LICENSED THIRD PARTY OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR IF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION SHALL BE REQUIRED TO ASSUME TITLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY IMMEDIATELY AND NOT BE LIMITED TO ADJACENT EXISTING AREAS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONALS HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, INCLUDING LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONALS.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DESIGNATED BY AND 1718-A COMMUNITY PANEL NUMBER 311410000C WITH AN EFFECTIVE DATE OF SEPTEMBER 28, 2020.
- PH # 18427-12-4
- PROPERTY SIZE: 0.83 ACRES
DISTURBED AREA: 0.61 ACRES
- PERMITS: SPECIFICATIONS, CONTRACTOR TO REFER TO SOils REPORT FOR SITE SPECIFIC PERMITS. SPECIFICATIONS, WOODWARD'S DESIGNER RESERVES THE RIGHT TO REQUEST A CONSTRUCTION TEST AND/OR A CORE SAMPLE IF TESTS FROM CONTRACT, PER ABOVE SPECIFICATIONS, TESTS WILL BE AT WOODWARD'S EXPENSE. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.
- ALL SITE CONCRETE IS TO BE FURNISHED WITH REINFORCING CONCRETE BARS TO PROTECT THE SURFACES FROM SPALLING AND BRACK FROM OPERATIONAL WEAR OF CHURNING SALES. SEALS SHOULD BE 3/4" THICKNESS. WATER REPELLANT RECOMMENDATIONS INCLUDE PROSOLO-SALVING OR V-SEAL 107 BROWNSHAW.



DATE	TITLE	BY

BRITT PETERS ASSOCIATES, INC.
1811 Old Pine Drive
Suite 601
Columbus, GA 31901
(706) 791-8800
Fax (706) 733-5100
www.britt-peters.com

McDonald's USA, LLC

1811 Old Pine Drive
Suite 601
Columbus, GA 31901
(706) 791-8800
Fax (706) 733-5100
www.britt-peters.com

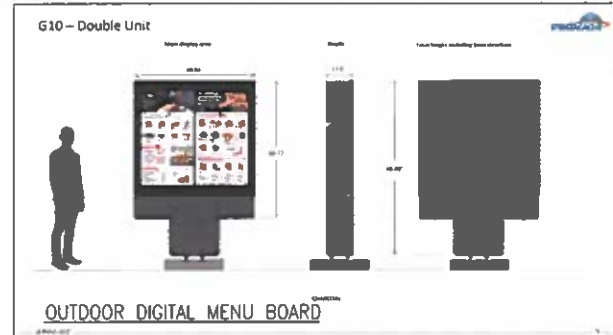
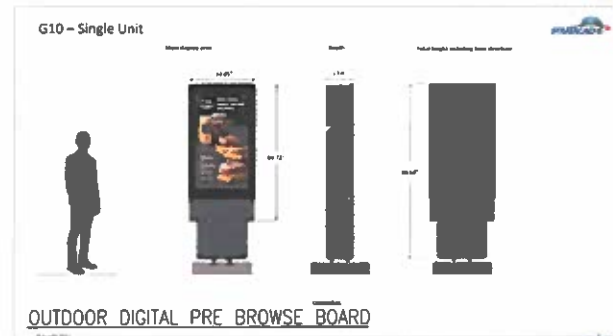
C-1.0
SITE PLAN

DATE: 07/20/18
REV: DATE
BY: MVA



101 E. 4th Floor, Suite 803
Columbia, SC 29201
USA: (804) 731-6888
Fax: (804) 733-5140
www.britt-peters.com

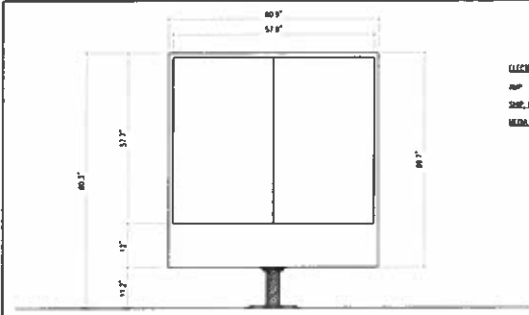
McDonald's USA, LLC
McDonald's USA, LLC
101 E. 4th Floor, Suite 803
Columbia, SC 29201
USA: (804) 731-6888
Fax: (804) 733-5140
www.mcdonalds.com



NOTE:
1. SIGNS SHOWN ARE FOR REFERENCE ONLY. CONSULTOR TO OBTAIN/VERIFY ALL AND SIGN SEPARATE PACKAGES PRIOR TO ORDERING. SEE SPECIFICATIONS FOR SIGN FOUNDATIONS.
2. REFER TO SC-1.1 FOR SIGN FOUNDATIONS.

DATE: 07/20/18
REV: DATE
BY: MVA

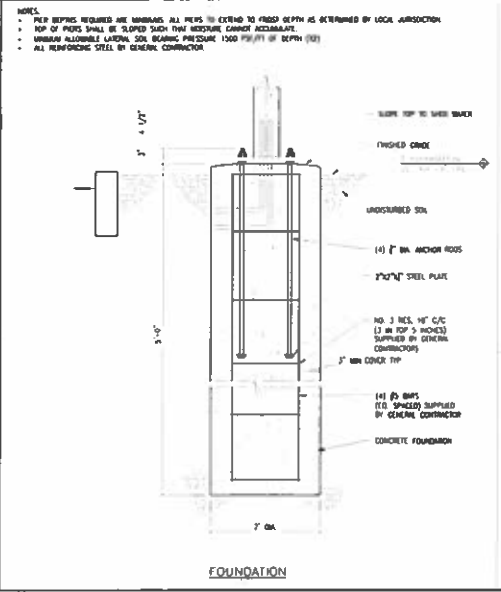
SD-1.1
SEE DETAILS 1



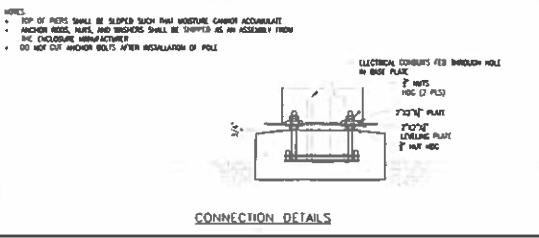
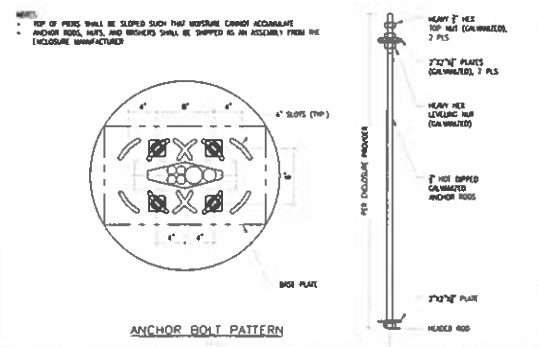
ELECTRICAL: FIRST CIRCUIT 120/1/0A, 15 AMP
SECOND CIRCUIT 120/1/0A, 10 AMP
WIND SPEED: 1,200 LBS
WIND CLASS: STRONGWIND

GENERAL NOTES:
THE FOLLOWING CODES MUST BE USED IN DESIGN:
STRUCTURAL: AISC 360-10
CONCRETE: ACI 308-11
STEEL: AISC 360-10 & 360-10
WIND: ASCE 7-10
SEISMIC: IBC 2018
ALL FABRIC CONNECTIONS ARE TO BE CLEAR OF WALLS AND FORMED WATER BEFORE PLACING CONCRETE.
CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:
- ALL FORMS SHALL BE CLEAN AND PROPERLY WATERED BEFORE PLACING CONCRETE.
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PER ACI 308-11 (STANDARD PRACTICE) UNLESS NOTED OTHERWISE:
- ALL REINFORCING SHALL BE PLACED TO THE CORNER OF THE FOUNDATION.
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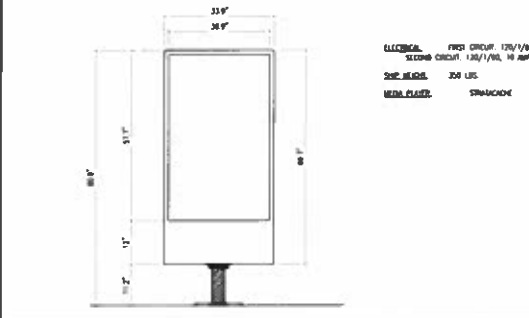
FOUNDATION



CONNECTION DETAILS

BRITT PETERS ASSOCIATES
301 E. Main Street
Greenville, SC 29601
Phone: 252-838-1111
Fax: 252-233-5140
www.brittspeters.com

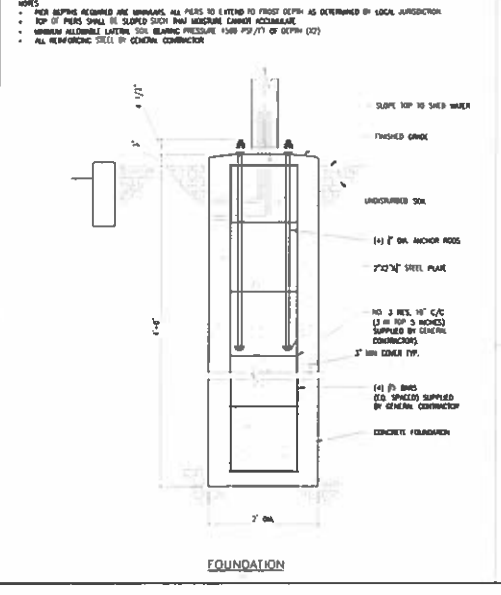
DIGITAL MENU BOARD FOUNDATION DETAILS



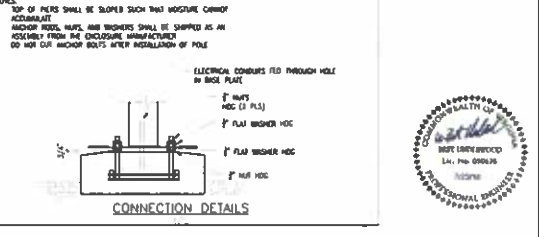
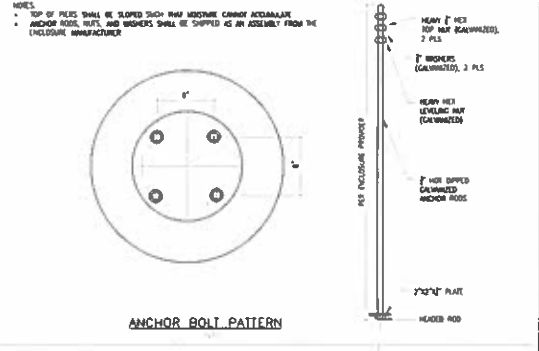
ELECTRICAL: FIRST CIRCUIT 120/1/0A, 15 AMP
SECOND CIRCUIT 120/1/0A, 10 AMP
WIND SPEED: 200 LBS
WIND CLASS: STRONGWIND

GENERAL NOTES:
THE FOLLOWING CODES MUST BE USED IN DESIGN:
STRUCTURAL: AISC 360-10
CONCRETE: ACI 308-11
STEEL: AISC 360-10 & 360-10
WIND: ASCE 7-10
SEISMIC: IBC 2018
ALL FABRIC CONNECTIONS ARE TO BE CLEAR OF WALLS AND FORMED WATER BEFORE PLACING CONCRETE.
CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:
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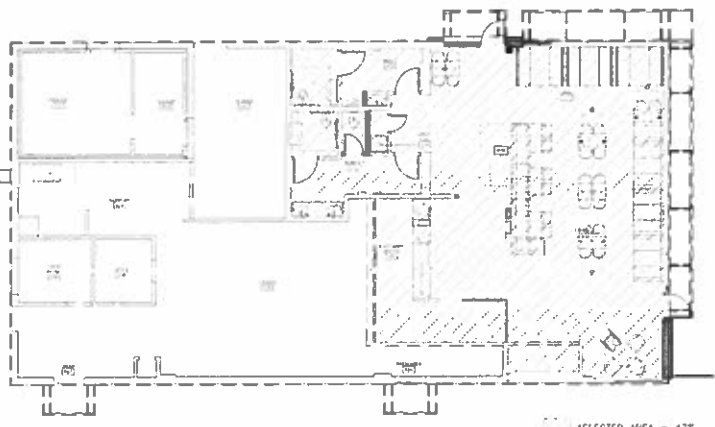
FOUNDATION



CONNECTION DETAILS

McDonald's USA, LLC
301 E. Main Street
Greenville, SC 29601
Phone: 252-838-1111
Fax: 252-233-5140
www.mcdonalds.com

DIGITAL PRE BROWSE FOUNDATION DETAILS



KEY PLAN
NTS

THIS DRAWING IS FOR REFERENCE ONLY.

AFFECTED AREA = 475

BUILDING CODE:

2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE BASED ON 2012 ICC CODE

BUILDING CODE EDITION 2012 VIRGINIA CONSTRUCTION CODE

EXISTING BUILDING CODE 2012 VIRGINIA REHABILITATION CODE

MECHANICAL CODE 2012 VIRGINIA MECHANICAL CODE

PLUMBING CODE 2012 VIRGINIA PLUMBING CODE

ELECTRICAL CODE 2012 VIRGINIA MAINTENANCE CODE

ENERGY 2012 VIRGINIA ENERGY CONSERVATION CODE

ACCESSIBILITY CODE CHAPTER 13 OF ICC/ANSI A117.1 & AMENDMENTS

HEALTH CODE STATE OF VIRGINIA 2013 FOOD CODE

LIFE SAFETY SYSTEM:

- EMERGENCY LIGHTING YES
- EXIT SIGNS YES
- FIRE ALARM & SMOKE DETECTION SYSTEM YES
- PANIC HARDWARE YES
- FIRE SPRINKLERS PARTIAL (STORAGE ROOM ONLY)

- 1 ALL EXISTING LIFE SAFETY ACCESSORIES (EXIT LIGHTS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, PANIC HARDWARE, ETC.) TO REMAIN OR BE REPLACED IN KIND AS DIRECTED BY THE ACM
- 2 REFER TO SEPARATE DECOR PACKAGE FOR ADDITIONAL INFORMATION

STRUCTURAL LOADS:

- GROUND SNOW LOAD 15 PSF
- BASIC WIND SPEED 115 MPH (3-SECOND GUST ULTIMATE), EXPOSURE C
- SEISMIC RISK CATEGORY II
- SEISMIC DESIGN CATEGORY C

ENERGY CODE COMPLIANCE CHART:

CLIMATE ZONE 4A	
OPAQUE THERMAL ENVELOPE REQUIREMENTS	
	R-VALUE
ROOF - INSULATION ENTIRELY ABOVE DECK	R-25+
ATTIC & OTHER	R-38
WALL ABOVE GRADE - WOOD FRAMED	R-20
SLAB ON GRADE FLOORS	R-15
BUILDING ENVELOPE REQUIREMENTS, FENESTRATION	
	U-FACTOR
TYPED FENESTRATION	0.36
ENTRANCE DOORS	0.77
SHGC	0.40



VICINITY MAP



SYMBOL LEGEND:



ENERGY CODE COMPLIANCE STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, SUCH PLANS OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CODE.

**2018 REMODEL BUILDING
MRP 2.0 LOW VOLUME
RALEIGH REGION**

BUILDING INFORMATION

ADDRESS:

STATE SITE CODE 045-0708
ADDRESS 1105 OLD BERRY ROAD
CITY ABRINGDON
STATE VA
ZIP CODE 24218
COUNTY WASHINGTON COUNTY

SCOPE OF WORK

EXTERIOR:

- (1) NEW BRAND WALL WITH LED FIXTURE
- (1) NEW ENTRY ARCADE WITH LED FIXTURE
- FANOPY & TRELIS DESIGN
- NEW SIGNAGE
- NEW EXTERIOR LED WALL SCONCES
- NEW PARAPET TO MATCH EXISTING CONSTRUCTION
- NEW PAINT SCHEME

INTERIOR:

- RESTROOMS RECONFIGURATION PER ADA GUIDELINES
- NEW MODULAR ISLE FRONT COUNTERS
- REINSTALL EXISTING SELF-SERVING COFFEE BAR IN SAME LOCATION
- FULL DECOR REMODEL TO INCLUDE FLOOR, WALL & CEILING FINISHES, & SEATING
- NEW CEILING GRID AND LED LIGHTING IN DRINKING ROOM
- PAINT EXISTING HARD CEILING
- REPLACE EXISTING LIGHTS IN RESTROOMS w/ LED LIGHTS
- MISC. INSTALLATION

STRUCTURE:

EXISTING MASONRY WALL CONSTRUCTION AND WOOD ROOF TRUSSES

UTILITIES:

EXISTING TO REMAIN, VERIFY IN FIELD

BUILDING DATA:

OCCUPANCY, ALTERATION	EXISTING USE GROUP - A2	TYPE 2
GROSS WORK AREA	1,710/3,639	= 475 BUILDING FOOTPRINT
CONSTRUCTION TYPE	EXISTING CONSTRUCTION TYPE - 5B	
NUMBER OF STORIES	1	
BUILDING HEIGHT	18'-0"	MAIN BUILDING PARAPET BRAND WALL PARAPET
	19'-4"	
GROSS BUILDING AREA	EXISTING	PROPOSED
NET BUILDING AREA	3,429 SF	18' SF 3,639 SF
	3,416 SF	0 SF 3,416 SF

MCDONALD'S CONSTRUCTION PROJECT MANAGER

NAME: CONTACT: PHONE:
FRED COX fred.cox@us.mcd.com (865) 322-1954

CORE STATES GROUP PROJECT MANAGER

(ALL CORRESPONDENCE TO REFER TO CORE STATES GROUP PROJECT MANAGER)

NAME: ADDRESS: PHONE/EMAIL
RUBEN ALONSO 700 COMMERCE DRIVE, SUITE 500 (224) 545-4585
OAK BROOK, IL 60521 (815)626-2422

DESIGNER OF RECORD

NAME: ADDRESS: LICENSE #
ARCHITECT OF RECORD: PENNETH MACKENZE, AIA 201 S MAPLE AVENUE SUITE 300 401014439
AMBLER, PA 19002
STRUCTURAL: RICHARD W WELHEIM, PE 3100 S MARKET ST, SUITE 202 42796
ROGERS, AR 72758
MECHANICAL/PLUMBING: JOHN FERGUSON, PE 1700 W INDUSTRIAL DRIVE, SUITE B 040204955
MOGENSEN, AR 72756
ELECTRICAL: JOHN FERGUSON, PE 1700 W INDUSTRIAL DRIVE, SUITE B 040204955
ROGERS, AR 72756

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CV COVER SHEET
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- D21 DEMOLITION - ELEVATIONS
- D22 DEMOLITION - ELEVATIONS
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- A1.0 CODE ANALYSIS
- A1.1 FLOOR PLAN & NOTES
- A1.2 REFLECTED CEILING PLAN
- A1.2a CEILING DETAILS
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- A2.2 ELEVATIONS
- A3.0 SECTION NOTES & ASSEMBLIES
- A3.1 WALL SECTIONS
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- S3.0 FRAMING SECTIONS
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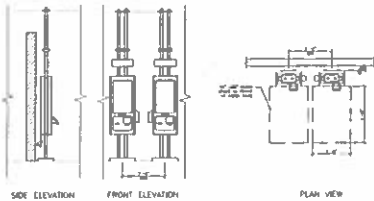
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KIOSK GUIDELINES

GENERAL REQUIREMENTS

SINGLE SIDED KIOSK

CONFIGURATION: PARALLEL

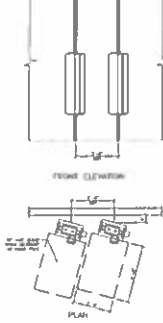


GENERAL NOTES:

- TYPICAL KIOSK QUANTITY (4) FINAL QUANTITY PER RESTAURANT TO BE DETERMINED BY MCDONALD'S OPERATIONS TEAM AND A/E
- 12" CLEAR DIMENSION HEAVILY RECOMMENDED BETWEEN FRONT COUNTER AND KIOSK (EXISTING CONDITIONS TO BE CONSIDERED)
- SEE PUCK HOLDER GUIDELINE FOR PLACEMENT
- WALL FINISH BEHIND KIOSK TO COORDINATE WITH DECOR
- POWER FROM ABOVE (WITH STANDARD CEILING HEIGHT) IF CEILING IS GREATER THAN 10'-6" CONTACT US/D PROJECT MANAGER. SEE KIOSK CUT SHEET FOR ADDITIONAL ELECTRICAL INFORMATION
- CUSTOMER QUEUES MAY FORM AND CREATE CONGESTION WITH OTHER ORDER POINTS. USE THIS CONFIGURATION ONLY WHEN THERE IS SUFFICIENT CLEAR SPACE IN FRONT OF KIOSK
- WALL ON PARTITION NOT NECESSARILY REQUIRED BEHIND KIOSK. SINGLE SIDED CONFIGURATION ACTS AS A PARTITION
- SINGLE SIDED KIOSKS MAY BE ANGLED SLIGHTLY (10-15°) TO PROVIDE BETTER SCREEN VISIBILITY
- KIOSK WILL BE SIDE BY SIDE WITH A 5" WIDE PARTITION/WALL BEHIND

OTHER KIOSK PLACEMENT

KIOSK CAN BE ANGLED AND/OR FREE FLOATING

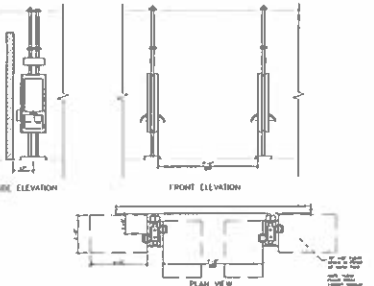


GENERAL NOTES:

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- SEE PUCK HOLDER GUIDELINE FOR PLACEMENT
- WALL FINISH BEHIND KIOSK TO COORDINATE WITH DECOR
- POWER FROM ABOVE (WITH STANDARD CEILING HEIGHT) IF CEILING IS GREATER THAN 10'-6" CONTACT US/D PROJECT MANAGER. SEE KIOSK CUT SHEET FOR ADDITIONAL ELECTRICAL INFORMATION
- CONSIDER SIZE OF BASE PLATE FOR CLEARANCE WHEN ANGLING A KIOSK AGAINST A WALL/PARTITION
- KIOSK MAY BE TURNED ON AN ANGLE TO INCREASE SCREEN VISIBILITY
- DOUBLE SIDED OR SINGLE SIDED KIOSKS CAN BE FREE FLOATING OR ANGLED
- WHEN SPACE ALLOWS, THIS SOLUTION IS THE ULTIMATE IN IMPROVING CUSTOMER AND SEAL AREA LARGE GROUPS ARE EXPECTED TO ORDER TOGETHER
- LEAVE ADEQUATE CIRCULATION AROUND FREE FLOATING KIOSKS
- IDEAL WHEN A LARGE QUANTITY OF KIOSK FACE ARE REQUIRED

DOUBLE SIDED KIOSK

CONFIGURATION: PERPENDICULAR TO WALL/PARTITION MULTIPLE UNITS



GENERAL NOTES:

- TYPICAL KIOSK QUANTITY (4) FINAL QUANTITY PER RESTAURANT TO BE DETERMINED BY MCDONALD'S OPERATIONS TEAM AND A/E
- 12" CLEAR DIMENSION HEAVILY RECOMMENDED BETWEEN FRONT COUNTER AND KIOSK (EXISTING CONDITIONS TO BE CONSIDERED)
- SEE PUCK HOLDER GUIDELINE FOR PLACEMENT
- WALL FINISH BEHIND KIOSK TO COORDINATE WITH DECOR
- POWER FROM ABOVE (WITH STANDARD CEILING HEIGHT) IF CEILING IS GREATER THAN 10'-6" CONTACT US/D PROJECT MANAGER. SEE KIOSK CUT SHEET FOR ADDITIONAL ELECTRICAL INFORMATION
- IDEAL WHEN PLACED IN FRONT OF THE SERVICE AREA. LESS LIKELY TO INTERFERE WITH FRONT COUNTER QUEUES
- IDEAL WHEN TRYING TO CAPTURE CUSTOMERS FROM TWO ENTRANCES
- LEVERAGES EXISTING DECOR ELEMENTS TYPICALLY SEEN IN OUR STANDARD DECOR LAYOUTS
- THIS IS THE PREFERRED PLACEMENT CONFIGURATION

PUCK DISPENSER

LOCATION GUIDELINES

GENERAL NOTES:

- RETURN HOME PUCK DISPENSER PER KIOSK FACE
- BOTTOM OF SINGLE WHEN DISPENSER SHOULD NEVER BE LOWER THAN 27" AFT
- TOP OF PUCK DISPENSER NEVER HIGHER THAN 48" AFT

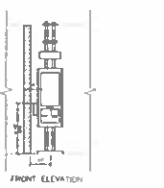
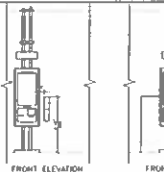
PKA LOCATION A

- ONE FLUSH MOUNT PUCK DISPENSER
- KIOSK PARALLEL TO WALL
- PUCK DISPENSER TO BE MOUNTED ON THE WALL OR PARTITION BEHIND THE KIOSK
- PUCK LOCATOR TO REMAIN BE HIGHEST 4" TO THE REAR OF THE KIOSK IF SPACE ALLOWS
- DISPENSER MAY BE MOUNTED OTHER DIRECTION TO KIOSK OR TO WALL BEHIND KIOSK



PKA LOCATION B

- ONE FLUSH MOUNT PUCK DISPENSER
- KIOSK PERPENDICULAR TO WALL
- PUCK DISPENSER TO BE MOUNTED DIRECTLY TO KIOSK AND TO BE MOUNTED DIRECTLY TO KIOSK
- SEE GUIDELINE TO THE WALL



GENERAL NOTES

CONSTRUCTION DOCUMENTS

- BY EXECUTION OF THE CONSTRUCTION CONTRACT, THE CONTRACTOR REPRESENTS THAT HE OR SHE HAS (1) READ AND UNDERSTANDS THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, (2) VISITED THE PROJECT-SITE, (3) BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED, (4) CORRELATED PERSONAL OBSERVATION WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND (5) THAT HE OR SHE WILL COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS
- THE INTENT OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE CONSTRUCTION WORK - AND TO PROVIDE (FURNISH AND INSTALL) ALL PRODUCTS, MATERIALS, EQUIPMENT OR ACCESSORIES REQUIRED FOR PROPER OPERATION, IN ACCORDANCE WITH THEIR MANUFACTURER'S REQUIREMENTS
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY - WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL WHILE PREPARED WITH DUE CARE AND INDUSTRY. PROTECTION IS NOT POSSIBLE DESIGN AND CONSTRUCTION ARE COMPLEX - EVEN POSSIBLE CONFLICT OR CONTRADICTION CANNOT BE ANTICIPATED OR FULLY INDICATED WITHIN THE DOCUMENTS
- CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS (INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL) AND OTHER CONTRACT DOCUMENTS WITH THE EXISTING CONDITIONS AT THE PROJECT-SITE BEFORE STARTING CONSTRUCTION. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED FOR CLARIFICATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR OR CORRECTION COSTS IF WORK IS EXECUTED WITH KNOWLEDGE THAT IT INVOLVES AN ERROR, INCONSISTENCY OR OMISSION - WITHOUT THE ABOVE NOTICE
- IN THE EVENT OF CONFLICT OR AMBIGUITY WITHIN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE AGREED TO PROVIDE THE GREATER QUANTITY AND / OR BETTER QUALITY OF MATERIALS AND / OR WORK. OMISSIONS IN THE DESCRIPTION OF THE WORK DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PRODUCT

GENERAL SCOPE OF WORK

- PERFORM ALL CONSTRUCTION WORK INDICATED OR OTHERWISE REQUIRED FOR COMPLETION OF THE PROJECT - EXCEPT AS NOTED OTHERWISE
- SEQUENCE AND COORDINATE THE WORK OF THE COMPLETE PROJECT TO ASSURE AN EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF ALL ELEMENTS - WITH PROVISIONS FOR ACCOMMODATING ITEMS TO BE INSTALLED LATER
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING NEAR, METHODS, TECHNIQUES, SEQUENCE AND FOR COORDINATING ALL WORKING WITH THE WORK
- PROVIDE ALL REQUIRED NOTICES FOR INSPECTIONS AND APPROVALS OF THE WORK BY THE AUTHORITY HAVING JURISDICTION (AND) THE MOST RESTRICTIVE CODE REQUIREMENTS AS INTERPRETED BY LOCAL OFFICIALS. WILL APPLY
- VERIFY LOCATIONS OF EXISTING UTILITY SERVICE CONNECTIONS SERVING THE PROJECT BEFORE STARTING CONSTRUCTION. LOCATIONS OF EXISTING UTILITIES NOTED ARE APPROXIMATE AND MAY BE BASED ON UN-VERIFIED INFORMATION. PROVIDE ALL CONNECTIONS REQUIRED AT UTILITY CONNECTION POINTS AT NO ADDITIONAL COST TO THE OWNER
- PROVIDE SUBCONTRACTORS WITH A FULL SET OF THE CONSTRUCTION DOCUMENTS TO ENSURE COORDINATION WITH ALL TRADES AND EACH SUBCONTRACTOR
- ALL CONSTRUCTION WORK MUST BE OF GOOD QUALITY - FREE FROM DEFECTS AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS - ON THE WORK MAY BE CONSIDERED DEFECTIVE - AND SUBJECT TO CORRECTION OR REPLACEMENT BY THE CONTRACTOR WITHIN A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION

INSTALLATION OF OWNER-FURNISHED PRODUCTS

- COORDINATE, RECEIVE AT SITE, VERIFY RECEIPT, HANDLE, STORE ON-SITE (IF REQUIRED), PROTECT AND INSTALL OWNER-FURNISHED PRODUCTS AND PROVIDE SERVICE CONNECTIONS AS APPLICABLE
- NOTIFY THE OWNER WITHIN FIVE (5) DAYS OF RECEIPT IF ANY ITEMS ARE MISSING, DAMAGED OR OTHERWISE DEFECTIVE. LACK OF NOTIFICATION WILL BE CONSIDERED PRESUMPTIVE PROOF THAT ALL ITEMS ARE AS ABOVE UNDAMAGED AND IN PROPER QUANTITY, AND ANY REPLACEMENT OR REPAIRS NECESSARY WILL THEN BE THE RESPONSIBILITY OF THE CONTRACTOR
- REPAIR DAMAGE TO OWNER-FURNISHED PRODUCTS CAUSED BY CONSTRUCTION OPERATIONS TO THE OWNER'S SATISFACTION

TEMPORARY FACILITIES, UTILITY, A CONTROL

- PROVIDE BARRIERS, FENCES AND OTHER CONTROLS TO PREVENT PUBLIC ENTRY TO CONSTRUCTION AREAS AND TO PROTECT CONSTRUCTION WORKERS AND THE PUBLIC FROM HAZARDS OF CONSTRUCTION
- PROVIDE PROTECTION OF CONSTRUCTION MATERIALS FROM LOSS, DAMAGE, THEFT OR THEFT AND PROTECT EXISTING CONSTRUCTION FROM DAMAGE BY CONSTRUCTION OPERATIONS
- PROVIDE TEMPORARY FIRE PREVENTION MEASURES AND PROCEDURES INCLUDING FIRE-EXTINGUISHERS PER ALL REQUIREMENTS
- PROVIDE DUMPSTERS AND COLLECT WASTE DMS. DISPOSE OF MATERIAL IN A LAWFUL MANNER PLACE DUMPSTER IN LOCATION APPROVED BY OWNER OR LANDLORD, AS APPLICABLE

GENERAL PRODUCT REQUIREMENTS

- STORE PRODUCTS PER MANUFACTURER'S INSTRUCTIONS, PROTECTED FROM DAMAGE OR ABUSE AND WITH VENTILATION TO AVOID CONDENSATION
- APPLICATION OF A MATERIAL OR EQUIPMENT ITEM TO WORK INSTALLED BY OTHERS CONSTITUTE ACCEPTANCE OF THAT WORK AND ASSUMPTION OF RESPONSIBILITY FOR SATISFACTORY INSTALLATION AND PERFORMANCE
- INSPECT EACH ITEM OF MATERIAL OR EQUIPMENT IMMEDIATELY PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS
- COORDINATION WITH FITTERS, FURNISHINGS & EQUIPMENT (F&E)
- REVIEW THE OWNER'S SEPARATE CASEWORK/FITTURES, FURNISHINGS, EQUIPMENT, & SCHEME DRAWINGS FOR UNIT SIZES, HEIGHTS, SERVICE CONNECTIONS AND CLEARANCES REQUIRED - WHETHER FURNISHED OR INSTALLED BY THE CONTRACTOR OR OTHERS. VERIFY THAT EQUIPPED ROUGH-INS, CONNECTIONS AND CLEARANCES WILL BE PROVIDED, PROVIDE OPTIONS AND DELIVER ACCESS FOR F&E ITEMS, AND PROVIDE STAGING SPACE FOR THEIR INSTALLATION. REPORT DISCREPANCIES OR OMISSIONS OF EQUIPMENT REQUIREMENTS PRIOR TO INSTALLATION
- PROVIDE ALL HVAC, PLUMBING, GAS OR ELECTRIC SERVICE CONNECTIONS TO CASEWORK / FITTURES, SEWAGE OR EQUIPMENT LOCATED (WHETHER UNITS ARE INSTALLED BY CONTRACTOR OR BY OTHERS)

GENERAL EXECUTION OF THE WORK

- ESTABLISH AND MAINTAIN DURABLE MARKERS TO LOCATE ALL ELEMENTS OF THE WORK, INCLUDING BUT NOT LIMITED TO PARTITIONS, CASEWORK, FITTURES, EQUIPMENT AND LIGHT-FITURES AND THEIR RELATED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS
- PROTECT FINISHED SURFACES, INCLUDING PLASTER ON THICKENED WALLS, RETURN ALL EXPOSED SURFACE FINISHES BACK TO THE FINISHED SURFACE EVEN IF NOT SPECIFICALLY NOTED
- PERFORM ALL CUTTING, PATCHING AND FITTING TO ACCOMMODATE CONSTRUCTION WORK AND TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CUT & PATCH PARTITIONS FOR INSTALLATION OF PLUMBING, SERVICES AND FOR INSTALLATION OF WALL BLOCKING. IF NECESSARY PROVIDE ESCUTCHEONS, GRAPHELS AND SIMILAR SURFACE COVERS ON FINISHED TRIM AT EXPOSED PENETRATIONS OF FINISHED SURFACES
- BRACE PARTITIONS, SUSPEND CEILING OR SOFFITS, AND BRACE PLATFORMS, SUSPENDED TRIMS OR SIMILAR CONSTRUCTION ONLY TO STRUCTURAL ELEMENTS ABOVE - EVEN IF NOT SPECIFICALLY NOTED DO NOT ANCHOR TO ROOF DECK, PLUMBING / SPRAWLER PIPE, DUCTWORK, ELECTRICAL CONDUIT OR SIMILAR ELEMENTS

COORDINATION WITH ADJACENT CONSTRUCTION

- LIGHT WORK TO OCCUR WITHIN THE PROJECT-SITE, OR WITHIN OTHER AREAS DESIGNATED OR APPROVED FOR USE BY THE OWNER, LANDLORD / DP DEVELOPER. CONNECT TO EXISTING UTILITY SERVICES BEYOND THE PROJECT-SITE IN THE MOST EXPEDITIOUS MANNER POSSIBLE WITH MINIMAL DISTURBANCE OF EXISTING ELEMENTS OR FINISHES
- RESTORE ALL AREAS OF EXISTING LANDSCAPING (INCLUDING SPRAWLER SYSTEMS) DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION

FINAL CLEANING

- JUST BEFORE OWNER OCCUPANCY CLEAN ALL SURFACES INCLUDING FITTURES AND EQUIPMENT FOR THE OWNER'S USE AND OPERATION. REMOVE GLASS AND PLUMBING FITTURES TO BE WITHOUT NOTICEABLE STREAKS, VACUUM CLEAN FLOORS AND DAMP WIPES WALLS, FITTURES AND EQUIPMENT TO BE DUST-FREE WITHOUT STAINS, FILMS AND OTHER OBSTRUCTING SUBSTANCES
- CLEAN THE PROJECT-SITE OF RUBBISH LITTER AND OTHER FOREIGN SUBSTANCES. BRUSH CLEAN PAVED AREAS AND REMOVE STAINS, SPILLS AND OTHER FOREIGN DEPOSITS. RAKE GRASSY AREAS THAT ARE NEITHER PAVED NOR PLANTED, TO A SMOOTH EVEN-TERRAILED SURFACE

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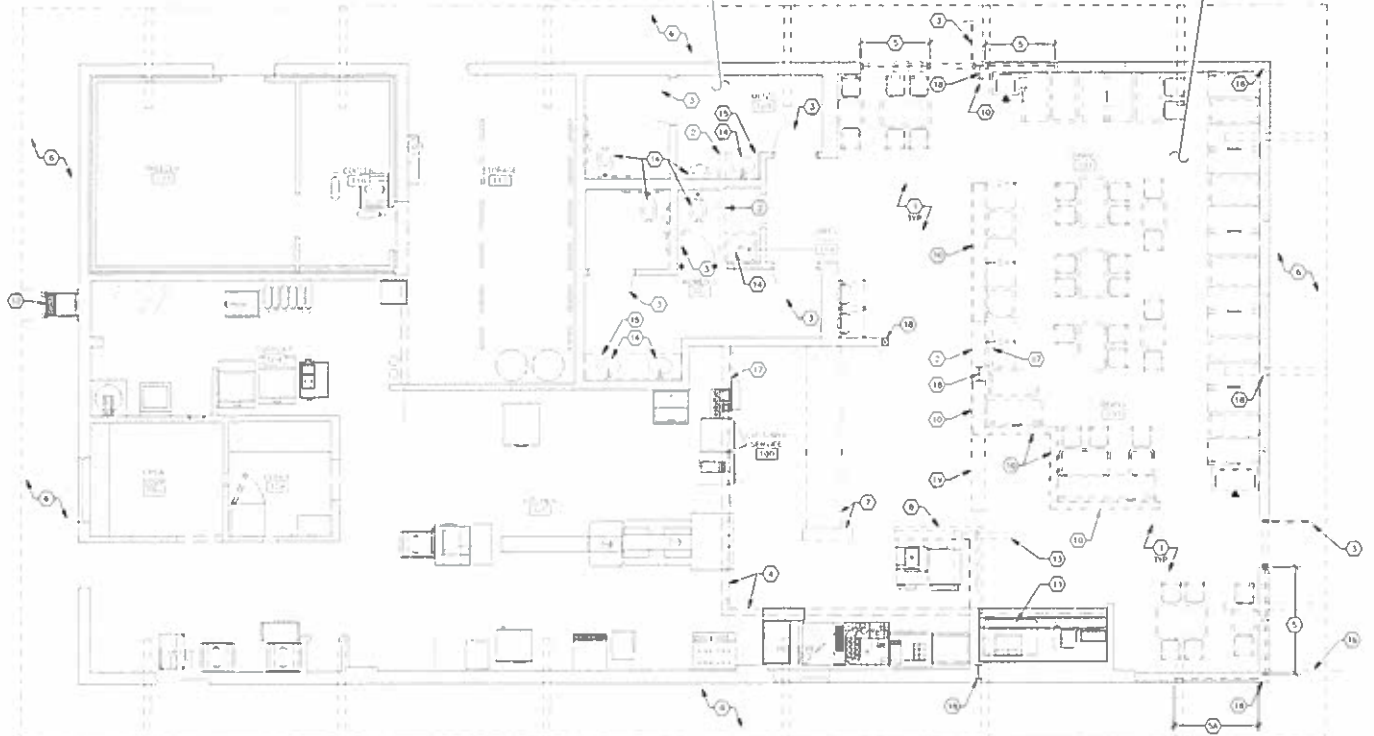


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GN1.0
 GENERAL NOTES

RE-ROOM NOTES
(SEE ALL PUBLIC RESTROOMS)
 * EXISTING FLOOR TILES AND BASES TO BE REMOVED REFER TO SEPARATE DECOR DRAWINGS FOR EXTENT OF INTERIOR REMODEL.
 * EXISTING WALL TRIM/PIE TO BE REMOVED REFER TO SEPARATE DECOR DRAWINGS FOR EXTENT OF INTERIOR REMODEL.
 * EXISTING LIGHTS TO BE REMOVED PATCH/REPAIR CEILING IN AND EXISTING CIRCUIRY TO REMAIN FOR NEW USE.
 * REMOVE ALL RE-ROOM ACCESSORIES, UNO PATCH/REPAIR EXISTING ADJACENT WALLS AND FLOOR IN AND.
 * REMOVE ALL EXISTING PLUMBING FIXTURES UNLESS NOTED OTHERWISE. EXISTING SANITARY PIPING BELOW SLAB TO REMAIN FOR NEW USE. CONNECT VENTS, DOMESTIC WATER PIPING, A HOT/COLD WATER PIPING TO NEAREST EXISTING ASSOCIATED PIPING.

DEMOING NOTES
 * EXISTING FLOOR TILES AND BASES TO BE REMOVED REFER TO SEPARATE DECOR DRAWINGS FOR EXTENT OF INTERIOR REMODEL.
 * EXISTING LIGHTING TO BE REMOVED EXISTING CIRCUIRY TO REMAIN FOR NEW USE.
 * EXISTING CEILING TILE AND GRID TO BE REMOVED.



DEMO PLAN
 D1.1 1/4" = 1'-0"

GENERAL NOTES

- 1 REFER TO ALL FOR NEW PLAN CONFIRMATION. VERIFY ALL DIMENSIONS OF DEMOLITION WITH ALL.
- 2 SEE TO 1 DEMOLITION CLEARANCE, FOR EXTENT OF EXTERIOR DEMOLITION.
- 3 SEE SEPARATE CIVIL DRAWINGS FOR REQUIRED DEMOLITION AND REDEMPTION OF GROUND, LAND RIGHTS, STAIRS, FURNISH, WALLS, VERTICAL CURB, SIDE CURB, TURNS, LAWN, PAVEMENT, LANDSCAPE, ETC.
- 4 DIMENSIONS ARE TO FACE OF PARTIAL AND/OR TO COLUMN REFERENCE LINES, UNO.
- 5 THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTACHED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION. A NOTIFY THE PROPERTY OWNER OF ALL DISCREPANCIES IMMEDIATELY. DEMOLITION IS TO BE ACCORDING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION TO BE PREPARED TO SIGN BACK VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT PRELIMINARY TO STRUCTURE LAYOUT PRIOR TO DEMOLITION UNLESS NOTED.
- 6 ALL DEMOLITION WORKMAN AS LISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK BY NEW CONSTRUCTION. A PROTECTION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.

- 7 DEMOLITION CONTRACTOR TO COORDINATE A REVIEW ALL CONSTRUCTION DOCUMENTS IN DETERMINE THE EXTENT OF DEMOLITION WORK. A BEING FAMILIAR WITH THE INFORMATION BEFORE BEGINNING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE ACCEPTED WITH THE FOREGOING TO HAVE ACCEPTED MEAN CONSENTING, AND TO HAVE MADE THE NECESSARY APPROVALS BY PREPARED HIS BID.
- 8 ELECTRICIAN DEMOLITION NOTES REFER TO ELECTRICAL CONTRACTOR FOR DETAILED ELECTRICAL DEMOLITION NOTE.
- 9 VERIFY DISPOSITION OF ALL DEMOLITION MATERIALS, LIGHTING FIXTURES, ETC. TO BE REMOVED BY OWNER. ALL REPAIRS TO BE COMPLETED SHALL BE APPROVED BY OFF-CASE AND BY AN ENGINEER'S SIGNATURE.
- 10 PROTECT CONTRACTOR TO FIELD INSPECT EXTERIOR ROOF FOR WEATHER. CONTRACTOR TO FIELD VERIFY ALL DEMOLITION WORK TO BE COMPLETED TO BE REMOVED FOR FIELD INSPECTION AND FOR INCLUDING AND NECESSARY REPAIRS SHALL BE NOTED.
- 11 VERIFY A PRELIMINARY EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICITY. A PLUMBING LINES REFER TO PLUMBING CONTRACTOR'S PROGRAM DRAWINGS FOR ALL SANITARY AND WASTE-WATER WORK REQUIRED TO BE COMPLETED PRIOR TO EXTERIOR WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING PIPING WITH EXISTING PLUMBING DOWNS NEW SLABS TO EXISTING IN PRIOR TO 2" O.C. CONSTRUCTION. A PRELIMINARY REVIEW TO EXISTING IN WITH EXISTING SLAB. (SEE CONTRACTOR'S REVIEW TO EXISTING IN WITH EXISTING SLAB.)

- 12 ALWAYS CLEAR OPENING, SECURE FLOOR INTO EXISTING SLAB BY EPOXY GROUT. REPLACE OR REPAIR ANY WORK DAMAGED DURING DEMOLITION WORK.
- 13 CONTRACTOR SHALL PROTECT ALL REMOVED PIPING AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- 14 PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILING, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH A REPAIR ANY DAMAGED PORTION OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING CONSTRUCTION. A PROTECT'S FINISHES.
- 15 THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING WEATHERPROOFING AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DEMOLITION WORK. DEMOLITION OF CONSTRUCTION OF THE SHALL IMMEDIATELY SUPPORT WORK A NOTIFY THE McDonald's AREA CONSTRUCTION MANAGER BEFORE PROCEEDING.
- 16 ALL DEMOLITION SHALL BE COMPLETED IN A SAFE MANNER. A IN STEEL ACCORDANCE WITH OSHA REGULATIONS.
- 17 THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION

THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COVERS, FURNITURE, REFRIGERATORS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL (ELECTRICAL, PLUMBING, GAS) AND DEMOLITION AS SHOWN ON THE DRAWINGS, UP AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.

18 REMOVE ALL SAND, DIRT, GROUT, REMAINS, LANDSCAPE, FLOOR DEBRIS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. LAY PLUMBING OVERLAP SUPPLY A WASTE LINE'S PATCH A SEAL ALL FLOOR PLUMBING, SEE MECHANICAL A PLUMBING CONTRACTOR FOR DETAILED DEMOLITION NOTES.

19 WHEN UTILITY ARE REMOVED LAY A MAN A MINIMUM OF 4" BELOW FRESH FLOOR OR A MINIMUM OF 6" ABOVE FRESH CEILING.

DEMOLITION KEYNOTES (NOT ALL KEY NOTES WILL BE SHOWN)

- 1 REMOVE EXISTING DECOR PANEL TO REPAIR DECOR DRAWINGS FOR EXTENT OF INTERIOR DEMO A REMODEL.
- 2 REMOVE EXISTING INTERIOR WALL PARTITION PATCH/REPAIR ADJACENT INTERIOR FLOORING AND WALLS IN AND.
- 3 REMOVE EXISTING DOOR FRAME AND ALL ASSOCIATED HARDWARE.
- 4 NOT USED.
- 5 REMOVE EXISTING STOREFRONT FRAMING AND GLAZING PANEL.
- 6 REMOVE EXISTING GLAZING PANEL STOREFRONT FRAMING TO REMAIN.
- 7 REMOVE PORTION OF EXISTING WARDROOM ROOF PROTECTION ABOVE MATCH REMOVE PORTION ABOVE WITH EXISTING ADJACENT WALL RESULT WARDROOM REFER TO SMALL SECTION FOR EXTENT OF REMOVAL.
- 8 REMOVE EXISTING COUNTER SYSTEM.
- 9 REMOVE EXISTING W/CAFE COUNTER AND WALL SYSTEM.
- 10 NOT USED.
- 11 REMOVE EXISTING PARTIAL WALL.
- 12 EXISTING SELF SERVICE BEVERAGE DISP TO BE REMOVED.
- 13 EXISTING BODY ELEVATOR TO REMAIN.

- 14 REMOVE W/ID SLAB/SAFE.
- 15 REMOVE EXISTING PLUMBING FIXTURE.
- 16 REMOVE EXISTING COUNTER AND W/ID UPLIFT.
- 17 EXISTING COUNTERS TO BE REMOVED.
- 18 EXISTING WORKTOP TO BE REMOVED.
- 19 EXISTING STRUCTURAL COLUMN TO REMAIN.
- 20 EXISTING CEILING REWORKING ELEMENT TO BE REMOVED.

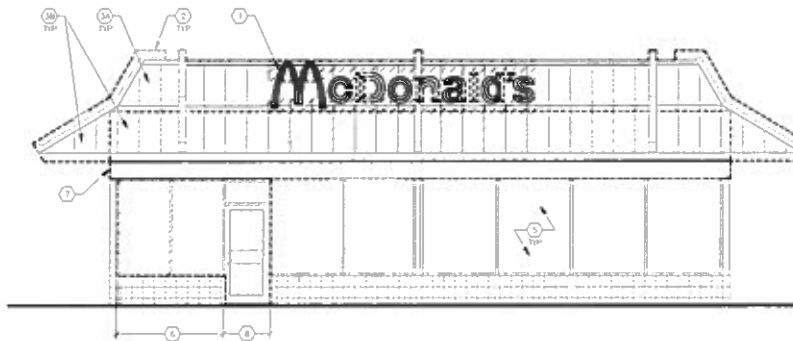
REV	DATE	DESCRIPTION

PROJECT OF RECORD
 CONTRACTOR: CORE STATES
 CLIENT: McDonald's USA, LLC
 DRAWING NO: D1.1
 DATE: 07/20/2018
 SCALE: 1/4" = 1'-0"
 SHEET NO: 13 OF 15
 DRAWING TITLE: CORE STATES - LOW VOLUME - DEMO PLAN

FILE: MRP PROGRAM - LOW VOLUME
 CORE 16_2_0
 DRAWING TITLE: CORE STATES - LOW VOLUME - DEMO PLAN

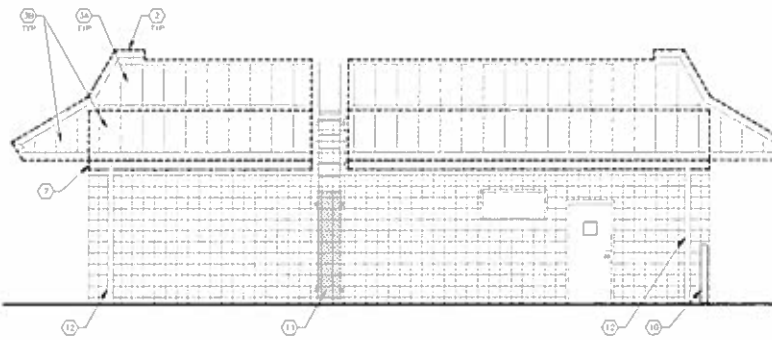
SHEET NO: D1.1
 DEMO PLAN

- 1/2 EXIST MANFARD
(LEV. +17'-2" (V17))
- 1/2 EXIST MANFARD
(LEV. +10'-0" (V17))
- 1/2 EXIST STOREFRONT
(LEV. +9'-11" (V17))
- 1/2 EXIST STOREFRONT
(LEV. +2'-0" (V17))
- 1/2 EXIST SLAB
(LEV. +0'-0")



2 FRONT ELEVATION
D2.1 1/4" = 1'-0"

- 1/2 EXIST MANFARD
(LEV. +17'-2" (V17))
- 1/2 EXIST MANFARD
(LEV. +10'-0" (V17))
- 1/2 EXIST STOREFRONT
(LEV. +9'-11" (V17))
- 1/2 EXIST SLAB
(LEV. +0'-0")



2 REAR ELEVATION
D2.2 1/4" = 1'-0"

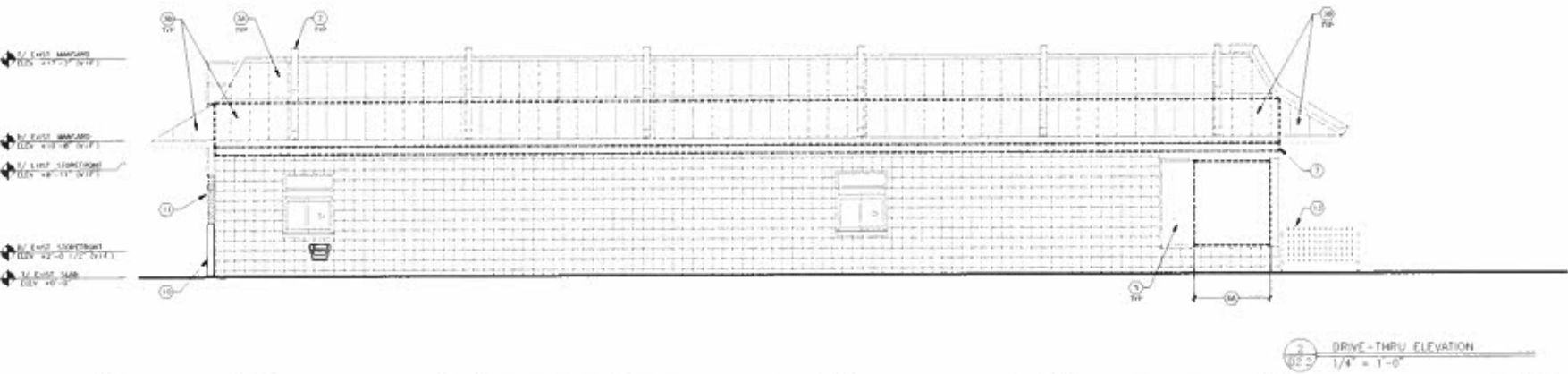
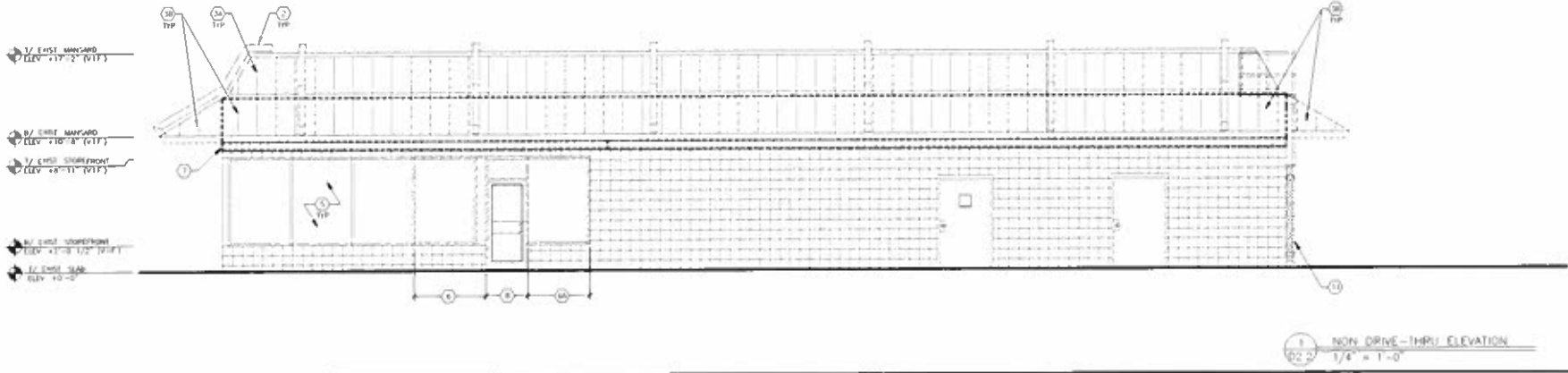
DEMOLITION KEYNOTES (NOT ALL KEY NOTE'S MAY BE USED)

- 1 REMOVE EXISTING SIGNAGE
- 2 REMOVE EXISTING MANFARD LIGHT BEAMS
- 3 REMOVE EXISTING MANFARD LIGHT BEAMS
- 4 REMOVE EXISTING ROOFING AT LOWER AND UPPER PORTION OF DOUBLE MANFARD ROOF
- 5 REMOVE PORTION OF EXISTING MANFARD PROJECTION. ALSO REMOVE WITH EXISTING WALL BELOW
- 6 NOT USED
- 7 REMOVE ALL LONG STUDS AND BEAMS FROM ALL INTERIOR WALLS AND BOARDS
- 8 REMOVE EXISTING GLAZING PANEL AND STOREFRONT FRAMING
- 9 REMOVE EXISTING GLAZING PANEL STOREFRONT FRAMING TO REMAIN
- 10 REMOVE EXISTING TRIM BOARD BACK TO EXISTING PLYWOOD SHEATHING
- 11 REMOVE EXISTING STOREFRONT BOAR TRIMLINE AND ALL ASSOCIATED HARDWARE
- 12 NOT USED
- 13 EXISTING BOLLARD TO REMAIN
- 14 EXISTING POOF LADDER TO REMAIN
- 15 EXISTING COUNTER AND DOWNSPOUT TO REMAIN
- 16 EXISTING GARDEN TO BE REMOVED

LEGEND

- Existing construction to be removed
- EXIST OF EXISTING CONSTRUCTION TO BE REMOVED
- Existing construction to remain

															REV. DATE	DESCRIPTION		
															PROJECT BY McDonald's USA, LLC <small>There are no other trademarks or registered service marks used herein without the express written permission of the owner.</small>			
PROJECT NO. 1000000000 SHEET NO. D2.1 DATE: 06/12/2018 DATE PLOTTED: 06/12/2018 USER: jw... PLOTTER: HP DesignJet 5000 Series															SHEET NO. D2.1 DEMO ELEVATIONS			



- DEMOLITION KEYNOTES** (NOT ALL KEY NOTES MAY BE USED)
- 1 REMOVE EXISTING SIGNAGE
 - 2 REMOVE EXISTING MANFOLD LIGHT BEAMS
 - 3 REMOVE EXISTING SIGNAGE AT CORNER AND UPPER PORTION OF DOUBLE MANFOLD ROOF
 - 4 REMOVE PORTION OF EXISTING MANFOLD STRUCTURE - SIGN LIGHTING AREA (EXIST. WALL BEING)
 - 5 NOT USED
 - 6 REMOVE ALL SILL CHANNELS AND BEAMS FROM ALL WINDOW/WALLS AND ROOF
 - 7 REMOVE EXISTING SLATING PANEL AND VENT/POUR CHIMNEY
 - 8 REMOVE EXISTING SLATING PANEL SHOWERPOUR FRAMES TO REMAIN
 - 9 REMOVE EXISTING SPOUR BEAMS ONLY TO EXISTING SLUICING SCHEDULE
 - 10 REMOVE EXISTING SHOWERPOUR BEAM STRUCTURE AND ALL ASSOCIATED WORKINGS
 - 11 NOT USED
 - 12 EXISTING STRUCTURE TO REMAIN
 - 13 EXISTING ROOF LASTER TO REMAIN
 - 14 EXISTING CEILING AND SHOWERPOUR TO REMAIN
 - 15 EXISTING CEILING, 10' TO BE REMOVED

LEGEND	
(---)	EXISTING CONSTRUCTION TO BE REMOVED
(---	LINERS OF EXISTING CONSTRUCTION TO BE REMOVED
(---	EXISTING CONSTRUCTION TO REMAIN

NO.	DATE	DESCRIPTION



McDonald's USA, LLC
 Project: **WSP PROGRAM - LOW VOLUME CORE 16 2.0**
 Date: **1/18/2018**
 Location: **1600 S. 11TH ST, DENVER, CO 80202**
 Project No: **1600S11**
 Issue No: **01/18/2018**
 Scale: **1/4" = 1'-0"**
 Drawing No: **D2.2**

D2.2
 DEMO ELEVATIONS

ACCESSIBLE AND USABLE BUILDINGS & FACILITIES – ICC ANS A117.1

<p>20 TURNING SPACE AO.1 NOT TO SCALE</p>	<p>12 ACCESSIBLE PARKING AO.1 NOT TO SCALE</p>	<p>8 DOOR CLEARANCES AO.1 NOT TO SCALE</p>
<p>19 MINIMUM CLEAR FLOOR SPACE AO.1 NOT TO SCALE</p>	<p>10 HANDRAIL CLEARANCE AO.1 NOT TO SCALE</p>	<p>7 CRAB BAR SPACING AO.1 NOT TO SCALE</p>
<p>18 TREAD WIDTH/ NOSINGS AO.1 NOT TO SCALE</p>	<p>14 HANDRAIL HEIGHTS AO.1 NOT TO SCALE</p>	<p>6 URINAL HEIGHT & CLEARANCE AO.1 NOT TO SCALE</p>
<p>17b FORWARD REACH AO.1 NOT TO SCALE</p>	<p>11 PROTRUDING OBJECTS AO.1 NOT TO SCALE</p>	<p>5 WHEEL CHAIR TOE CLEARANCE AO.1 NOT TO SCALE</p>
<p>17a SIDE REACH AO.1 NOT TO SCALE</p>	<p>10 TACTILE SIGNS AO.1 NOT TO SCALE</p>	<p>4 GRAB BAR & PROTRUDING DISPENSER WATER CLOSET AO.1 NOT TO SCALE</p>
<p>16 LAVATORY KNEE & TOE CLEARANCES AO.1 NOT TO SCALE</p>	<p>9b NOT USED AO.1 NOT TO SCALE</p>	<p>3 HEIGHT OF RAISED CHARACTERS AO.1 NOT TO SCALE</p>
<p>9a INTERNATIONAL ACCESSIBILITY SYMBOL AO.1 NOT TO SCALE</p>	<p>1 WATER CLOSET & TOILET COMPARTMENTS AO.1 NOT TO SCALE</p>	<p>1 CORE STATES AO.1 NOT TO SCALE</p>

<p>McDonald's USA, LLC</p> <p>These drawings are prepared under license by the undersigned architectural firm for the project described herein. They are not to be used for any other project without the written consent of the undersigned architectural firm. The undersigned architectural firm is not responsible for the accuracy or completeness of the information provided by the client. The undersigned architectural firm is not responsible for any errors or omissions in these drawings. The undersigned architectural firm is not responsible for any changes made to these drawings without its written consent.</p>	<p>DATE _____</p> <p>DESCRIPTION _____</p>
<p>McDonald's USA, LLC</p> <p>These drawings are prepared under license by the undersigned architectural firm for the project described herein. They are not to be used for any other project without the written consent of the undersigned architectural firm. The undersigned architectural firm is not responsible for the accuracy or completeness of the information provided by the client. The undersigned architectural firm is not responsible for any errors or omissions in these drawings. The undersigned architectural firm is not responsible for any changes made to these drawings without its written consent.</p>	<p>DATE _____</p> <p>DESCRIPTION _____</p>

PROJECT NO: _____

SHEET NO: _____

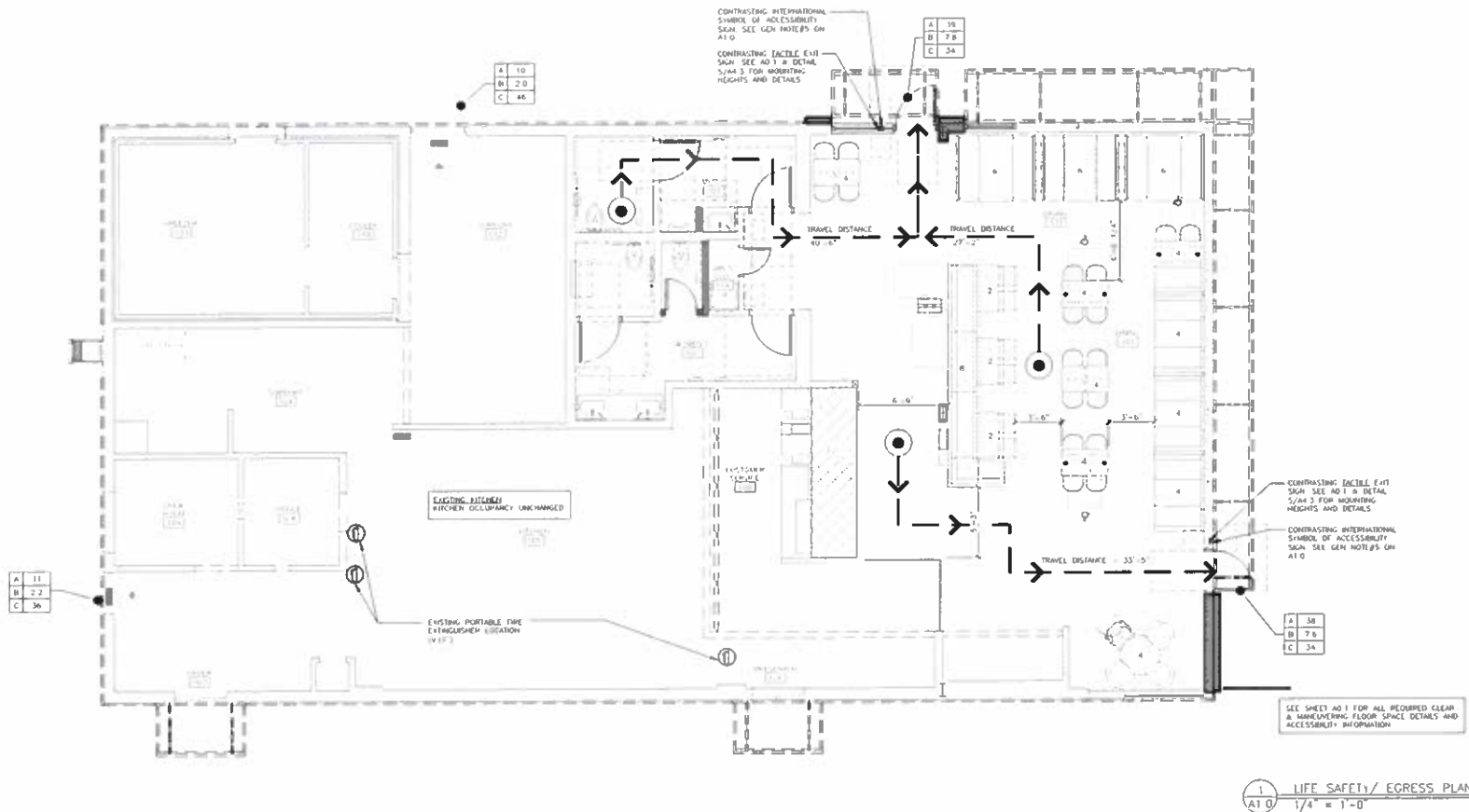
TITLE: **ICC PROGRAM - LOW VOLUME CODE 16.2.0**

DATE: _____

SCALE: _____

REVISIONS:

- 1. CORRECTED SLOPE CALCULATION
- 2. REVISED TO REFLECT CONTRACTOR COMMENTS
- 3. REVISED TO REFLECT CONTRACTOR COMMENTS
- 4. REVISED TO REFLECT CONTRACTOR COMMENTS
- 5. REVISED TO REFLECT CONTRACTOR COMMENTS
- 6. REVISED TO REFLECT CONTRACTOR COMMENTS



GENERAL NOTES

1. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES.
2. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL EGRESS DOORS TO HAVE PANIC HARDWARE.
3. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MARK EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.
4. THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL.
5. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 131 ST. BOCA RON 300 www.forrestpermasign.com NEW ORLEANS, LA 70002
6. PORTABLE FIRE EXTINGUISHERS TO BE 3LB ABC. TRAVEL DISTANCE NOT TO EXCEED 75 FEET. EXISTING LIFE SAFETY EQUIPMENT TO REMAIN. CONTRACTOR TO COORDINATE FINAL LOCATION WITH LOCAL JURISDICTION.
- EXISTING OCCUPANCY UNCHANGED

OCCUPANCY ALLOWANCE

TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT			
FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS
NECESSARY STORE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	550	2
ASSEMBLY WITH FIXED SEATS/TABLES	SEE PLAN	-	68
ASSEMBLY WITHOUT FIXED SEATS (STANDING SPACE)	5 NET	44	9
BUSINESS AREA	100 GROSS	136	2
OFFICE (COMMERCIAL BASED ON FULL KITCHEN STAFF)	700 GROSS	-	17
TOTAL OCCUPANCY ALLOWANCE			98
TOTAL ADA SEATS REQUIRED			4

LIFE SAFETY LEGEND

- — TRAVEL PATH
- START OF TRAVEL
- DIRECTION OF TRAVEL
- EMERGENCY LIGHT
- ⊗ EXIT SIGN
- ⊕ FIRE EXTINGUISHER

EGRESS LEGEND

A	OCCUPANT LOAD AT THIS EXIT
B	REQUIRED EXIT WIDTH
C	PROVIDED EXIT WIDTH

PROJECT FOR: **McDonald's USA, LLC**
 PROJECT NO: **11000001**
 SHEET NO: **A1.0**
 CODE: **ANAL135**

DATE: **JUNE 2015**

SCALE: **1/4" = 1'-0"**

PROJECT: **1100 000 000**

DATE: **06/01/15**

REVISIONS:

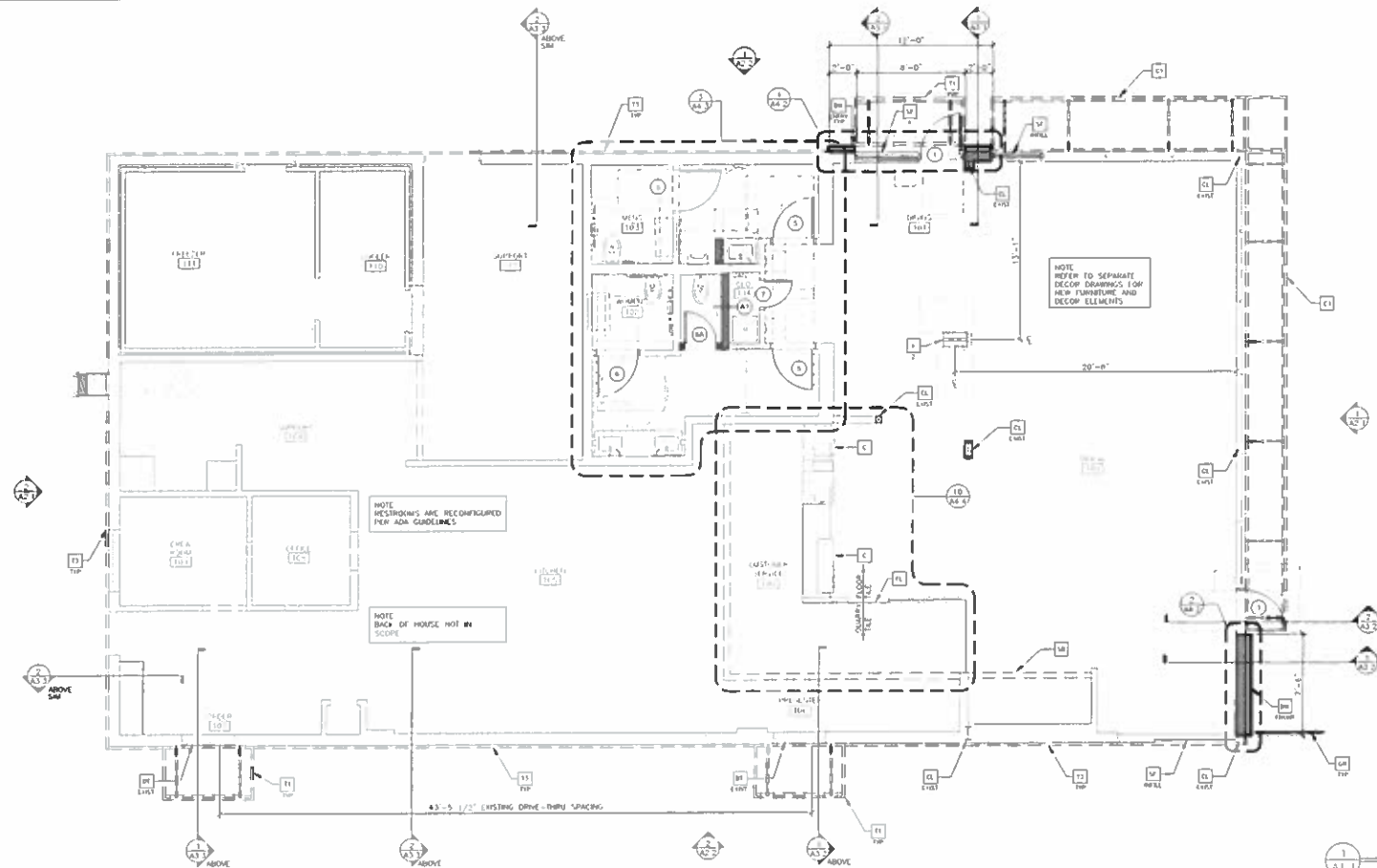
NO.	REV.	DATE	DESCRIPTION

DESIGNED BY: **CONOR MCGUIRE**

CHECKED BY: **JOHN J. COUGHLIN**

APPROVED BY: **JOHN J. COUGHLIN**

GROUP: **CORE STATES**



1 FLOOR PLAN
A1 1/4" = 1'-0"



CORE STATES GROUP
 10010 W. HUNTERS LANE, SUITE 200
 FORT WORTH, TEXAS 76116
 (817) 331-1111
 WWW.CORESTATESGROUP.COM

McDonald's USA, LLC
 These drawings and specifications are the intellectual and proprietary property of McDonald's USA, LLC. They are to be used only for the project and site identified herein. They are not to be used for any other project, site, or purpose without the written consent of McDonald's USA, LLC. McDonald's USA, LLC reserves the right to make changes to these drawings and specifications at any time without notice.

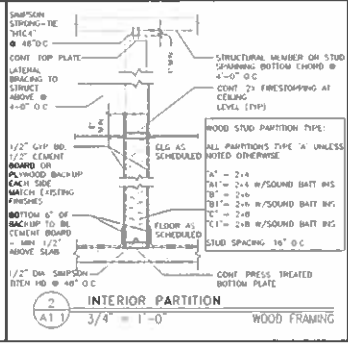
GENERAL NOTES

1. ALL DIMENSIONS ARE TO OUTSIDE FACE OF SUBSTRATE OR MASONRY UNLESS OTHERWISE NOTED (FIN = FINISHED DIMENSIONS). INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD. SEE EXISTING ELECTRICALS FOR WINDOW TYPES.
2. GO TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED BY PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORTRESS PERLA-SIGN, 2325 1ST STREET, BLDG 558, NEW ROCHELLE, NY 10802, WWW.FORTRESSPERLA-SIGN.COM (800)214-8765
3. MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
4. ALL FRAMING LAMBER (SILL PLATES) IN CONTACT WITH CONCRETE SLAB SHALL BE PRESSURE TREATED IN ACCORDANCE WITH IRC.
5. ADJUST ALL WEDGESTAIR (ENTRANCE) DOOR CLOSERS TO A MAXIMUM OF 30in. OPENING/CLOSING FORCE. IN ADDITION, ADJUST CLOSERS TO ACHIEVE A CLOSING TIME OF 5 SECONDS FROM 90 DEGREES TO 12 DEGREES, IF NOT ACHIEVABLE, REPLACE DOOR CLOSER.
6. GO TO COORDINATE ALL REQUIRED BLOCKING FOR WALL MOUNT EQUIPMENT, SHELVES, ETC FOR PROPER INSTALLATION HEIGHTS.
7. ALL KITCHEN EQUIPMENT IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
8. ALL HAND SINKS, VEGETABLE AND 3 COM. SINKS ARE EXISTING TO REMAIN UP AND GO TO COORDINATE THE REMOVAL AND RELOCATION OF THE EXISTING EQUIPMENT WITH THE HES AND ACM.
9. REFER TO THE KITCHEN PLANS FOR FINAL LOCATION OF THE KITCHEN EQUIPMENT.
10. GO TO COORDINATE ALL FINISHES WITH THE ACM.
11. PREPARE ALL EXPOSED SURFACES AND STRUCTURE FOR APPLICATION OF FINISH SUBSTRATE.
12. REMOVE ALL DEBRIS FROM BUILDING @ SITE. DISPOSE OF IN ACCORDANCE W/ STATE & LOCAL CODES.
13. PROVIDE TEMPORARY SUPPORT & BRACING AT ALL WALLS DURING DEMOLITION.
14. ALL NEW HAND SINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A & F.
15. COORDINATE EXISTING AND NEW POWER PANEL LOCATIONS WITH ELECTRICAL DRAWINGS AND ACM.
16. ALL PLUMBING SHALL BE TYPIC RETAINMENT TREATED.

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- PH BRAMBLE WALL
- RF ROOF PLAN
- FR FRONT ENTRY
- D/I DRIVE THRU
- R REAR
- C NEW MODULAR FRONT COUNTER BY OTHERS
- CA ALUMINUM CANOPY BY OTHERS, SEE A-200 & A-300 SERIES
- CI EXISTING STRUCTURAL COLUMN TO REMAIN
- DRIVE-THRU WINDOW BY READY ACCESS - 600 SERIES 30" SERVICE HEIGHT WITH TRANSOM-MANUAL OPEN ELECTRONIC RELEASE. RE-USE EXISTING DRIVE-THRU CIRCULARITY
- FL FLOOR LINE - CHANGE IN MATERIAL
- GN NEW GUARDRAIL TO BE INSTALLED REF DETAIL 12/A4.1
- OR ORDERING - POS - COORDINATE THE EXACT LOCATION WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER. REFERENCE THE HOD-A AND PICK-UP GUIDELINES ON SHEET CH10 - DECKING NUMBER OF WOKS
- RA REMOVE AND REINSTALL SSAB IN EXISTING LOCATION
- ST STRUCTURE SYSTEM TO MATCH EXISTING. SEE A2 SERIES & A5.1 FOR WINDOW TYPES.

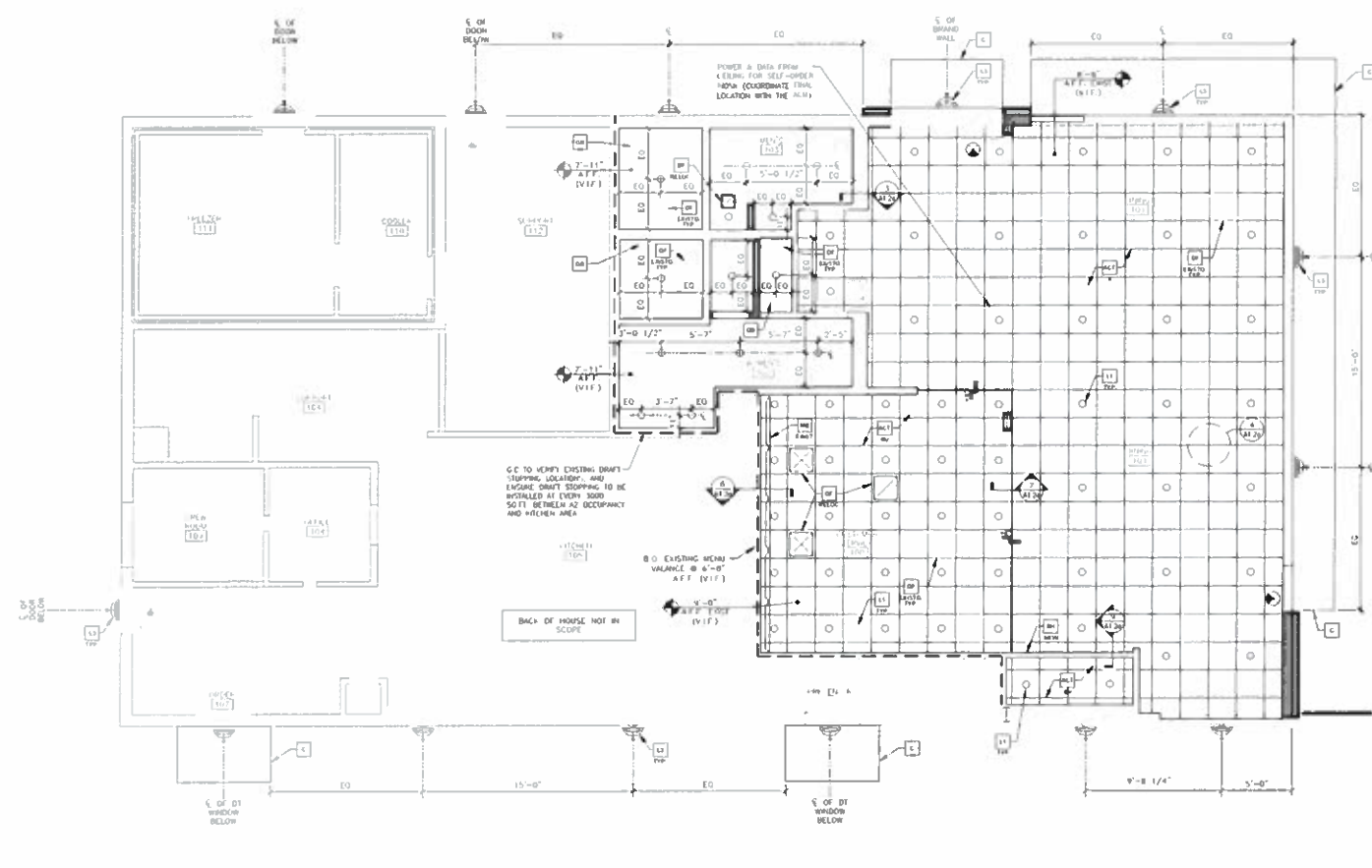
- II ALUMINUM THREATS SYSTEM ABOVE - SEE ROOF PLAN
- III ALUMINUM THREATS EXH WALL FASCHA ABOVE - SEE ROOF PLAN



2 INTERIOR PARTITION
A1 3/4" = 1'-0"

DATE	1/12/21
DESIGNED BY	THE ARCHITECT
CHECKED BY	N. PALOMBO
DATE SUBMITTED	1/12/21
SCALE	AS SHOWN
PROJECT NO.	100-2021-001
CLIENT	100-2021-001
LOCATION	100-2021-001
PROJECT NAME	100-2021-001
PROJECT TYPE	100-2021-001
PROJECT ADDRESS	100-2021-001
PROJECT CONTACT	100-2021-001
PROJECT PHONE	100-2021-001
PROJECT FAX	100-2021-001
PROJECT EMAIL	100-2021-001
PROJECT WEBSITE	100-2021-001
PROJECT NOTES	100-2021-001
PROJECT DESCRIPTION	100-2021-001
PROJECT STATUS	100-2021-001
PROJECT PHASE	100-2021-001
PROJECT BUDGET	100-2021-001
PROJECT SCHEDULE	100-2021-001
PROJECT RISK	100-2021-001
PROJECT COMPLIANCE	100-2021-001
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PROJECT FINANCIAL	100-2021-001
PROJECT OPERATIONAL	100-2021-001
PROJECT MAINTENANCE	100-2021-001
PROJECT DEMOLITION	100-2021-001
PROJECT RECONSTRUCTION	100-2021-001
PROJECT RENOVATION	100-2021-001
PROJECT ADDITION	100-2021-001
PROJECT EXPANSION	100-2021-001
PROJECT MODIFICATION	100-2021-001
PROJECT REPAIR	100-2021-001
PROJECT RESTORATION	100-2021-001
PROJECT PRESERVATION	100-2021-001
PROJECT DEMOLITION	100-2021-001
PROJECT RECONSTRUCTION	100-2021-001
PROJECT RENOVATION	100-2021-001
PROJECT ADDITION	100-2021-001
PROJECT EXPANSION	100-2021-001
PROJECT MODIFICATION	100-2021-001
PROJECT REPAIR	100-2021-001
PROJECT RESTORATION	100-2021-001
PROJECT PRESERVATION	100-2021-001

A1.1
FLOOR PLAN



DECOR NOTE

- FINAL DECOR PLANS BY OTHERS - COORDINATE ALL FEATURE LOCATIONS AND CEILING HEIGHTS WITH DECOR AND ACM

FINISH NOTE

- REPLACE CEILING TILES AND GRID AS SPECIFIED BY SEPARATE DECOR DRAWINGS. COLOR PER THE ACM.
- NEW LIGHT FIXTURES TO CONNECT TO EXISTING CIRCUITRY.
- SEE SEPARATE DECOR DRAWINGS FOR FINAL CEILING CONFIGURATION & DETAILS.

CEILING NOTE

- SEE DETAIL 1/A1 2a FOR LIGHT SUPPORT DETAIL.
- SEE DETAIL 4/A1 2a FOR ACOUSTIC CEILING TRANSITION DETAIL.
- SEE DETAIL 3/A1 2a FOR CEILING CHD DETAIL.
- SEE DETAIL 8/A1 2a FOR MONITOR INSTALLATION INFORMATION.

1 REFLECTED CEILING PLAN
A1.2 1/4" = 1'-0"

GENERAL NOTES

- EXISTING EMERGENCY LIGHTING CONFIGURATION TO REMAIN, UNLESS OTHERWISE NOTED.
- CEILING PLAN PROVIDED FOR PERMITTING PURPOSES ONLY. PLEASE REFER TO DECOR DRAWINGS, UNDER SEPARATE COVER, FOR FINAL CEILING PLAN AND LIGHTING LOCATION.
- INDICATE EXISTING CEILING MOUNTED AIR DEVICES TO ACCOMMODATE DECOR CHANGES. CONTRACTOR SHALL EXTEND DUCT, AS REQUIRED, TO MAKE FINAL CONNECTIONS.

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

1. NEW ACOUSTICAL CEILING TIE - COORDINATE WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER FOR FINISHES

2. ACOUSTICAL CEILING TILE: VINYL FACED USG 24"x24" PREMIER PLUS-ITE CLAMPOUS HATCH PANELS. UNPERFORATED COLOR: FLAT BLACK 205. GRID: USG 15/16" 94/24" COLOR: BLACK

3. BULKHEAD FRAMING, SEE DETAILS ON 4-4

T-HATCH FOR WHERE OCCURS

C CANOPY SYSTEM, SEE A1.1 & A1.3 FOR TYPE & LOCATION

G.C. TO VERIFY WITH OWNER TO REPLACE/RE-NAME, ETC. LAY-IN DIFFUSER COLOR: MATCH ADJACENT CEILING

T-HATCH FOR WHERE OCCURS

4. CHASSIS CEILING, SEE DETAILS ON 4/A-120 & SEPARATE DECOR PACKAGE. MATCH EXISTING WHERE OCCURS

5. LIGHT TIE INTO EXISTING LIGHTING CIRCUITRY - VERIFY SWITCHING REQUIREMENTS. IF/WHEN CONTRACTOR TO VERIFY LOAD ON EXISTING CIRCUITRY DOES NOT EXCEED MANUFACTURER'S RATED. NOTIFY ARCHITECT IF ANY CONFLICTS. CENTER FIXTURES IN CENTER OF ACOUSTICAL CEILING TREATMENT. OWNER CONTRACTOR SHALL PROVIDE SUPPLEMENT EM LIGHTING & ASSOCIATED LED INVERTERS FOR EGRESS LIGHTING PER LIFE SAFETY/NIGHTLIGHTING AT FRONT COURTYARD AREA. V.I.F.

12 NEW LIGHT FOR DECOR TO TIE INTO EXISTING LIGHT CIRCUITRY. SEE ELECTRICAL.

13 NEW EXTERIOR LIGHTING TO TIE INTO EXISTING CIRCUITRY, SEE ELECTRICAL.

14 MESH BOARD WITH MESHES BY OTHERS UNDER SEPARATE PERMIT. SEE DEE PLANS.

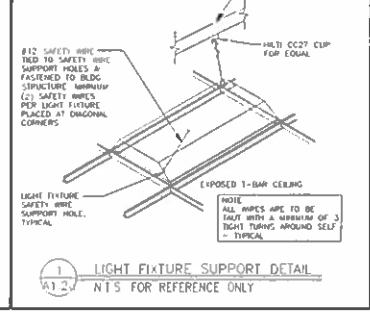
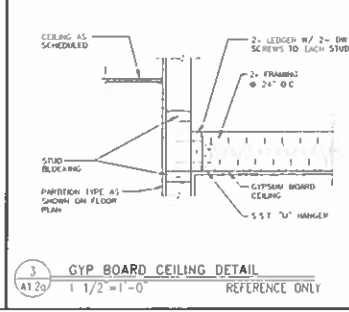
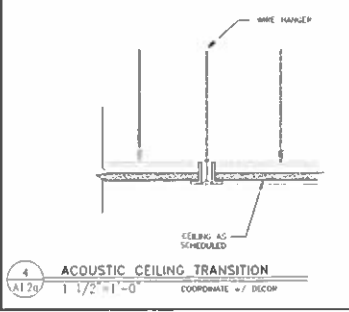
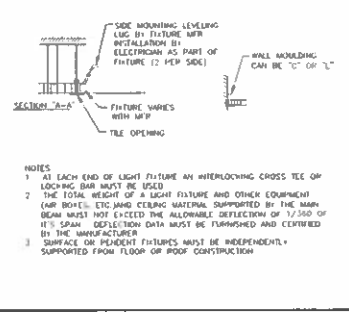
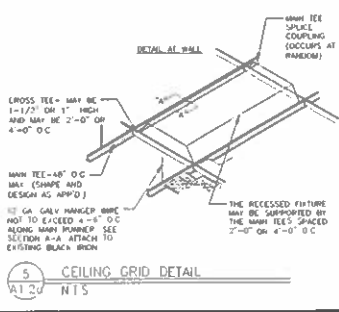
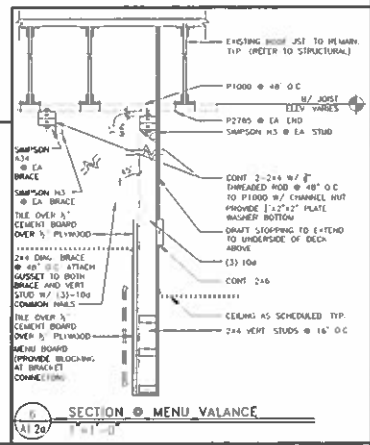
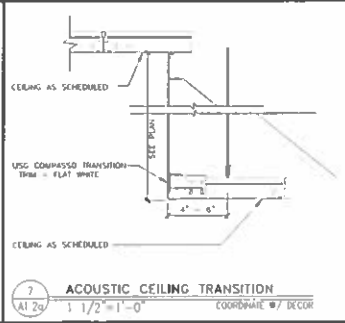
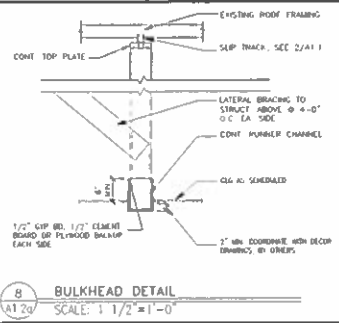
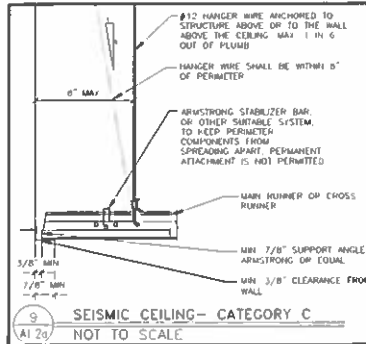
LEGEND

	2'x2' MECHANICALLY SUSPENDED ACOUSTIC CEILING TILE (ACT)		DRUM PENDANT
	RECESSED LED DOWNLIGHT		WALLWASH
	SUPPLY AIR DIFFUSER		TUBE PENDANT
	RETURN AIR DIFFUSER		WALL SCONCE (DOWN LIGHT ONLY)
	PENDANT LIGHT, REFER TO SEPARATE DECOR DRAWINGS		
	DUAL HEAD EMERGENCY LIGHT		
	4'x2' MECHANICALLY SUSPENDED ACOUSTIC CEILING TILE (ACT)		

McDonald's USA, LLC	PROJECT NO. 1120000000	DATE: 07/27/2018	DRAWING NO. 1120000000
	PROJECT NAME: HRP PROGRAM - LOW VOLUME CORE 16.2.0		DATE: 07/27/2018
PROJECT LOCATION: EXISTING STEEL HOOP PROJECT	PROJECT NO.: 1120000000	DATE: 07/27/2018	DRAWING NO.: 1120000000
PROJECT NO.: 1120000000	PROJECT NAME: HRP PROGRAM - LOW VOLUME CORE 16.2.0	DATE: 07/27/2018	DRAWING NO.: 1120000000
PROJECT LOCATION: EXISTING STEEL HOOP PROJECT		PROJECT NO.: 1120000000	DATE: 07/27/2018
PROJECT NAME: HRP PROGRAM - LOW VOLUME CORE 16.2.0		PROJECT NO.: 1120000000	DATE: 07/27/2018
PROJECT LOCATION: EXISTING STEEL HOOP PROJECT		PROJECT NO.: 1120000000	DATE: 07/27/2018

A1.2

REF. CEILING PLAN

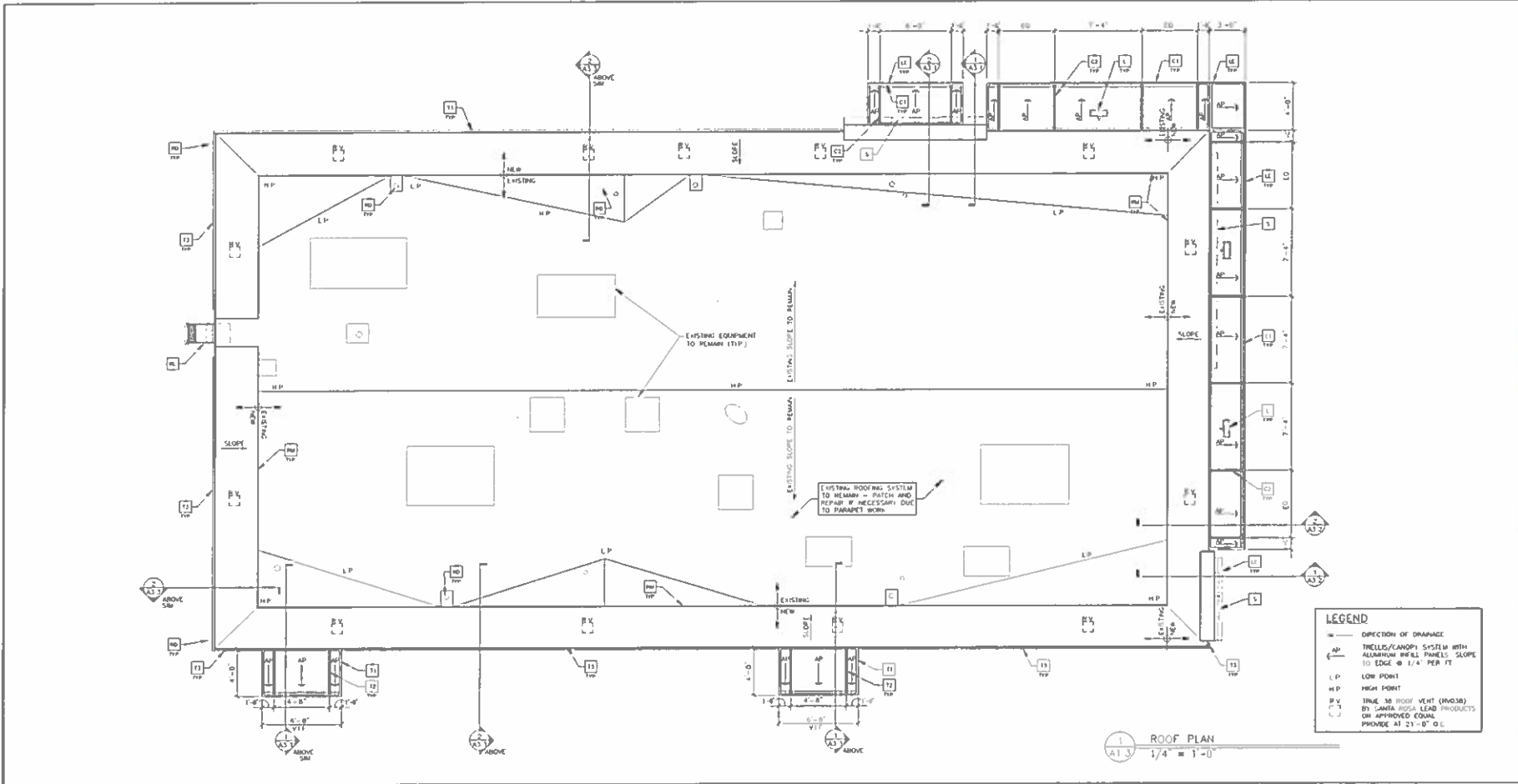


THE IPRD PROGRAM - LOW VOLUME CORE TO 2.0
 EXISTING MOUNTAIN HALL CONSTRUCTION
 EXISTING STEEL ROOF TRUSSES
 DATE OF PROJECT: 04-15-2008
 IPRD PROJECT: 1100 100 NORTH ROAD
 WASHINGTON, IA
 IPRD PROJECT: 1100 100 NORTH ROAD
 WASHINGTON, IA
 IPRD PROJECT: 1100 100 NORTH ROAD
 WASHINGTON, IA

McDonald's USA, LLC
 1100 100 NORTH ROAD
 WASHINGTON, IA 50258

CORE STATES GROUP
 1100 100 NORTH ROAD
 WASHINGTON, IA 50258

IPRD PROJECT: 1100 100 NORTH ROAD
 WASHINGTON, IA 50258

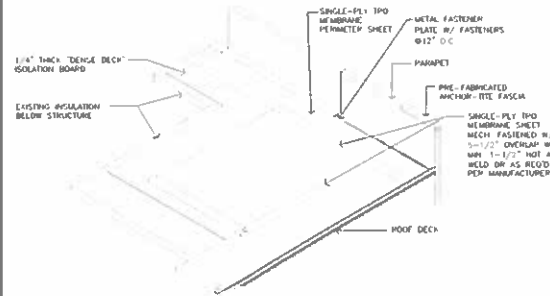


1 ROOF PLAN
1/4" = 1'-0"

LEGEND

- - - - - DIRECTION OF DRAINAGE
- ← TRELLES/CANOPY SYSTEM WITH ALUMINUM WALL PANELS. SLOPE TO EDGE @ 1/4" PER FT.
- LP LOW POINT
- HP HIGH POINT
- RV TRUE 36" ROOF VENT (RV038) BY SANTA ROSA LEAD PRODUCTS OR APPROVED EQUAL. PROVIDE AT 2'-0" O.C.

RE-ROOFING SYSTEM



1. MANUFACTURES AND PRODUCTS
 - a. 3/8" X 24" G-302 ULTRAGUARD AN-TPO
 - b. SLOPED ROOFING SYSTEMS (SRS) - SERRAL
 - c. SLOPED ROOFING SYSTEM (SRS) - SERRAL
 - d. TPO ROOFING SYSTEM AS MANUFACTURED BY ONE OF THE TWO MANUFACTURERS LISTED ABOVE TO COMPLY WITH ASTM D-4478, AND 1MG - 90 FOR WIND UPLIFT
 - e. FASTENERS, METAL FASTENERS AND PLATES AS PER MANUFACTURER
 - f. ACCESSORIES: PVE-FABRICATED (LIMBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING, ETC. AS PER MANUFACTURER)
2. MATERIALS
 - a. 34" WIDE WALK-WAY ROLL, HOT AIR WELDED TO MEMBRANE WITH AS PER MANUFACTURER
 - b. PROVIDE WALKWAYS FROM ROOF LADDER EXIT TO ROOF TOP UNITS AS PER ROOF PLAN ABOVE
 - c. INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION
4. RIGID INSULATION (NOT REQUIRED)
 - a. PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/

- COVER BOARD TO MEET LOCAL CODE REQUIREMENTS - THICKNESS AS REQUIRED. PROVIDE POSITIVE SLOPE TO ROOF DRAIN @ 1/2" PER FOOT MIN. SEE ROOF PLAN. PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS.
- BOTTOM LAYER OF INSULATION OVER 3/4" TYPE "X" EXTERIOR GRADE G-PSIBAN BOARD ASSEMBLY TO COMPLY WITH UL 1254 OR 1MG 4450
- ALTERNATE BOTTOM LAYER: INSULATION WITH INTEGRAL THERMAL BARRIER OR APPROVED ROOFING MANUFACTURER'S THERMAL UNDERLAYMENT SHEET
- 5. IMBEDDED INSULATION (NOT REQUIRED)
 - a. PROVIDE TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. 1/4" PER FOOT MIN. REQUIRED.
- 6. EXHAUST HOODS
 - a. PROVIDE ADDITIONAL ROOF MEMBRANE AROUND EXHAUST HOODS AS INDICATED PER ROOF PLAN ABOVE.

2 ROOFING ASSEMBLY
1/4" = 1'-0"

GENERAL NOTES

1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET (EXCLUDING LP PARAPET AND TERMINATED UNDER CROWN), NOT WELDED TO SEALING STRIP SECURED TO WOOD ROOFING.
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2 OF THIS SHEET.
3. PROVIDE PREFABRICATED METAL CURBS AS WELDED CORONATED. SEE LOCATION AND INSTALLATION REQUIREMENTS WITH M. E. P. & S. SHEETS. PROVIDE CURB LEVELER IN AREAS WHERE ROOF DECK IS PITCHED.
4. CURBS MUST BE INSTALLED AT ALL HVAC UNITS, EXHAUST FANS, COMPRESSOR RAILS AND OTHER THRU-ROOF PENETRATIONS.
5. ALL WOOD USED ON ROOF DECK TO BE PRESSURE TREATED.
6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
7. ALL NEW METAL USED ON ROOF DECK TO BE GALVANNELED.
8. REFERENCE TPO TIE-IN BUILT-UP ROOFING DETAILS ON SHEET A1.3 FOR FLASHING @ EXISTING/NEW ROOF.

KEYNOTES (NOT ALL KEYNOTES MAY BE USED)

- A1 ALUMINUM CANOPY BY OTHERS, SEE A2 & A3 SERIES
- A2 ALUMINUM CANOPY TIE-BACK BY OTHERS, SEE A2 & A3 SERIES
- A3 LIGHT FIXTURE, CENTER BETWEEN DEBACKS (W/O), SEE A2 SERIES A ELECTRICAL
- A4 LINEAR LIGHT FIXTURE REFER TO ELECTRICAL DRAWINGS
- A5 EXISTING ROOF DRAIN TO HELMAN G.C. TO VERIFY EXISTING ROOF DRAIN LOCATIONS
- A6 TPO MEMBRANE OVERLAY AND FLASHING SYSTEM REFER TO 2/4/3
- A7 ROOF LADDER (EXISTING), SEE ELEVATIONS
- A8 MCDONALD'S SIGNAGE BY OTHERS, SEE A2 SERIES (UNDER SEPARATE PERMIT)
- A9 ALUMINUM TRELLES BY OTHERS, SEE A2 & A3 SERIES
- A10 ALUMINUM TRELLES TIE-BACK WALL FASCIA BY OTHERS, A2 & A3 SERIES

McDonald's USA, LLC

PROJECT INFORMATION:

- PROJECT NAME: A1.3 ROOF PLAN
- PROJECT NUMBER: 1155110300
- DATE: 07/23/2018
- ISSUED BY: [Signature]
- DATE: 07/23/2018
- PROJECT #
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REVISIONS:

NO.	DESCRIPTION	DATE

CORE STATES: AL, AR, CA, CO, CT, DC, DE, FL, GA, HI, IA, IL, IN, KS, KY, LA, MA, MD, ME, MI, MN, MO, MS, MT, NC, ND, NE, NH, NJ, NY, OH, OK, OR, PA, RI, SC, SD, TN, TX, VA, VT, WA, WI, WY

PREPARED BY: [Signature]

DATE: 07/23/2018

SCALE: 1/4" = 1'-0"

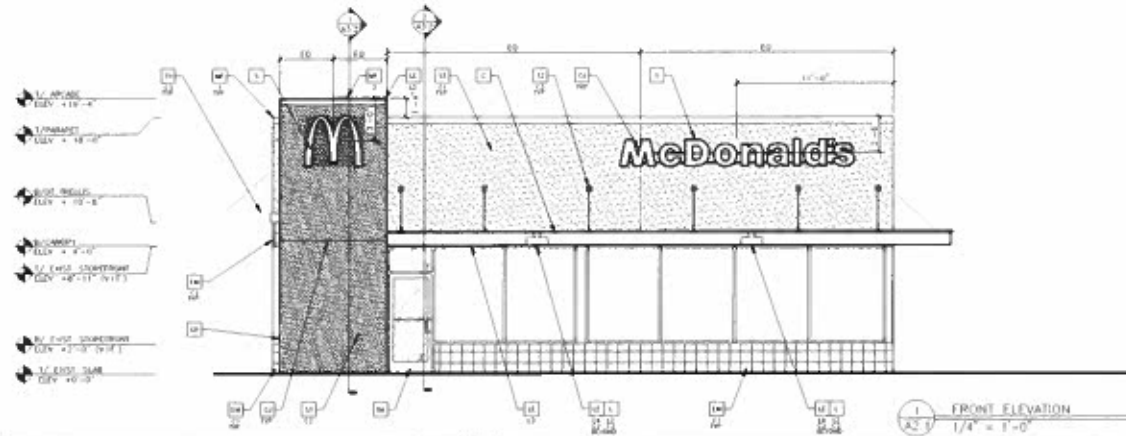
PROJECT #: 1155110300

PROJECT #: 1155110300

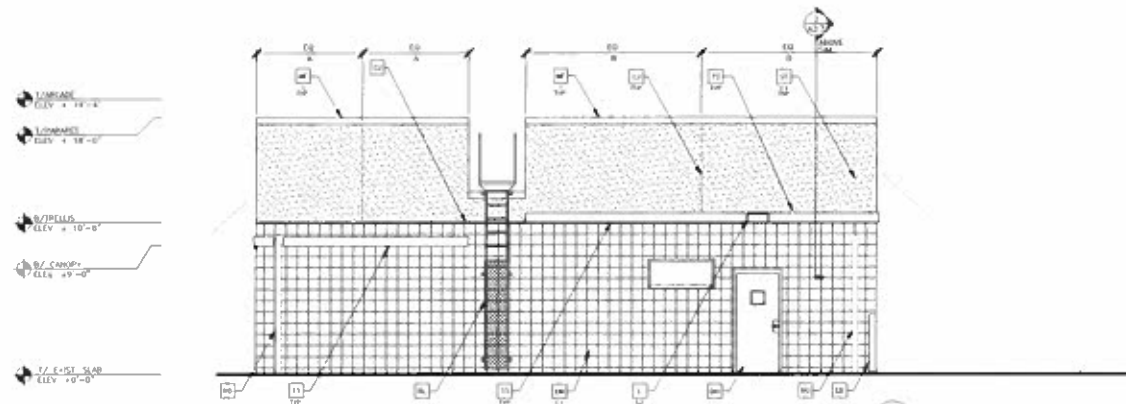
PROJECT #: 1155110300

PROJECT #: 1155110300

PROJECT #: 1155110300



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



SHOP DRAWINGS:
SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES. DRAWING SUBMITTALS SHALL BE REVIEWED BY CONSTRUCTOR TO VERIFY THAT SUBMITTALS IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT. DRAWINGS CREATED BY THE ARCHITECT OR RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL. SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
1. STOREFRONT GLAZING SYSTEM
2. TRILLOS/CANOPY SYSTEM

COLOR SCHEME:
ALL TO CORRESPOND COLOR SCHEME WITH PROJECT MANAGER & LEGAL. SUBMIT COLOR RENDERINGS PRIOR TO CONSTRUCTION. SEE CV SHEET FOR CURRENT REV.

DOORS:
1. STUCCO AND EPS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME: "MODERN SCHEME"
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- 1/1 ALUMINUM CANTY FRAMA SYSTEM (COLOR MATCH)
- 1/2 CONTROL JOINT
- 1/3 ALUMINUM DOOR - REFER TO SHOP SCHEDULES FOR DETAILS
- 1/4 EXTERIOR WALLS WITH COLOR PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- 1/5 EXTERIOR WALLS TO BE PAINTED
- 1/6 EXTERIOR WALLS TO BE PAINTED
- 1/7 EXTERIOR WALLS TO BE PAINTED
- 1/8 EXTERIOR WALLS TO BE PAINTED
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- 1/99 EXTERIOR WALLS TO BE PAINTED
- 1/100 EXTERIOR WALLS TO BE PAINTED

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McDonald's USA, LLC

CORE STATES

GROUP

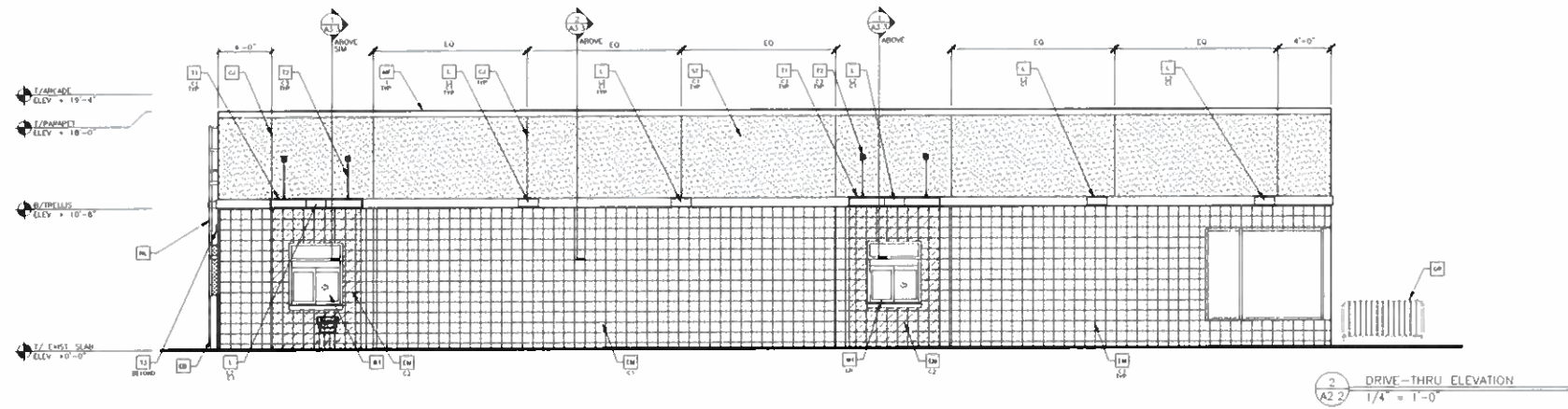
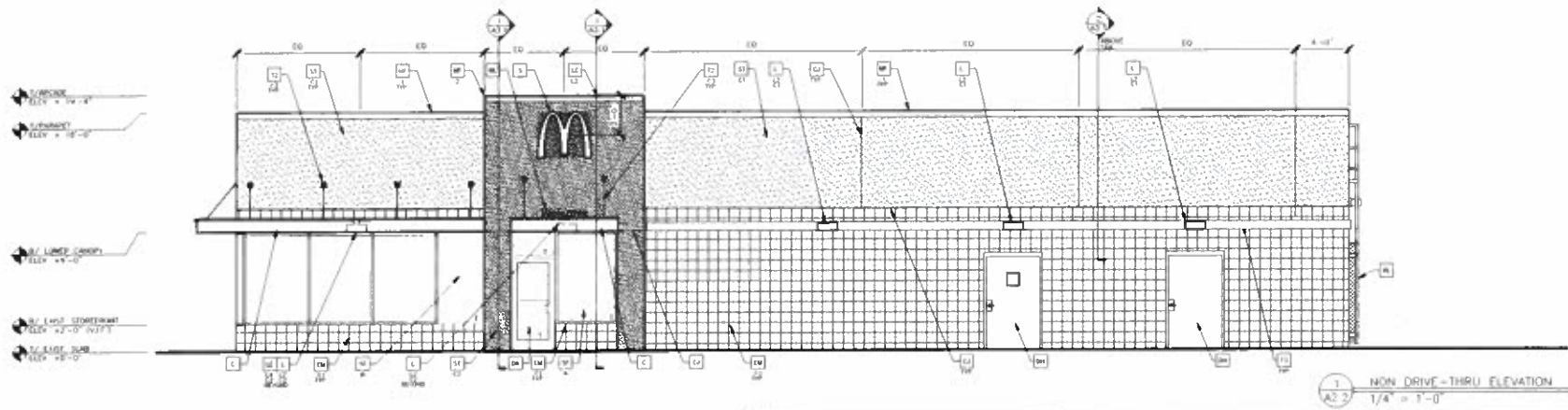
McDonald's USA, LLC

NEW BRIDGEWAY - LOW VOLUME

CORE LE 2.0

A2.1

ELEVATIONS



SHOP DRAWINGS
 SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.
 SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT.
 DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
 SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 1. STOREFRONT GLAZING SYSTEM
 2. TRIPOLLS/CANOPY SYSTEM

COLOR SCHEME NOTE
 1. TO CONFIRM COLOR SCHEME WITH PROJECT MANAGER A LEGAL SUBMISSION COLOR RENDERINGS PRIOR TO CONSTRUCTION SEE CV SHEET FOR CONTACT INFO.

NOTES
 1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

COLOR SCHEME: 'MODERN SCHEME'
 (SEE ELEVATION NETWORKS FOR MATERIALS AND COLOR SPECIFICATIONS)

KEYNOTES (NOT ALL KEY NOTES MAY BE USED)

- | | | |
|---|--|---|
| <p>C ALUMINUM CANOPY FASCIA SYSTEM (COLOR WHITE)</p> <p>CP CONTROL JOINT</p> <p>DM ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS</p> <p>DM EXTERIOR-HOLLING METAL COLOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> <p>EM EXISTING BOLLARD TO REMAIN PAINT TO MATCH BUILDING COLOR</p> <p>EM EXISTING MASONRY TO BE PAINTED</p> <p>AA COLOR
 C1 = CHELSEA GRAY 1134-30 BY BENJAMIN MOORE
 C2 = DON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>AW NEW CLAUSTRAL PAINT TO MATCH BUILDING BEYOND</p> <p>L LIGHT FIXTURE - SEE ELECTRICAL TYPE
 L1 = UP AND DOWN SCROLL
 L2 = DOWN DRILL SCROLL
 L3 = PRELUMEN DOWN FIXTURE
 L4 = HAWKER
 C1 = SILVER
 C2 = WHITE</p> | <p>LE INCIDENT LIGHTING - SEE ELECTRICAL</p> <p>LE LED LIGHT</p> <p>L1 UP AND DOWN FIXTURE
 L2 DOWN DRILL FIXTURE
 L3 PRELUMEN DOWN FIXTURE
 L4 FLOOD LIGHT</p> <p>MP METAL FASCIA - COLOR CITYSCAPE</p> <p>PRE PRE-FAB ANCHOR-ITE FASCIA
 PRE PRE-FAB CUSTOM SHADE FASCIA</p> <p>MA METAL LETTERING - BY OTHERS</p> <p>EM EXISTING ROOF LUMBER PAINT TO MATCH BUILDING PICTURE</p> <p>NO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S WOODWORK'S STAINING TYPE</p> <p>T TRIM & - SEE TRIMAGE PACKAGE</p> <p>ST STOREFRONT SYSTEM AND GLAZING - SEE A11 FOR PLAN LOCATION & A11 FOR WINDOW TYPES & WINDOW TYPE</p> | <p>ST STUCCO EXTERIOR FINISH</p> <p>AA COLOR
 C1 = COLOR
 C2 = CHELSEA GRAY 1134-30 BY BENJAMIN MOORE
 C3 = DON MOUNTAIN 2134-30 BY BENJAMIN MOORE</p> <p>G EMPOWRED GLAZING</p> <p>TR ALUMINUM TRIPOLLS SYSTEM</p> <p>TR COLOR
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CRYSTALLINE
 L1 = GOLD</p> <p>TR ALUMINUM TRIPOLLS REC-BACK SYSTEM</p> <p>AW COLOR
 C1 = CITYSCAPE
 C2 = WHITE
 C3 = CRYSTALLINE</p> <p>TR ALUMINUM TRIPOLLS 2" x 6" WALL FASCIA SYSTEM COLOR CITYSCAPE</p> <p>EM EXISTING DRIVE-THRU WINDOW</p> |
|---|--|---|

<p>McDonald's USA, LLC</p> <p>These drawings are the property of McDonald's USA, LLC. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, without the prior written permission of McDonald's USA, LLC. All rights reserved.</p>	<p>CORE STATES</p> <p>ARCHITECTURAL GROUP</p>
<p>PROJECT NO. 100-00000000-00</p> <p>DATE: 10/15/2019</p> <p>SCALE: 1/4" = 1'-0"</p>	<p>PROJECT: 100-00000000-00</p> <p>DATE: 10/15/2019</p> <p>SCALE: 1/4" = 1'-0"</p>
<p>PROJECT: 100-00000000-00</p> <p>DATE: 10/15/2019</p> <p>SCALE: 1/4" = 1'-0"</p>	<p>PROJECT: 100-00000000-00</p> <p>DATE: 10/15/2019</p> <p>SCALE: 1/4" = 1'-0"</p>
<p>A2.2</p> <p>ELEVATIONS</p>	

TRELLIS & CANOPY SYSTEMS

CANOPY INFORMATION SHOWN BY CONSTRUCTION DOCUMENTS ARE FOR DESIGN REVIEW ONLY - APPROVED MANUFACTURERS BELOW SHALL PROVIDE A COMPLETE AND LEGAL COMPLIANT FINAL DESIGN.

FASCIA (TRELLIS) CONT 2"x8" PREFINISHED ALUMINUM TUBE
FASCIA (CANOPY) CONT 12" WHITE ALUMINUM WITH LED DOWN-LIGHT
FUTURE OVER 2"x8" PAINTED ALUMINUM TUBE

PROVIDE CLOSURE PEECE WHERE THESE LINES ARE EXPOSED
OUTRIGGERS (TRELLIS) PREFINISHED 2"x8" ALUMINUM TUBE
OUTRIGGERS (CANOPY) PREFINISHED 2"x8" ALUMINUM TUBE

TRIMCAIS (TRELLIS) PREFINISHED ALUMINUM THREADED RODS BY MPH
TRIMCAIS (CANOPY) PREFINISHED ALUMINUM THREADED RODS BY MPH

LOCATIONS AS INDICATED ON ROOF PLAN. FINAL LOCATIONS AND QUANTITY SHALL BE AS INDICATED ON TRELLIS INSTALLATION DRAWINGS.

WHERE INDICATED ON ROOF PLAN PROVIDE PREFINISHED ALUM PANEL INRILL (TRELLIS) OR WHITE ALUMINUM PANEL INRILL (CANOPY) TO PROVIDE POSITIVE SLOPE FOR DRAINAGE.

SYSTEM SHALL ALLOW FOR MOVEMENT AT EXPANSION JOINTS AND FOR MOVEMENT OF EXTERIOR WALL SYSTEMS ON WHICH THE TRELLIS OR CANOPY IS MOUNTED.

STRUCTURAL ATTACHMENTS AND LOAD CALCULATIONS SHALL BE FURNISHED BY TRELLIS OR CANOPY SYSTEM DESIGNER OF RECORD. SUPPLIER'S DESIGNER OF RECORD SHALL DESIGN PER PRELIMINARY CODES.

TRELLIS AND CANOPY SYSTEM MAY BE SELECTED FROM ONE OF THE SUPPLIERS LISTED BELOW. EQUIVALENT SYSTEMS FROM NON-APPROVED SUPPLIERS SHALL BE SUBMITTED TO MCDONALD'S U.S. RESTAURANT DESIGN FOR REVIEW AND APPROVAL OF DESIGN INTENT. ALL NON-APPROVED SUPPLIERS SHALL MEET ALL OF THE REQUIREMENTS OF THIS SECTION.

MANUFACTURER SHALL PROVIDE INSTALLER WITH INSTALLATION INSTRUCTIONS. MANUFACTURER SHALL DESIGN TRELLIS AND CANOPY IN ACCORDANCE WITH THE WALL SYSTEM AND BLOCK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.

INSTALLER SHALL NOTIFY TRELLIS AND CANOPY DESIGNER OF RECORD, MCDONALD'S A/C, C.C. AND ARCHITECT OF RECORD FOR ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR PROPER INSTALLATION OF THE TRELLIS AND CANOPY SYSTEM. TRELLIS AND CANOPY SHALL NOT BE INSTALLED UNTIL DEFICIENCIES HAVE BEEN CORRECTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND THE TRELLIS AND CANOPY'S MANUFACTURER'S INSTALLATION INSTRUCTIONS.

TRELLIS SYSTEM BY:
GREEN HECK (715) 355-3942 ALL-LITE (817) 509-2300
WWW.GREENHECK.COM WWW.ALLLITE.COM
TILLER FASCIA AND LED LIGHTING BY:
EVERWHITE (800) 457-6075 PERSONA (800) 843-8888
WWW.EVERWHITE.COM WWW.PERSONASIGNS.COM

EXTERIOR WINDOW ASSEMBLY

- ALUMINUM FRAME (CONTRACTOR TO CONFIRM EXISTING MATERIAL AND COLOR). THERMALLY BROKEN WITH HEAD RECEIVER CHANNEL.
- 1" INSULATED GLAZING - SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF THERMED GLAZING.
- PROVIDE FLASHING AT HEAD AND SILL - CONTINUOUS SEALANT.
- PROVIDE WEIR GAP AT EXTERIOR MASONRY SILL LINE.
- 1/2" SOLID SURFACE (CORIAN) SILL AT INTERIOR.
- DRAINAGE GLASS - COATING OVER INSULATED GLAZING - SEE OPERA-COAT 300 OR APPROVED EQUAL.

NOTE: C.C. TO VERIFY MATERIAL AND COLOR OF STOREFRONT AND DRIVE-THRU SYSTEM.

11 EXTERIOR WINDOW SYSTEM

A3.0

INTERIOR WINDOW ASSEMBLY

- ALUMINUM FRAME (MATCH EXISTING EXTERIOR MATERIAL AND COLOR).
- 1/4" SINGLE PANE TEMPERED GLAZING.
- BACKER ROD AND SEALANT AT FRAME.
- 1/2" SOLID SURFACE (CORIAN) SILL AT INTERIOR.

NOTE: C.C. TO VERIFY MATERIAL AND COLOR OF EXTERIOR STOREFRONT COLOR ON INTERIOR STOREFRONT TO MATCH EXTERIOR STOREFRONT.

8 INTERIOR WINDOW SYSTEM

A3.0

5 NOT USED

A3.0

GENERAL NOTES

- C.C. TO VERIFY ALL EXISTING CONSTRUCTION & INFORM THE ARCHITECT IF THERE ARE CONFLICTS WITH THE DRAWINGS.
- CEILING HEIGHT TO BE DETERMINED BY DESIGN PROVIDER UNDER SEPARATE SUBMITTAL.
- C.C. TO VERIFY CEILING HEIGHT DOES NOT CONFLICT WITH THE SPACE REQUIRED TO ACCOMMODATE THE HVAC & LIGHTING SYSTEMS. C.C. TO NOTIFY ARCHITECT & OWNER IF CONFLICT OCCURS.
- PARTY/WRECKER EXISTING FLOOR SHEATHING DAMAGED DURING DEMOLITION.
- ALL STRUCTURAL CONNECTIONS: FRAMING SIZE/SPACING, BLOCKING, ETC. SHOWN ON THESE SHEETS ARE TO BE VERIFIED WITH STRUCTURAL DRAWINGS IF INCLUDED/REQUIRED FOR CONSTRUCTION & DETAILS.
- INFORMATION ON STRUCTURAL DRAWINGS ARE TO TAKE PRECEDENCE ** ALL TIPS TO OVERLAP EXISTING ROOF SYSTEM AS SHOWN. ATTACH TO EXISTING PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOF FRAMING TO MAINTAIN 1/4" PER FOOT SLOPE (MIN).
- EXISTING MANUFACTURED ROOFING AND METAL COPING AT UPPER PORTION OF WAREHOUSE TRUSS AS REQUIRED. CUT EXISTING TRUSS OVERHANG TO INSTALL NEW PARAPET BUILD-UP. EXISTING DRAWTOP TO REMAIN AND FLOORWOOD SHEATHING TO REMAIN.
- CEILING:
- TO PROVIDE MINIMUM 2'-1/8" (OR 3/8") BR/IRING BETWEEN STUDS FOR SCAFFOLD CORRECTION BLOCKING TO ATTACH TO STUDS WITH 2X4S (AS INDICATED IN THE DRAWING).
- INTERIOR SIDE OF ALL FRAMING TO BE 5/8" GYP-SHM WALL BOARD OVER "VERTICATED WEATHER" SMART JAMBOR BARRIER (3/8" PERMEABLE) OR EQUAL. OVER UNFACED BATT INSULATION AS NOTED.
- DO NOT BLOCKING JOISTS.
- PROVIDE FIREBLOCKING AT WALL & CEILING/ATTIC TRANSITIONS.
- PROVIDE 5/8" EXTERIOR GRADE FIREBLOCKING GYPSUM SHEATHING OVER STUDS OVER 2'-0" MAX.
- ALL LUMBER IN DIRECT CONTACT W/ CONCRETE FLOOR & METAL ARE TO BE PRESURE TREATED AS PROVIDED BY CODE.

12 TRELLIS, CANOPY, & SUNSCREEN SYSTEMS

A3.0

9 EXTERIOR WALL ASSEMBLY

A3.0

6 NOT USED

A3.0

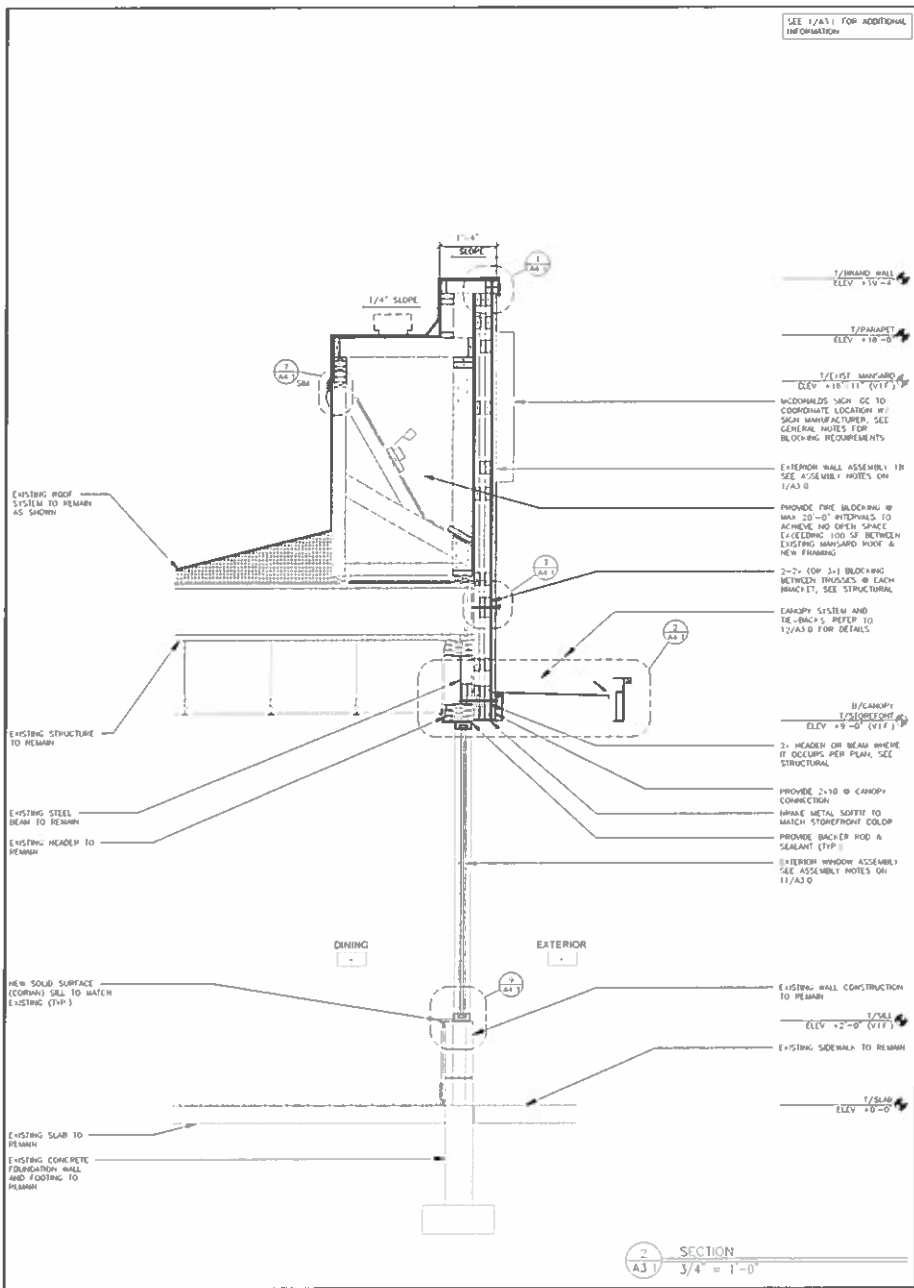
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A3.0

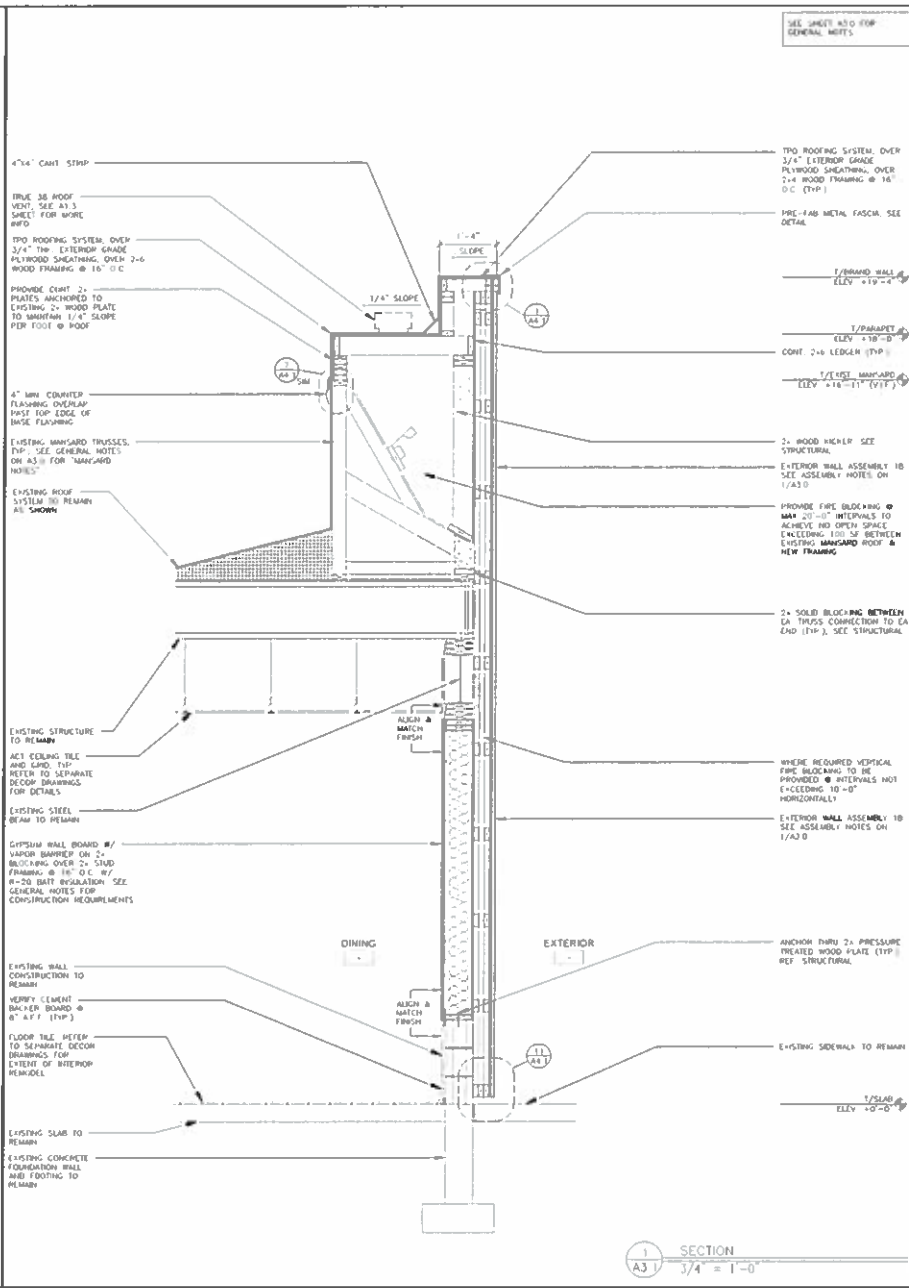
1 EXTERIOR WALL ASSEMBLY

A3.0

PROJECT: CORE STATES
OWNER: McDonald's USA, LLC
DESIGNER: [Firm Name]
DATE: [Date]
SCALE: [Scale]
SHEET NO: [Sheet Number] OF [Total Sheets]
REVISIONS: [List of Revisions]
APPROVED BY: [Signature]
DATE: [Date]



SECTION
A3.1
3/4" = 1'-0"



SECTION
A3.1
3/4" = 1'-0"

SEE SHEET A3.0 FOR GENERAL NOTES.

NO.	DATE	DESCRIPTION

1/4" SLOPE

1/2" PARAPET WALL
ELEV +10'-0"

1/2" MASONRY WALL
ELEV +18'-11" (E.V.F.)

4" MIN COUNTER FLASHING OVERLAP HALF TOP EDGE OF BASE FLASHING

EXISTING MANSARD TRUSSES
TOP - SEE GENERAL NOTES ON A3.1 FOR 'MANSARD NOTES'

EXISTING ROOF SYSTEM REMAIN AS SHOWN

2" WOOD HEELER
SEE STRUCTURAL

EXISTING WALL ASSEMBLY 10
SEE ASSEMBLY NOTES ON 1/A3.0

PROVIDE FIRE BLOCKING @ MAX 2'-0" INTERVALS TO ACHIEVE NO OPEN SPACE EXCEEDING 100 SF BETWEEN EXISTING MANSARD ROOF & NEW FRAMING

2" SOLID BLOCKING BETWEEN EA TRUSS CONNECTION TO EA END (TYP). SEE STRUCTURAL

WHERE REQUIRED VERTICAL FIRE BLOCKING TO BE PROVIDED @ INTERVALS NOT EXCEEDING 10'-0" HORIZONTALLY

EXISTING WALL ASSEMBLY 10
SEE ASSEMBLY NOTES ON 1/A3.0

ANCHOR THRU 2" PRESSURE TREATED WOOD PLATE (TYP) REF. STRUCTURAL

EXISTING SIDEWALKS TO REMAIN
ELEV +0'-0"

EXISTING WOOD FRAMING OVER 3/4" EXTERIOR GRADE PLYWOOD SHEATHING OVER 2x4 WOOD FRAMING @ 16" O.C (TYP)

PRE-CAST METAL FASCIA SEE DETAIL

1/2" MASONRY WALL
ELEV +10'-0"

CONC 2x4 LEDGER (TYP)

1/2" MASONRY WALL
ELEV +18'-11" (E.V.F.)

PROJECT NO.	11-13-2024
DATE	11-13-2024
DRAWN BY	ASAP
CHECKED BY	ASAP
DATE	11-13-2024
PROJECT	11-13-2024
SCALE	1/4" = 1'-0"
PROJECT NAME	MCDONALD'S USA, LLC
PROJECT ADDRESS	11-13-2024
CITY	11-13-2024
STATE	11-13-2024
COUNTY	11-13-2024
FEDERAL DISTRICT	11-13-2024
PROJECT NO.	11-13-2024
PROJECT NAME	MCDONALD'S USA, LLC
PROJECT ADDRESS	11-13-2024
CITY	11-13-2024
STATE	11-13-2024
COUNTY	11-13-2024
FEDERAL DISTRICT	11-13-2024

McDonald's USA, LLC

PROJECT ADDRESS: 11-13-2024

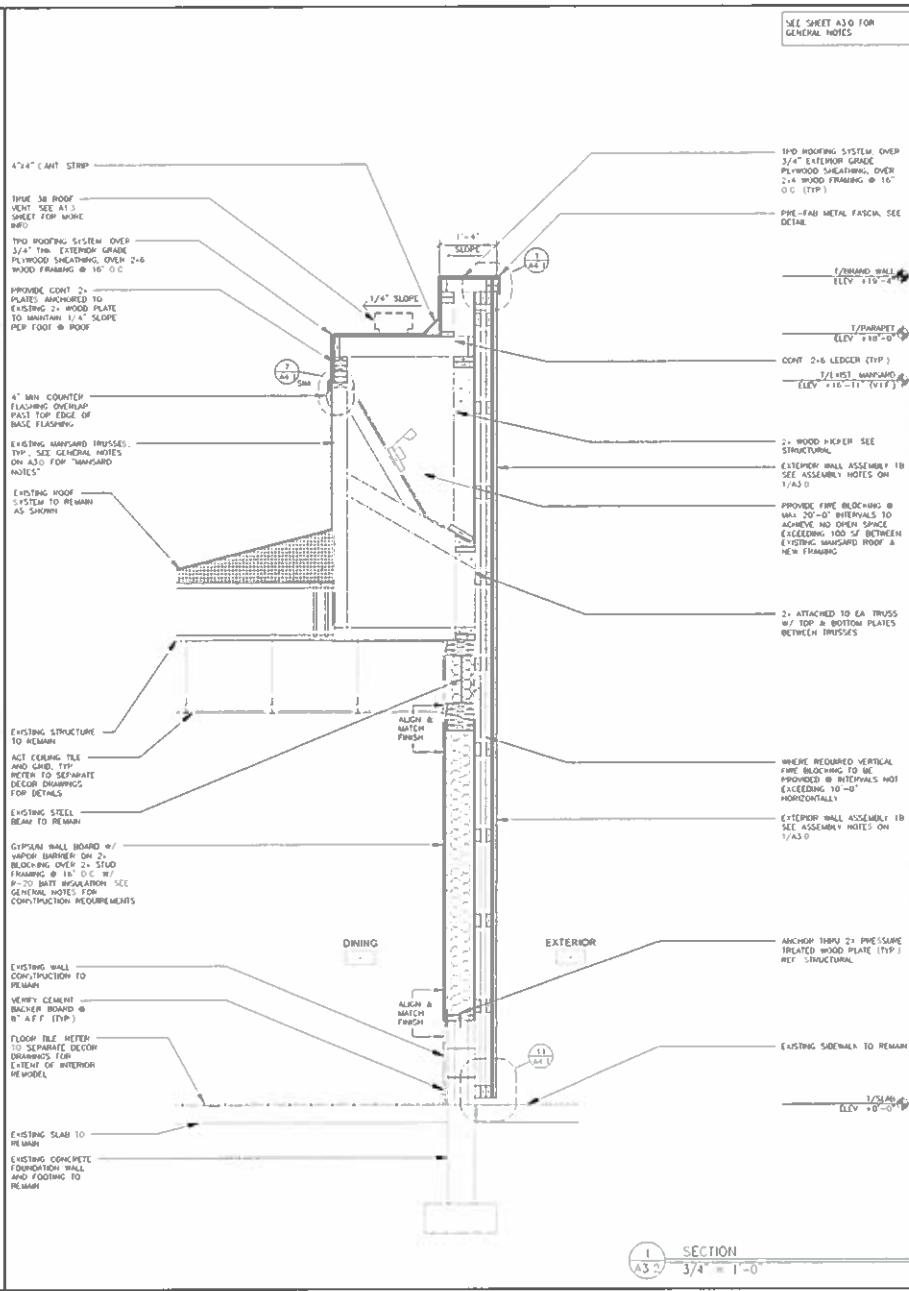
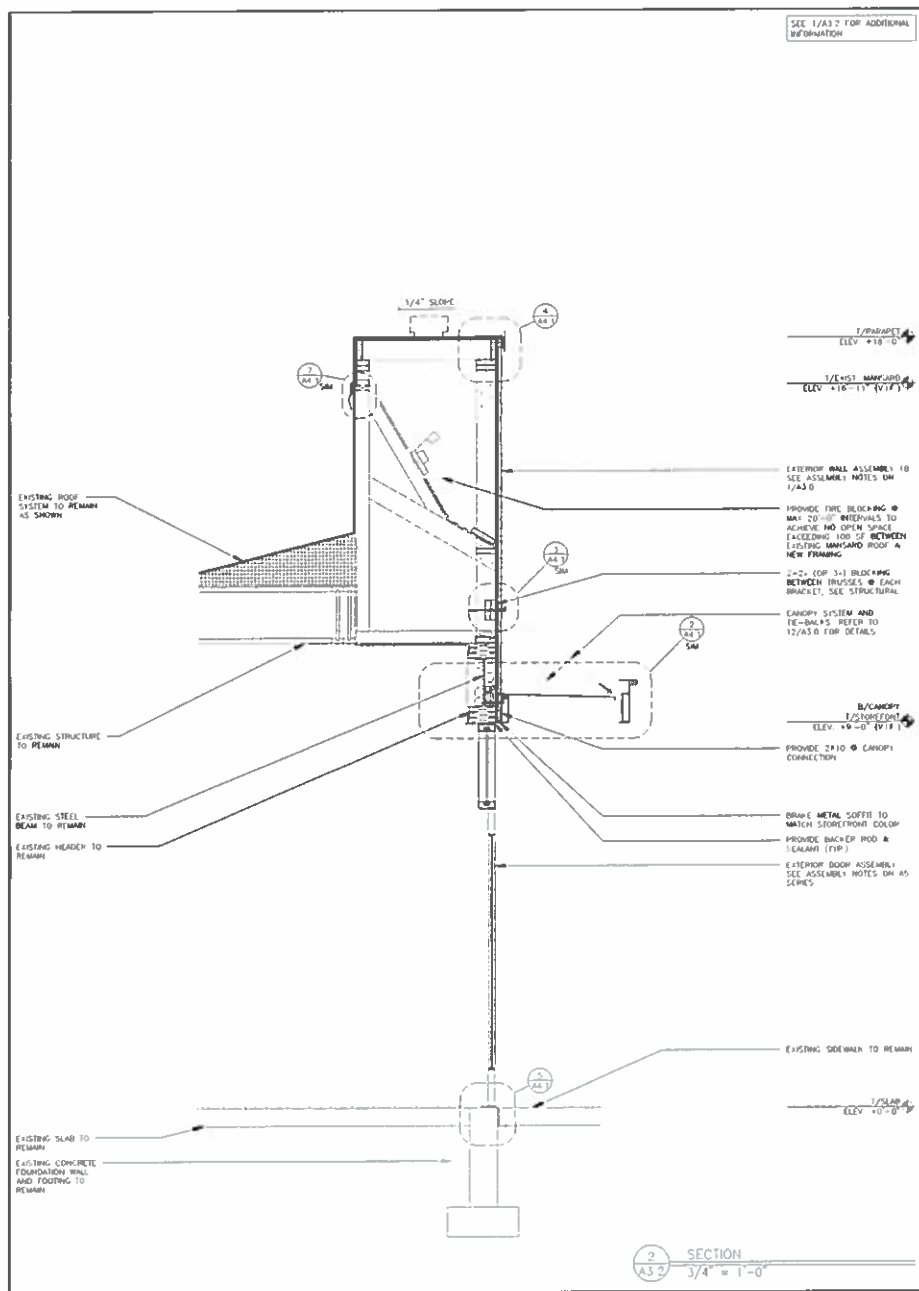
CITY: 11-13-2024

STATE: 11-13-2024

COUNTY: 11-13-2024

FEDERAL DISTRICT: 11-13-2024

A3.1
WALL SECTIONS



SEE 1/A3.2 FOR ADDITIONAL REGISTRATION

SEE SHEET A3.0 FOR GENERAL NOTES

SECTION 1/4" = 1'-0"

SECTION 1/4" = 1'-0"

NO.	REVISION	DATE	DESCRIPTION

<p>DESIGNED BY: MCDONALD'S USA, LLC</p> <p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>	<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>
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<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>	<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>
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<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>	<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>
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<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>	<p>PROJECT NO.: 16-020</p> <p>DATE: 07/20/16</p> <p>SCALE: AS SHOWN</p>
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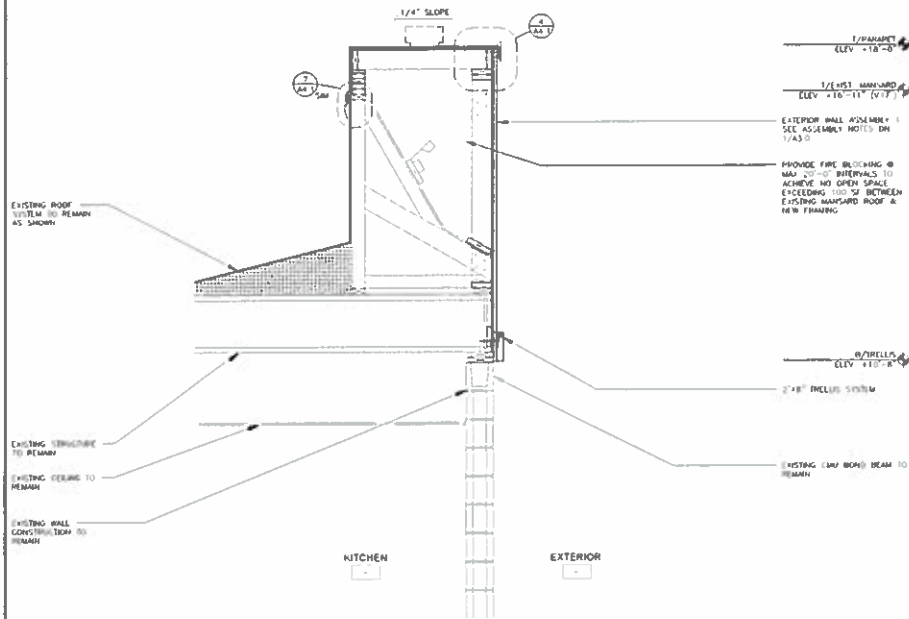


McDonald's USA, LLC
 16-020
 07/20/16
 AS SHOWN

SECTION 1/4" = 1'-0"

SEE 1/A3.3 FOR ADDITIONAL INFORMATION

SEE SHEET A3.0 FOR GENERAL NOTES



EXISTING ROOF SYSTEM TO REMAIN AS SHOWN

EXISTING STRUCTURE TO REMAIN

EXISTING CEILING TO REMAIN

EXISTING WALL CONSTRUCTION TO REMAIN

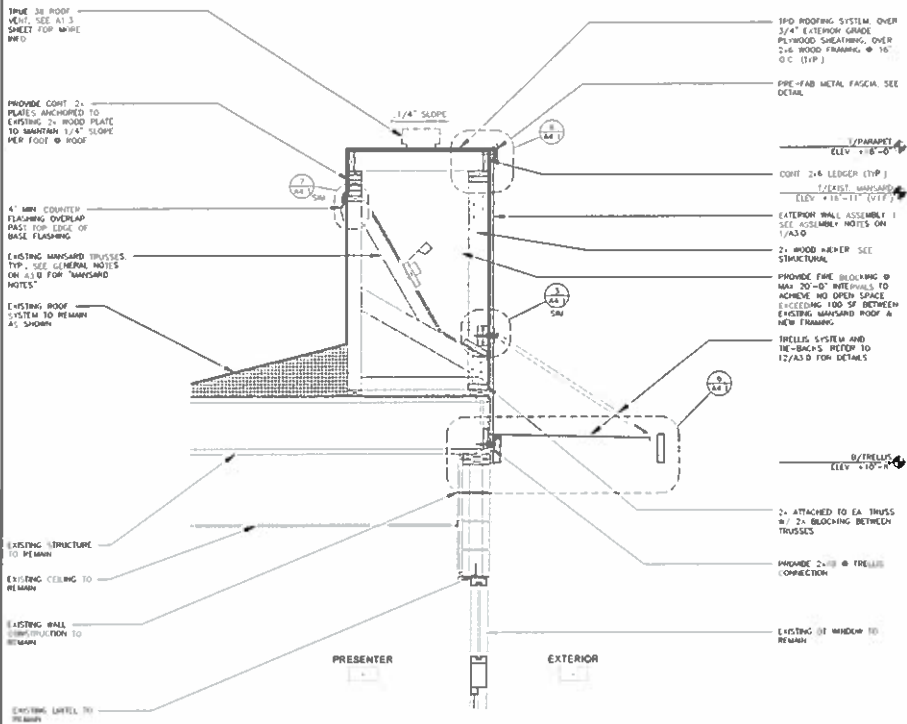
1/PANACEA ELEV +10'-00"

1/2\"/>

8\"/>

EXISTING LVL BEAM TO REMAIN

SECTION 2
A3.3
3/4" = 1'-0"



TIME 28 ROOF VENT. SEE A1.3 SHEET TOP W/ R/W B/W

PROVIDE COHT 2\"/>

4\"/>

EXISTING ROOF SYSTEM TO REMAIN AS SHOWN

EXISTING STRUCTURE TO REMAIN

EXISTING CEILING TO REMAIN

EXISTING WALL CONSTRUCTION TO REMAIN

EXISTING LVL BEAM TO REMAIN

1/PANACEA ELEV +10'-00"

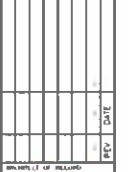
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EXISTING LVL BEAM TO REMAIN

SECTION 1
A3.3
3/4" = 1'-0"

NO.	DATE	DESCRIPTION



ISSUED FOR PROJECT:

CORE STATES GROUP

14399

McDonald's USA, LLC

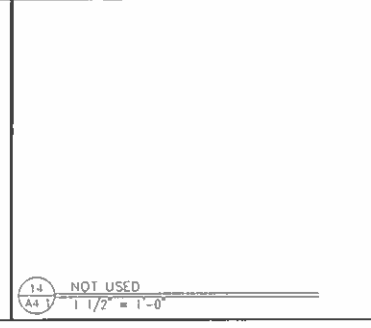
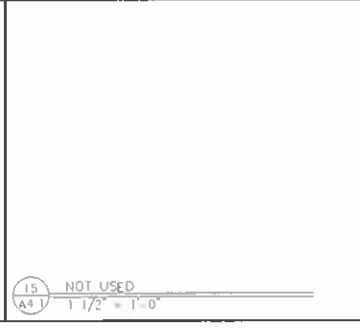
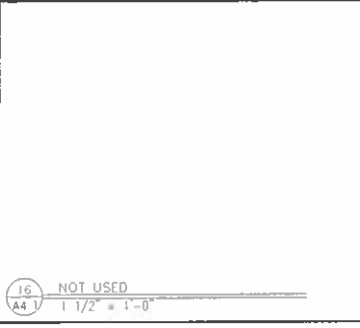
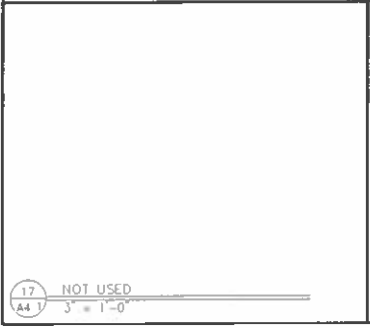
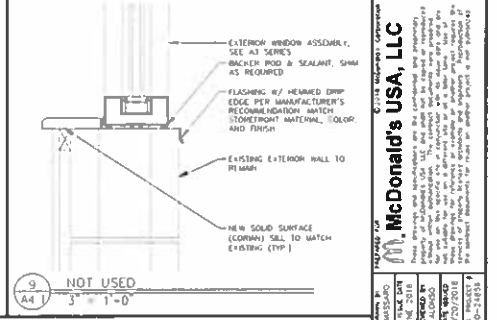
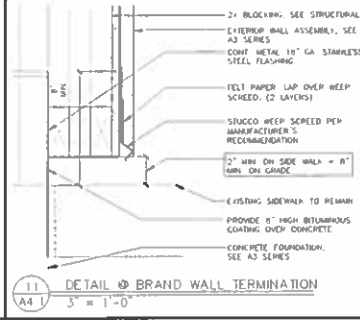
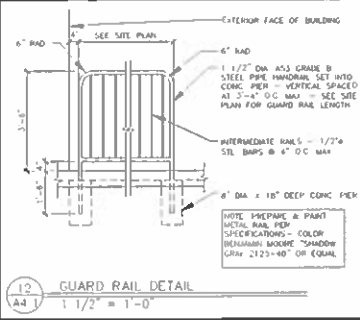
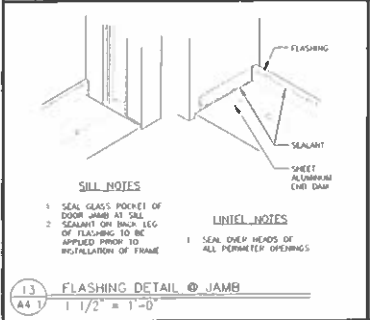
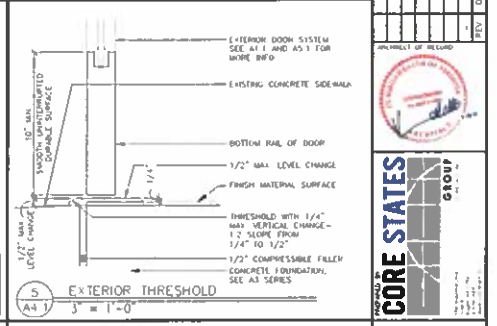
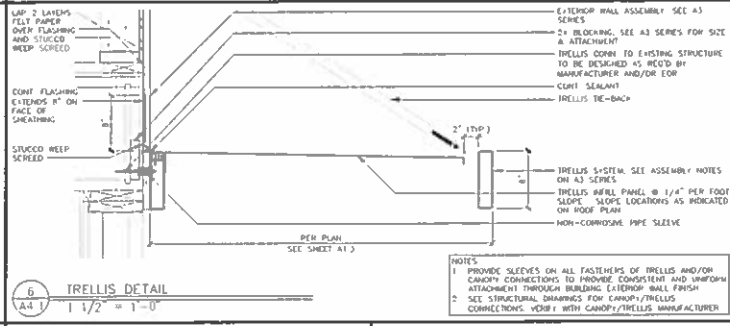
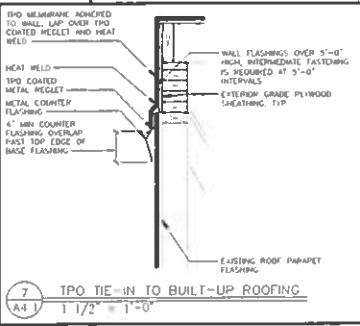
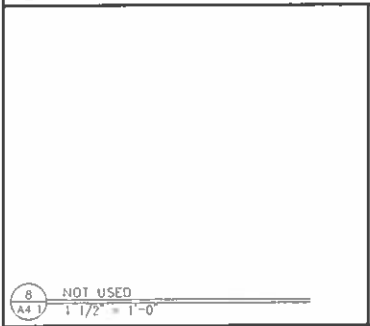
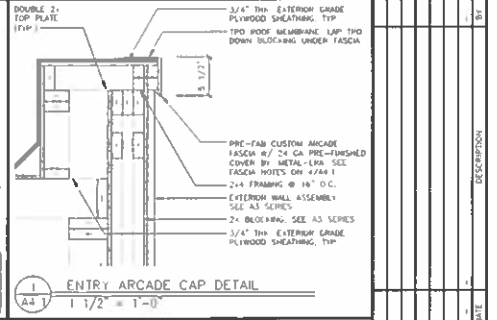
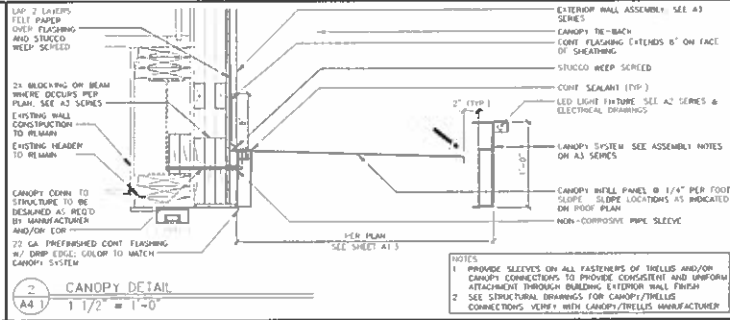
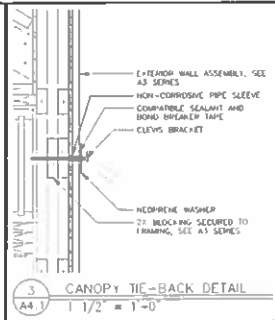
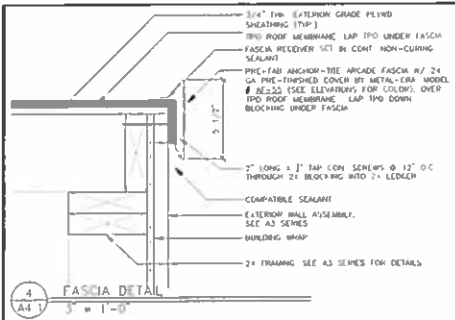
11100 W. TOWERS DRIVE

ORLANDO, FL 32835

ISSUED BY:	CREATED BY:	DATE:
	REVISIONS:	DATE:
	APPROVED BY:	DATE:
PROJECT NO:	PROJECT NAME:	PROJECT LOCATION:
ISSUED FOR:	PROJECT NO:	PROJECT NAME:
PROJECT NO:	PROJECT NAME:	PROJECT LOCATION:
PROJECT NO:	PROJECT NAME:	PROJECT LOCATION:

WALL SECTIONS

A3.3



REV	DATE	DESCRIPTION



CORE STATES

McDonald's USA, LLC
Head office and manufacturing facilities are located in the United States. The company is a public company. All trademarks are the property of McDonald's USA, LLC. The company is a public company. All trademarks are the property of McDonald's USA, LLC.

McDonald's USA, LLC

PROJECT INFORMATION

PROJECT NAME: BURR PROGRAM - LOW VOLUME CORE 15, 2-0

PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 1502-S193-V1

PREPARED BY: [NAME]

CHECKED BY: [NAME]

DATE: [DATE]

PROJECT NUMBER: 1502-S193-V1

PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 1502-S193-V1

PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 1502-S193-V1

PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 1502-S193-V1

PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 1502-S193-V1

PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 1502-S193-V1

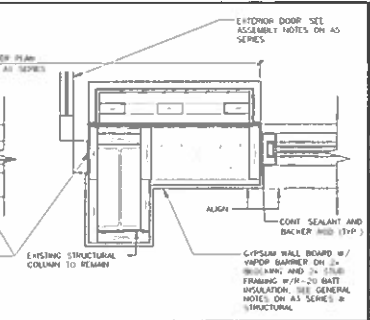
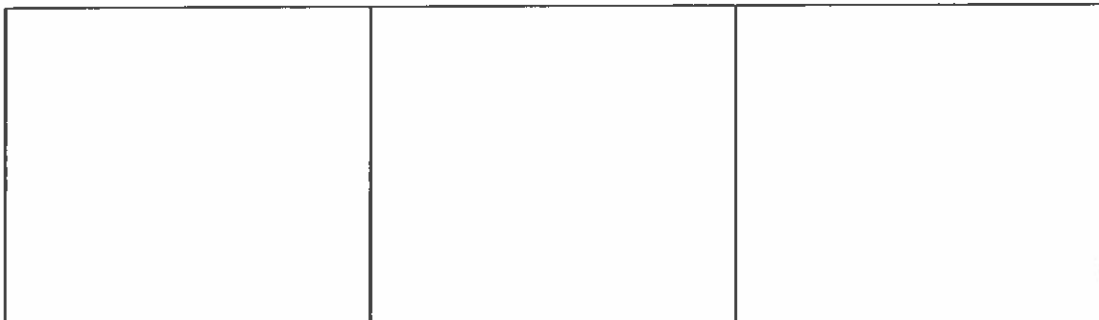
PROJECT LOCATION: EXISTING STEEL ROOF TRAILER

DATE: 11/25/2020

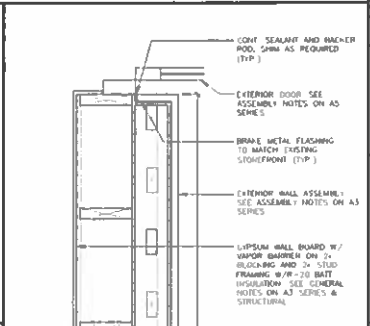
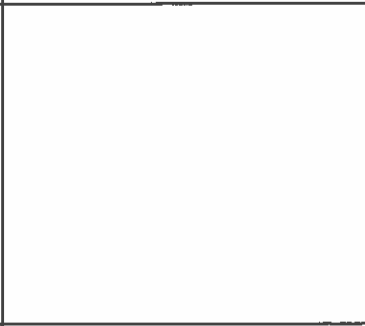
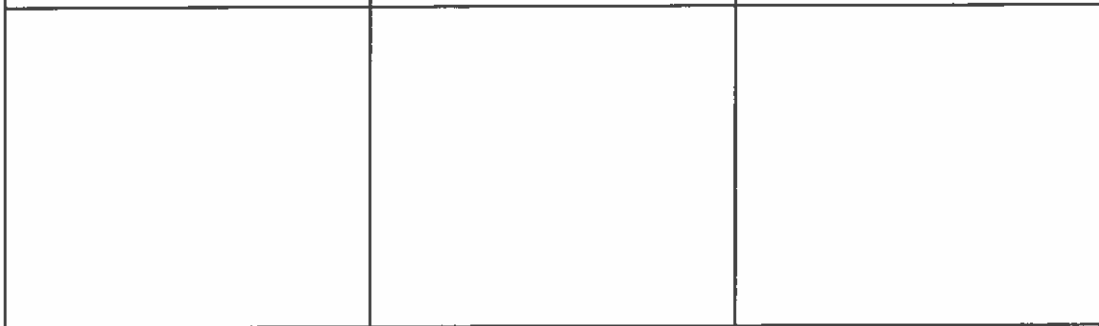
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SECTION DETAILS

A4.1



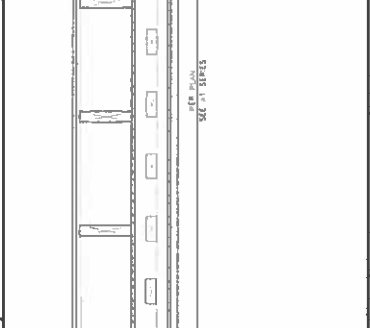
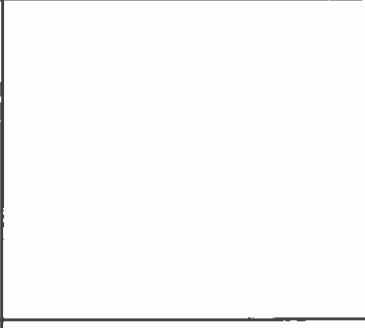
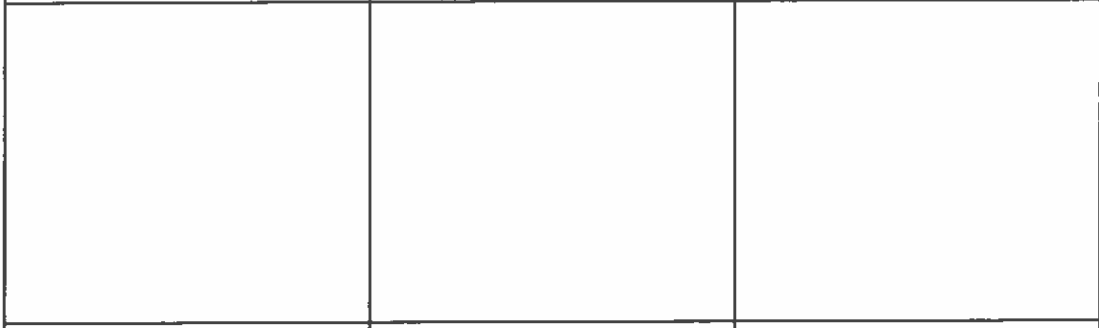
REV	DATE	DESCRIPTION



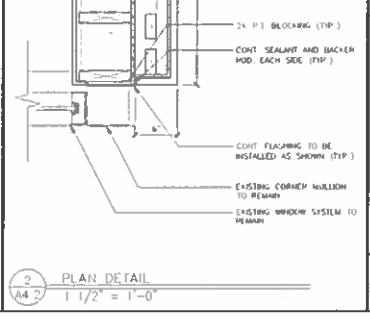
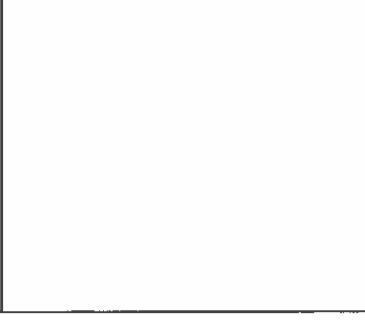
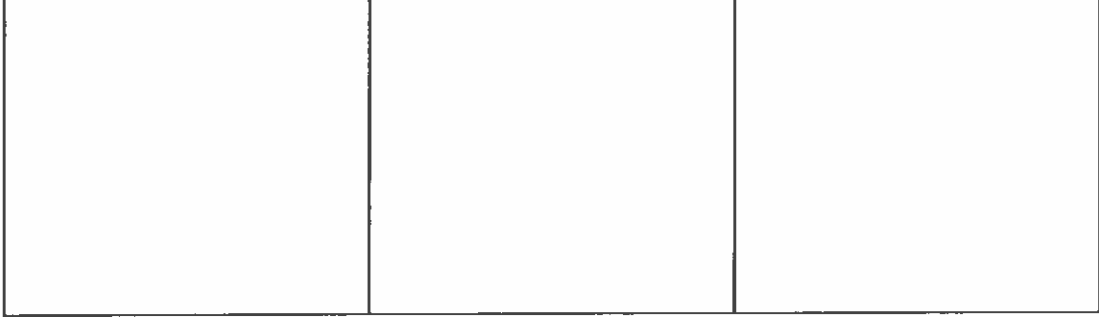
PROJECT FOR
McDonald's USA, LLC
 2300 W. MISSOURI
 ST. LOUIS, MO 63103
 DATE: 07/20/2018
 215 PROJECT #
 MCD-24856

CORE STATES GROUP

I hereby certify that the design shown on these documents was prepared by me or under my direct supervision and I am a duly licensed professional engineer in the State of Missouri. This approval is given for the purpose of providing a public record and does not constitute an endorsement of the design or the contractor. My professional seal is not required for this document.

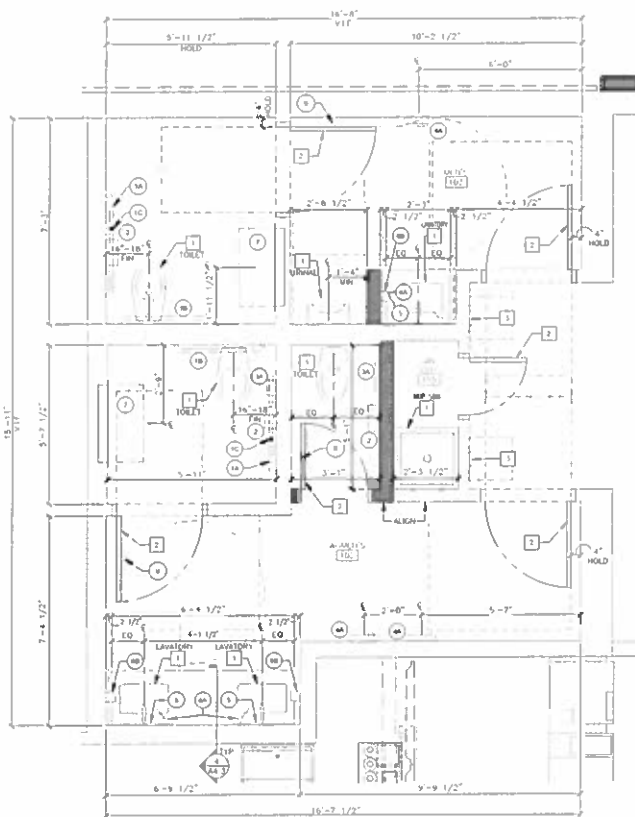


REV	DATE	DESCRIPTION



NEW PROGRAM - LOW VOLUME
 CORE LG-2.0
 EXISTING MASONRY WALL CONSTRUCTION
 EXISTING STEEL ROOF TRUSSES

A4.2
 PLAN DETAILS



GENERAL CONTRACTOR TO COORDINATE WITH MCDONALD'S A/C FOR FIXTURE REPLACEMENT AND FINISHES.

3 ENLARGED RESTROOM PLAN
A4.3 1/2" = 1'-0"

- ### GENERAL NOTES
- 1 ALL DIMENSIONS SHOWN ARE SUBSTRATE-TO-SUBSTRATE, UNLESS NOTED OTHERWISE (FIN = FINISH DIMENSION)
 - 2 SEE SHEET A-1.1 FOR PARTITION TYPES
 - 3 SEE 2/2A-4.3 FOR FIXTURE AND ACCESSORY MOUNTING HEIGHTS AND CLEARANCES
 - 4 EXISTING EMERGENCY LIGHTING CONFIGURATION TO REMAIN
 - 5 CHANGE OUT ALL NON-AUTOMATIC FLOOR VALVES TO AUTOMATIC - SEE PLUMBING FOR DETAILS
 - 6 ALL PIPES UNDER LAVATORIES & SINKS TO BE INSULATED
 - 7 REFER TO SHEET A0.1 FOR ALL REQUIRED CLEARANCES FOR ACCESSIBILITY & DOORS, LAVATORIES, & WATER CLOSETS, ETC.
 - 8 REMOVE EXISTING CEMENT BOARD BACKER BOARD / GYPSUM BOARD FOR INSULATION OF BLOCKING FOR GRAB BARS, TOILET ACCESSORIES AND CHANGING TABLES WHERE APPLICABLE. INSTALL NEW BLOCKING AS REQUIRED AND CEMENT BOARD BACKER BOARD, AND PREPARE FOR INSTALLATION OF NEW FINISHES

- ### KEYNOTES
- (NOT ALL KEY NOTES MAY BE USED)
- 1 NEW PLUMBING FIXTURE, RECONNECT HOT AND COLD WATER, DOMESTIC WATER PIPING, WASTE AND VENTS AS REQUIRED TO MATCH FINISH SCHEDULE. SEE PLUMBING DRAWINGS FOR PLUMBING SCHEDULE AND DETAILS.
 - 2 NEW DOOR - SEE A1 SERIES FOR DOOR TAG & A5.0 FOR DOOR & PARTITION SCHEDULE.
 - 3 ACCESSIBLE RESTROOM SIGNAGE, LOCATED AT 40" AFF TO CENTERLINE OF SIGNAGE. REFER TO 5/A4.3 FOR DETAILS & A0.1 FOR ADDITIONAL ACCESSIBILITY INFORMATION.

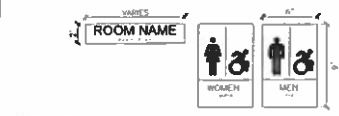


ITEM (SEE NOTE 2)	MFR MODEL #	SUPPLIER	BACKUP SUPPORT (SEE NOTE 3)
1A GRAB BAR 42"	ROBNIK R-4004X2	HUGHES SUPPLY (888) 310-3576	112H 4" LONG CENTER MOUNTED
1B GRAB BAR 36"	B-8806A36	MCDODD@MCDODD.COM	
1C GRAB BAR 24" (VERTICAL)	B-8806A24		
2 TOILET TISSUE DISPENSER JUMBO SURFACE MOUNTED	BRADLEY 5424	HUGHES SUPPLY (888) 310-3576	FRAME WALL OPENING PER MANUFACTURER'S RECOMMENDATIONS
3A SANITARY NAPKIN RECEPTACLE RECEIVED (OPTIONAL)	ROBNIK B-353	HUGHES SUPPLY (888) 310-3576	
3B SANITARY NAPKIN RECEPTACLE SURFACE MOUNTED	ROBNIK B-254	HUGHES SUPPLY (888) 310-3576	
4A HAND DRYER ENERGY EFFICIENT MODEL ADA ALL-PURPOSE BRUSHED	WORLD DRYER L-1073	HUGHES SUPPLY (888) 310-3576	FRAME WALL OPENING PER MANUFACTURER'S RECOMMENDATIONS
4B HAND DRYER ENERGY EFFICIENT MODEL ADA SPRAYED NICKEL	DYSON AIRBLADE V	HUGHES SUPPLY (888) 310-3576	
5A TOWEL DISPENSER & WASTE RECEPTACLE COMBINATION RECEIVED (OPTIONAL)	ROBNIK B-3074	HUGHES SUPPLY (888) 310-3576	
5B TOWEL DISPENSER & WASTE RECEPTACLE SURFACE MOUNTED (OPTIONAL)	ROBNIK B-3074	HUGHES SUPPLY (888) 310-3576	
6 MIRROR CHAMBER FRAME	ROBNIK B-3052A36	HUGHES SUPPLY (888) 310-3576	
7A SOAP DISPENSER COUNTER MOUNTED (OPTIONAL)	ROBNIK B-3278	HUGHES SUPPLY (888) 310-3576	
7B SOAP DISPENSER WALL MOUNTED	ROBNIK B-3102	HUGHES SUPPLY (888) 310-3576	
8A BABY CHANGING TABLE HORIZONTAL RECEIVED ADA COMPLIANT	KOALA KARE R-508 MDTA	HUGHES SUPPLY (888) 310-3576	FRAME WALL OPENING PER MANUFACTURER'S RECOMMENDATIONS
8B BABY CHANGING TABLE HORIZONTAL RECEIVED ADA COMPLIANT ALL STAINLESS	KOALA KARE R-510 MDTA	HUGHES SUPPLY (888) 310-3576	FRAME WALL OPENING PER MANUFACTURER'S RECOMMENDATIONS
9 DIAPER CONTAINER (OPTIONAL)	- BY OWNER		
10 CLOTHES HOOK	BRADLEY R-117	HUGHES SUPPLY (888) 310-3576	
11 STAINLESS STEEL TOILET PARTITIONS (ADA COMPLIANT)	BRADLEY 509 SERIES	HUGHES SUPPLY (888) 310-3576	
12 GRAB BAR ANCHORS FOR TOILET PARTITIONS	ROBNIK 258 SERIES	MCDODD@MCDODD.COM	
13 PINE PANEL-STYLE STIFFENER PACKET	ROBNIK 1080 SERIES	HUGHES SUPPLY (888) 310-3576	

NOTES:
 1) SEE 2/2A-4.3 FOR ACCESSORY MOUNTING HEIGHTS
 2) SELECT ONE ITEM FROM ITEM GROUPS A & B, VERIFY WITH AREA CONSTRUCTION MANAGER
 3) CUT BACK-UP SUPPORTS BETWEEN STUDS SO FACE OF SUPPORT IS FLUSH W/ WALL STUD

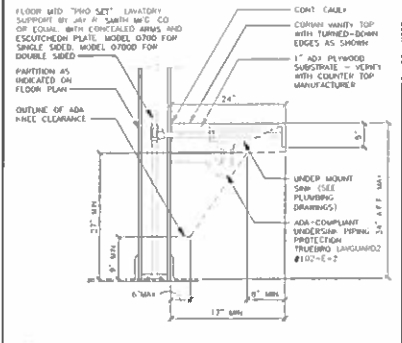
RESTROOM NEW ACCESSORY SCHEDULE

A-4.3 NOT ALL USED - SEE ENLARGED RESTROOM PLAN

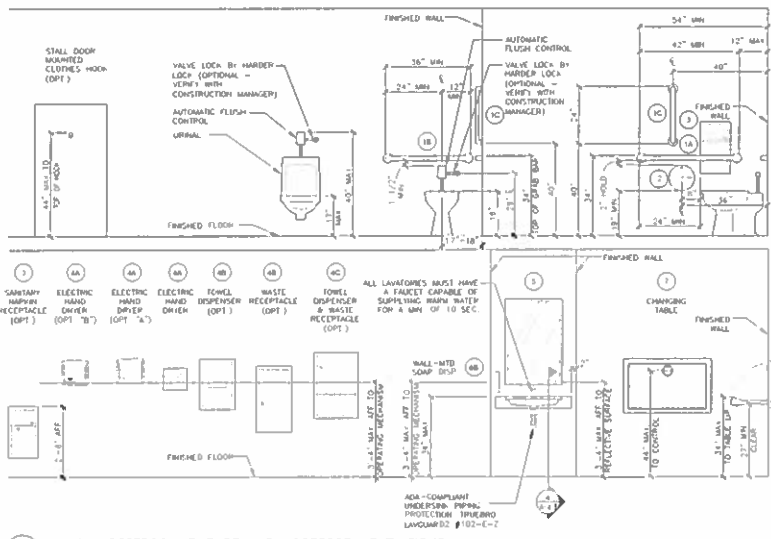


- ### SIGNAGE NOTES
- 1 EACH EXIT DOOR SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE, STATING 'EXIT' AND SHALL COMPLY WITH ADA CHAPTER 703. ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES AND LOCAL GUIDELINES INCLUDING BUT NOT LIMITED TO PROVISIONS: COLOR CONTRAST, HEIGHT AND GRADE 2 BRAILLE REQUIREMENTS.
 - 2 WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, TACTILE CHARACTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH ADA CHAPTER 703. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. SIGNS LOCATED WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. PREFERABLY ON THE RIGHT MOUNTING HEIGHT SHALL BE 48" MINIMUM ABOVE THE FINISHED FLOOR, MEASURED FROM THE BASELINE OF THE LOWEST HIGHEST TACTILE CHARACTER. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 5' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.

5 TYPICAL ACCESSIBLE RESTROOM SIGNAGE
A4.3 NOT TO SCALE



4 SECTION AT LAVATORY
A4.3 1" = 1'-0"



2 TYPICAL RESTROOM FIXTURE AND ACCESSORY ELEVATIONS
A-4.3 1/2" = 1'-0"

McDonald's USA, LLC

McDonald's USA, LLC
 1915 W. 15th Street, Suite 100
 Denver, CO 80202
 (303) 733-2016
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A4.3
RESTROOM DETAILS

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 Denver, CO 80202
 (303) 733-2016
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DOOR HARDWARE (NOT ALL DOORS USED)

HARDWARE NOTES:

- ALL EXIT DOORS SHALL BE KEYSLESS IN THE DIRECTION OF EGRESS
- THE OPENING FORCE OF ALL EXTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 5 lbs
- THE OPENING FORCE OF ALL INTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 5 lbs
- PROVIDE PANE HARDWARE FOR ALL EXTERIOR DOORS AS NOTED ON THE DOOR SCHEDULE
- ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PUNCHING OR TWISTING OF THE HAND TO OPERATE
- DOOR HARDWARE LISTED BELOW IS FOR REFERENCE (FOR REPLACEMENT OR REPAIR) ONLY UNLESS NOTED OTHERWISE
- NOT ALL HARDWARE LISTED BELOW MAY BE USED. SEE A1 SERIES FOR DOOR TAGS & DOOR SCHEDULE ON THIS SHEET

DOOR #1 (EXIT)

- GLAZING - 1/4" ALUM 4021 - 18"
- HINGES - OFFSET PIVOT HINGE - A-150-A GRADE 1, PROVIDE EXPOSED PARTS OF CAST ALUMINUM ALLOY AS SUPPLIED BY DOOR MANUFACTURER
- PUSH/PULL HANDLE - HANDLE #3019 OF HAGER PUSH/PULL SET 1640/V/B
- FRAME HARDWARE - ADAMS HITE IFC CO 8800 SERIES WITH OUTSIDE CYLINDER (FINISH TO MATCH STOREFRONT DOOR)
- THRESHOLD - NATIONAL GUARD PRODUCTS, INC SADDLE TYPE THRESHOLD 325, 36" WIDE x 1/2" RISE (ADA ACCESSIBLE)
- WEATHER STRIPPING - PROVIDE COMPRESSION WEATHER STRIPPING AGAINST FIXED STOPS AT OTHER EDGES PROVIDE SLIDING WEATHER STRIPPING RETAINED IN ADJUSTABLE STOP MOUNTED INTO DOOR EDGE. PROVIDE EPDM OR VINYL GASKET WEATHER STRIPPING IN BOTTOM DOOR RAIL ADJUSTABLE FOR CONTACT W/ THRESHOLD
- SHOW HINGE QTR DOOR TO RHD. THIS DOOR MUST REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED/DURING BUSINESS HOURS

DOOR #2 (RECEPTION)

- GLAZING - 1/4" ALUM 4021 - 18"
- HINGES - OFFSET PIVOT HINGE - A-150-A GRADE 1, PROVIDE EXPOSED PARTS OF CAST ALUMINUM ALLOY AS SUPPLIED BY DOOR MANUFACTURER
- PUSH/PULL HANDLE - HAGER PUSH/PULL SET 1640/V/B

DOOR #3 (STORAGE DELIVERY) (NOT USED)

- GLAZING - 1/4" ALUM 4021 - 18"
- HINGES - HAGER ROTON 780-112ND B3, CLEAR ANODIZED FINISH
- FRAME HARDWARE - EXT ONLY PANE, HD CYLINDER VON DUMPM 9975 1 LD + D1
- DETAIL - MODEL NO EA+3000-ACCT DOOR ALUM
- WEATHER STRIPPING - NATIONAL GUARD 1240 48"X48"
- DOOR SILENCERS - HAGER QUANTITY=3
- 1/2" SECURITY FRAME VEB WINDOW W/ FLOP BY NATIONAL GUARD L-VOL-ND
- THRESHOLD - NATIONAL GUARD PRODUCTS, INC SADDLE TYPE THRESHOLD 325ND, 48"
- DOOR SWEEP - NATIONAL GUARD 1014W 48"
- 24"X48" DIMMARD TREAD PLATE (ULTRAD PLATE) - 063" THICK (INTERIOR FACE OR)
- 1/2" LATCH GUARD

DOOR #3A (NOT USED) (NOT USED)

- GLAZING - 1/4" ALUM 4021 - 18"
- HINGES - HAGER ROTON 780-112ND B3, CLEAR ANODIZED FINISH
- LOCK/SET - SCHAGE DEAD BOLT LOCK - B-661P 826
- PULL HANDLE - HAGER HSE US20
- LATCH GUARD - DOOR-AD CLP110 US20 D
- WEATHER STRIPPING - NATIONAL GUARD 1240 48"X48"
- DOOR SILENCERS - HAGER QUANTITY=3
- THRESHOLD - NATIONAL GUARD PRODUCTS, INC SADDLE TYPE THRESHOLD 325ND 48"
- DOOR SWEEP - NATIONAL GUARD 1014W 48"
- 24"X48" DIMMARD TREAD PLATE (ULTRAD PLATE) - 063" THICK (INTERIOR FACE OR)
- 1/2" LATCH GUARD

DOOR #4 (NOT USED)

- GLAZING - 1/4" ALUM 4021 - 18"
- HINGES - HAGER ROTON 780-112ND B3, CLEAR ANODIZED FINISH
- FRAME HARDWARE - EXT ONLY PANE, HD CYLINDER VON DUMPM 9975 1 LD + D1
- PULL HANDLE - VON DUMPM 990 D1 US 240
- DETAIL - MODEL NO EA+3000 FLUSH DOOR ALUM
- WEATHER STRIPPING - NATIONAL GUARD 1240 36"X48"
- DOOR SILENCERS - HAGER QUANTITY=3
- 1/2" SECURITY FRAME VEB WINDOW W/ FLOP BY NATIONAL GUARD L-VOL-ND
- THRESHOLD - NATIONAL GUARD PRODUCTS, INC SADDLE TYPE THRESHOLD 325A 36"
- DOOR SWEEP - NATIONAL GUARD 1014W 48"
- 1/2" LATCH GUARD

DOOR #5 (RESTROOM)

- CLOSER - LCN LCP44031 5MB ALUM PULL SIDE MOUNTED
- HINGE - HAGER BB1278 US 240 4" x 4" - 1-1/2" RHP (ON EDGM)
- PUSH & PULL PLATE - PULL - HAGER H33E 4-1/8 US CR
- WALL STOP - HAGER 230W US 32 D
- NEW PLATES - HAGER 1005 US20 ALUM 8" x 34" (2) PER DOOR
- DOOR SILENCERS - HAGER QUANTITY=3
- SAFETY GUARDS - HAGER SAFE W/IN OPEN HINGE SIDE AND W/IN CLOSED HINGE SIDE OF DOOR 18IN
- UNDERCUT DOOR W/ 2"

DOOR #6 (LABORATORY RESTROOM) (NOT USED)

- 1 EA HINGE BB1278 4" x 4" x 3/8 US20 HAGER
- 1 EA LOCK/SET (EP4403) 5MB ALUM LCN
- 1 EA LOCK/SET HAGER HND 826 SCHAGE
- 1 EA HINGE 1905 B x 34 US20 HAGER
- 1 EA DOOR STOP 234W US20 HAGER
- 2 EA CO GUARD 2027A 36" N GUARD
- 1 EA HINGE LCP 44031 PULL SIDE 18IN SAFE
- 1 EA HINGE LCP 44031 PULL SIDE 18IN SAFE

DOOR #6 & 6A (TOILET COMPARTMENT DOORS)

- HINGES - HAGER BB1278 US 240 4" x 4" - 1 P/HP W/D
- LOCK/SET - HAGER 3215 UNDRPND US 240 DEAD BOLT
- PULL HANDLE - HAGER C40V ETC 2 1/8 320 LEACH (SIDE)
- WALL STOP - HAGER 230W US 32 D
- COAT HOOK - BRADLEY 232 POSE HOOK, INSIDE FACE OF DOOR AT 48" AFF

DOOR #7 (DINING JANITOR) (NOT USED)

- HINGES - 1 EA HINGE BB1278 4" x 4" x 3/8 US20 HAGER
- LOCK/SET - 1 EA LOCK HERRND HND 826 SCHAGE
- DOOR SILENCERS - HAGER QUANTITY=3

DOOR #9 (NOT USED)

- HINGES - HAGER BB1278 US 240 4" x 4" - 1 P/HP, OR EQUAL
- LOCK/SET - SCHAGE HND826 HND826 US20 HAGER
- FRAME HARDWARE - EXT ONLY PANE, HD CYLINDER VON DUMPM 9975 1 LD + D1
- 1/2" SECURITY FRAME VEB WINDOW W/ FLOP BY NATIONAL GUARD L-VOL-ND

DOOR #10 (NOT USED)

- HINGES - HAGER BB1278 US 240 4" x 4" - 1 P/HP, OR EQUAL
- LOCK/SET - SCHAGE HND826 HND826 US20 HAGER
- FRAME HARDWARE - HAGER 2340 US20 HAGER

DOOR #11 (NOT USED)

- HINGES - HAGER BB1278 US 240 4" x 4" - 1 P/HP, OR EQUAL
- LOCK/SET - SCHAGE HND826 HND826 US20 HAGER
- FRAME HARDWARE - HAGER 2340 US20 HAGER

DOOR #9 (FREEZER/COOLER) (NOT USED)

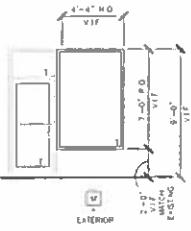
- ALL DOOR HARDWARE FOR THE REFRIGERATED FREEZER/COOLER SHALL BE PROVIDED BY THE MANUFACTURER
- MANUFACTURER - KOPAK
HT 641 N MCCORDLE PARK ROAD
PARSONS, TN 38363
PHONE 800 344 6675
- HARDWARE PROVIDED
- MAGNETIC PERIMETER DOOR GASKET
- THRESHOLD REINFORCED PLASTIC (FRP)
- POST-SCALE DOOR CLOSURE
- STATIONARY CHROME SWEEP PULL HANDLE
- INTERIOR SAFETY RELEASE HANDLE
- HINGES - BRUSHED CHROME CAST ALLOY

SHOP DRAWING NOTE:

- SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF (2) COPIES OF EACH DRAWING.
- SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT
- DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.

NOTES:

- STOREFRONT SYSTEMS USED AT BUILDING EXTERIOR ARE SHOWN FROM STREET VIEW
- STOREFRONT SYSTEMS USED IN BUILDING INTERIOR ARE SHOWN FROM DINING AREA
- ALL GLAZING TO BE TEMPERED (T) WHERE ADJACENT TO DOORS
- ALL GLAZING TO BE TEMPERED (T) WHERE ALL OF THE FOLLOWING EXISTS:
 - INDOOR PANEL IS GREATER THAN 5 SQFT
 - BOTTOM EDGE OF THE GLAZING < 18" ABOVE THE FLOOR
 - THE TOP EDGE OF THE GLAZING = 36" ABOVE THE FLOOR
 - A WALKING SURFACE IS WITHIN 36" OF THE PLANE OF THE GLAZING PANEL
- REFER TO THERMOCOOL COMPLIANCE CHART ON CV SHEET FOR PENETRATION REQUIREMENTS



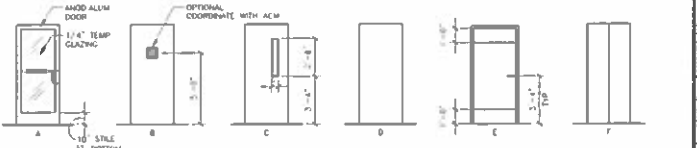
EXTERIOR WINDOW TYPES

DOOR SCHEDULE (NOT ALL DOORS USED)

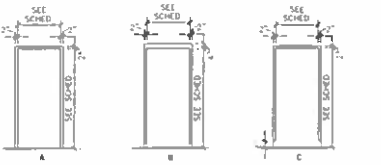
DOOR NOTES:

- GO TO INSTALL ACCESSIBILITY DOOR SIGNS WHERE REQUIRED BY LOCAL CODES - SEE GENERAL NOTE 3 ON A1.1
- DELETE ALARM SWITCHES SHALL BE RECESSED INTO THE TOP OF THE DOOR
- DOORS, DOOR FRAMES & HARDWARE FOR DOORS 3, 3A, 4, 5, 6, 6A, 7, 8, 8A AND 8B SUPPLIED BY UNIVERSAL MANUFACTURING (800) 821-1414
- DOOR 9 SUPPLIED BY FREEZER/COOLER MANUFACTURER
- SEE ELEVATIONS AND WALL SECTIONS
- ALL INTERIOR SOLID CORE WOOD DOORS TO HAVE A LAMINATED FINISH AS INDICATED ON SEPARATE DECOOR DRAWINGS
- ALL EXTERIOR PANE HARDWARE TO REMAIN OR BE REPLACED BY HHD AS DIRECTED BY THE A/C/M

NO	DOOR	MAT.	DATE	TYPE	HAZ.	SIZE	FINISH	REMARKS
1	ALUM	1'-0" x 7'-0"	0'-11" x 3'-4"	A	ALUM	2" HAMB 2" HEAD	A	NOTE 5
2								
3								
4								
5	WOOD	3'-0" x 4'-0"	0'-11" x 3'-4"	D	H.M.	2" HAMB 2" HEAD	A	SOLID CORE WOOD w/ LAMINATE VENEER
6	WOOD	3'-0" x 4'-0"	0'-11" x 3'-4"	E	H.M.	2" HAMB 2" HEAD	A	SOLID CORE WOOD w/ LAMINATE VENEER
7	WOOD	2'-0" x 4'-0"	0'-11" x 3'-4"	E	H.M.	2" HAMB 2" HEAD	A	SOLID CORE WOOD w/ LAMINATE VENEER
8	WOOD	2'-0" x 4'-0"	0'-11" x 3'-4"	D	H.M.	2" HAMB 2" HEAD	A	SOLID CORE WOOD w/ LAMINATE VENEER
9A								
9B								
9C								
9D								
9E								
9F								



DOOR TYPES (NOT ALL TYPES MAY BE USED)



FRAME TYPES

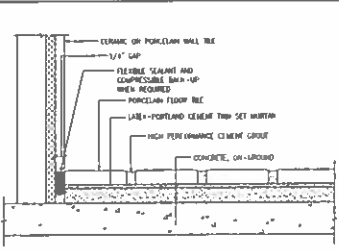
2 EXTERIOR & INTERIOR WINDOW TYPES
AS.1 1/4" = 1'-0"

1 DOOR & FRAME TYPES
AS.1 NOT TO SCALE

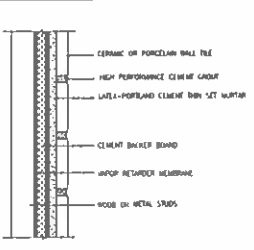
McDonald's USA, LLC

CORE STATES

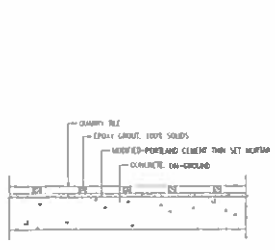
PROJECT NO: 07/23/2016
 PROJECT: 1625-2154
 SHEET NO: 108 OF 109
 DATE: 07/23/2016
 PROJECT: 1625-2154
 SHEET NO: 108 OF 109



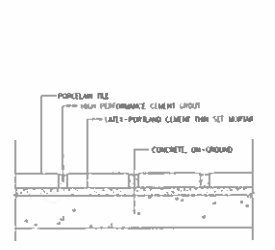
5 DINING ROOM PERIMETER JOINT
NOT TO SCALE



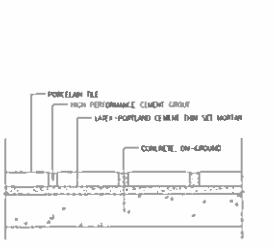
4 DINING ROOM INTERIOR WALLS OVER WOOD OR METAL STUDS
NOT TO SCALE



3 KITCHEN/SUPPORT FLOORS OVER CONCRETE
NOT TO SCALE



2 DINING ROOM FLOORS OVER CONCRETE
NOT TO SCALE



1 RESTROOM FLOORS OVER CONCRETE
NOT TO SCALE

ROOM FINISH SCHEDULE					WALL TILE SCHEDULE			FLOOR TILE SCHEDULE				
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	WALL	MORTAR SETTING BED	GROUT	FLOOR	BASE	MORTAR SETTING BED	GROUT
100	CUSTOMER SERVICE	CERAMIC OR PORCELAIN TILE (TYPE 3) GRANITE (TYPE 4) QUARRY TILE (TYPE 5) QUARRY TILE (TYPE 5) QUARRY TILE (TYPE 5)	1/2\"/>									
115	JANITOR'S CLOSET					1/2\"/>						

TILE NOTES

- ENCE 2013 McDONALD'S PROJECT MANUAL - SECTION 0530
- QUARRY TILE
DAL-TILE "DARLEO RED" 6x6 ABRASIVE TILE WITH BEACH GROUT
ALL "ASHEN GRAY" 6x6 ABRASIVE TILE WITH BEACH GROUT
- EDGE TILE
WHEN A CORNER IS 12"X12" OR 12"X20" (SIZE B SERIES MAX) USE ONLY APPROVED TILE SERIES AND COLORS BY DALLIE, CROSSVILLE AND EUROWEST VERIFY COLOR AND PATTERN PER INTERIOR DECOR DRAWINGS
A MUST BE PER McDONALD'S USA, LLC STANDARDS FOR INTERIOR FLOOR TILE AND APPROVED TILE LIST
B MUST BE NO LARGER THAN 6"X6", 7"X7" OR 13"X20"
C MUST MEET THE FOLLOWING:
MIN. COEFFICIENT OF FRICTION (PER ASTM F1061-96)
LEVEL SURFACES MINIMUM 0.50 DRY AND WET (McDONALD'S STANDARD)
SLIP-RESISTANT COEFFICIENT OF FRICTION (PER ANSI A137.1-2012)
LEVEL SURFACES MINIMUM 0.5 DRY AND WET (McDONALD'S STANDARD)
- TILE TRANSDUCION AND EDGE PROTECTION
A TILE EDGE PROTECTION (OUTSIDE CORNER) - SCHLUTER-DILEX-400 SERIES, BRUSHED STAINLESS STEEL
B TILE EDGE PROTECTION (WALL TRANSITION) - SCHLUTER-ROHDEC-08, SATIN ANODIZED ALUMINUM
C TILE CORNER PROTECTION (OUTSIDE CORNER) - SCHLUTER-ROHDEC-AL, SATIN ANODIZED ALUMINUM
D SEE INTERIOR DECOR DRAWINGS FOR ALL LOCATIONS
REFER TO FINAL INSPECTION, FINISH PROTECTIVE COVERINGS AND PATTERN FINAL CLEANING
- TILE CLEANER
A TILE CLEANER DETERM. BY FRA SURFACE CARE PRODUCTS - NO SUBSTITUTIONS ALLOWED
CAN BE ORDERED BY EUROWEST DALLIE, OR DIRECT FROM MANUFACTURER PER/DETERM. POST INSTALLATION CLEANING REQUIRED ON ALL FLOOR TILE INSTALLATIONS PRIOR TO RESTAURANT TURN OVER
APPLY CLEANER PER MANUFACTURER'S WRITTEN INSTRUCTIONS
REFERENCE 2013 McDONALD'S PROJECT MANUAL - SECTION 0530 TILING INTERIOR
- GROUT COLOR AND MANUFACTURER AS INDICATED ON SHEET A10 AND INTERIOR DECOR DRAWINGS
A WATER-CLEANABLE TILE SETTING EPOXY (JOINT SOLIDS, INDUSTRIAL-GRADE)

GENERAL NOTES

- WHEN BUILDING TYPE IS A HIGH-COMBUSTIBLE CATEGORY ALL PLYWOOD SHALL BE FIRE RETARDANT TREATED
- FPP PANELS
A FPP OVER CEMENT BO (BEHIND 3-COMP 5/8" TO HEIGHT OF BACK SPLASH)
B FPP OVER CEMENT BO OVER EXTERIOR GRADE PLYWOOD (NOTE 5) AT WPOB SHIMS
- PROVIDE CEMENT BOARD BACKER OR EQUIVALENT AT ALL CERAMIC TILE LOCATIONS
- ALL FINISH SURFACES OF WALL AND CEILING MATERIALS SHALL BE CLASS B AND SHALL HAVE A FLAME SPREAD RATING OF 26 TO 75 AND A SMOKE DENSITY OF 450 MAX
- DECORATIVE MATERIALS SHALL BE FLAME RETARDANT AND MEET THE CRITERIA OF NFPA 701
- DECORATIVE MATERIAL SHALL NOT CONCEAL EXITS, EXIT LIGHTS, ALARMS, STAIRWELLS, HOSE CABINETS, AND FIREWORKS/EXHAUST
- VERIFY SS BACK SPLASH IS PRESENT AT ALL SIGN LOCATIONS
- SEE REFLECTED CEILING PLAN FOR HEIGHTS & LAYOUTS
- PROVIDE 1/2" PLYWOOD BEHIND INTERIOR FINISH BOARD FOR ALL WALL MOUNTED LIGHTS - VERIFY WITH ELEC DRAWINGS

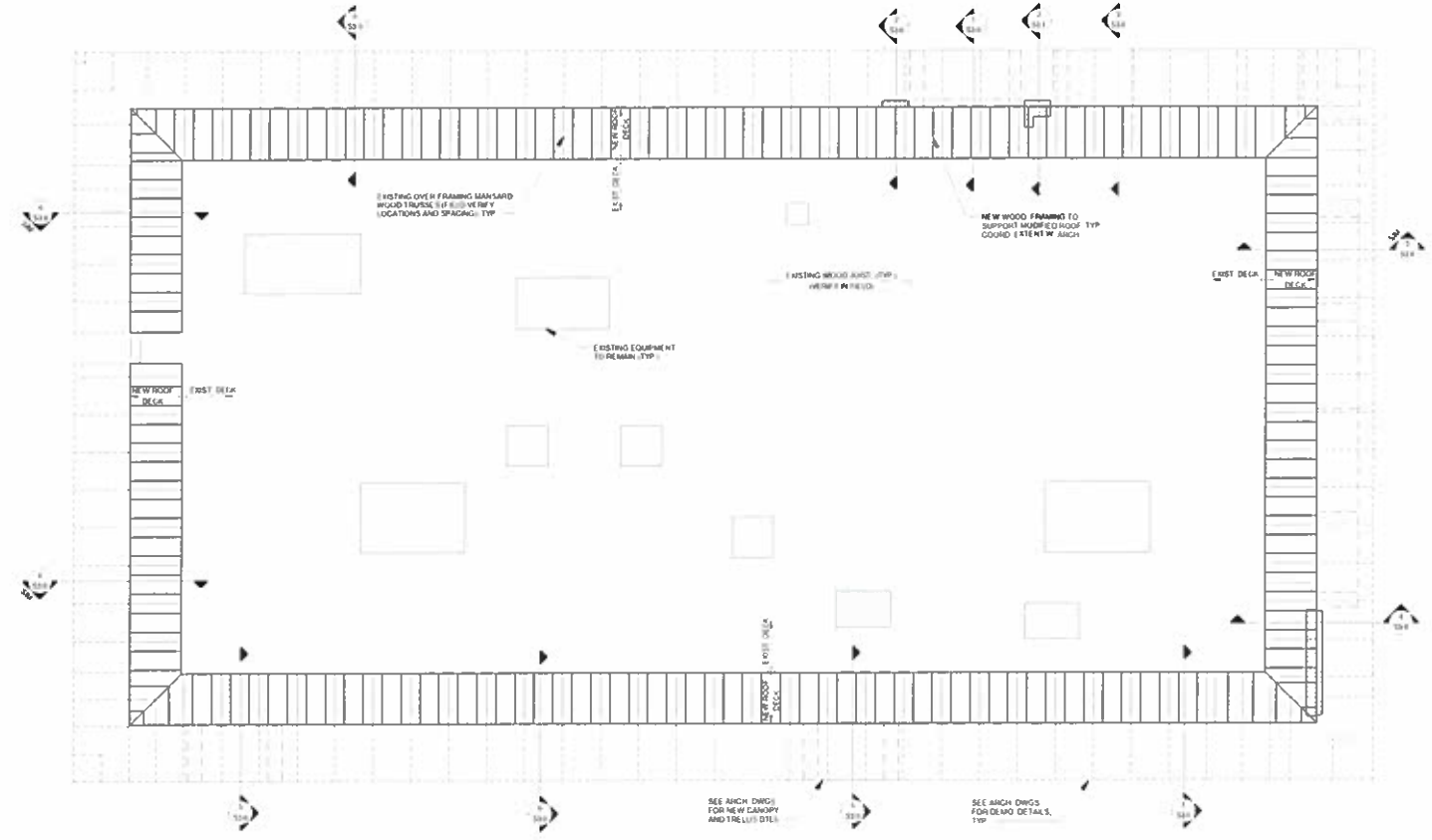
ANY EXISTING FINISHES WHICH ARE TO REMAIN DURING CONSTRUCTION BECOME DAMAGED, G O TO REPLACE WITH MATCHING MATERIAL BY RPO

McDonald's USA, LLC
 PROJECT NO. 1110 00 0000
 SHEET NO. A5.2
 DATE 08/27/2015
 DRAWN BY [Name]
 CHECKED BY [Name]
 APPROVED BY [Name]
 U.S. PROJECT # 1110 00 0000

McDonald's USA, LLC
 PROJECT NO. 1110 00 0000
 SHEET NO. A5.2
 DATE 08/27/2015
 DRAWN BY [Name]
 CHECKED BY [Name]
 APPROVED BY [Name]
 U.S. PROJECT # 1110 00 0000

McDonald's USA, LLC
 PROJECT NO. 1110 00 0000
 SHEET NO. A5.2
 DATE 08/27/2015
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 CHECKED BY [Name]
 APPROVED BY [Name]
 U.S. PROJECT # 1110 00 0000

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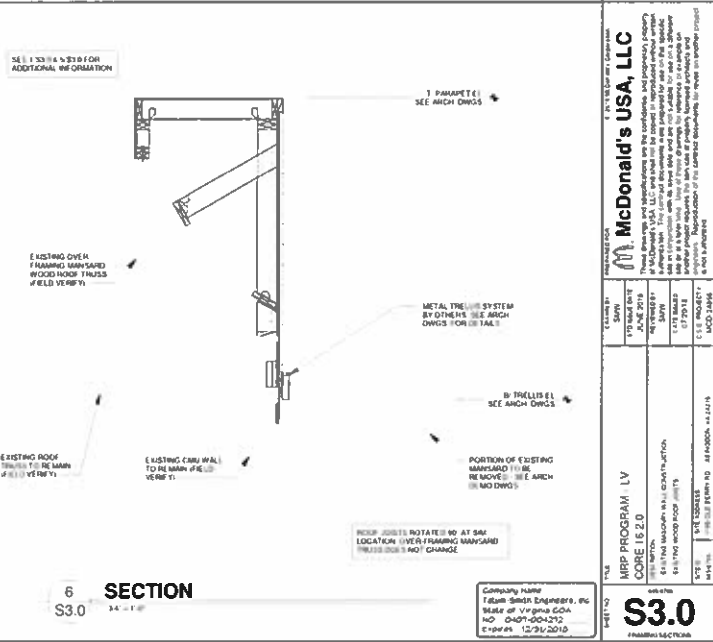
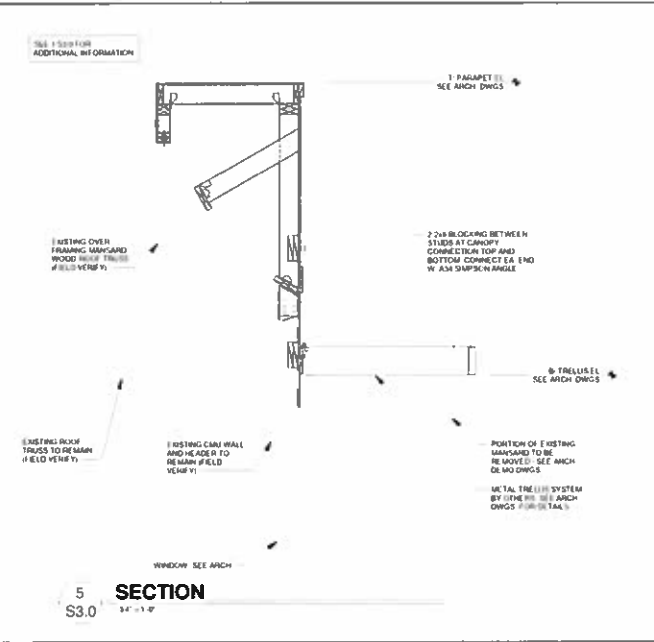
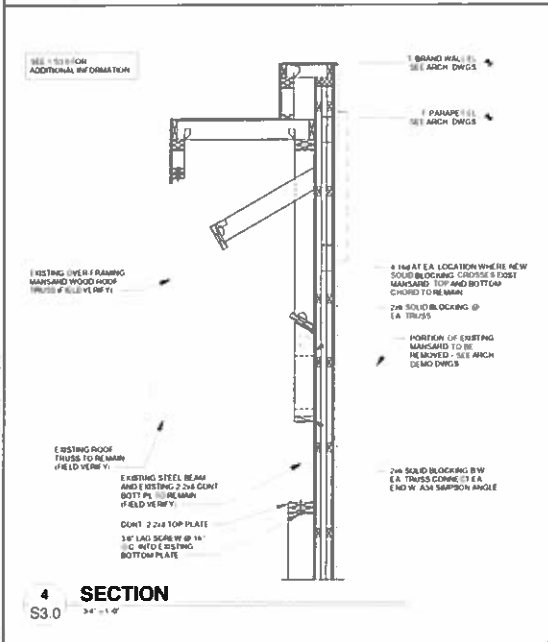
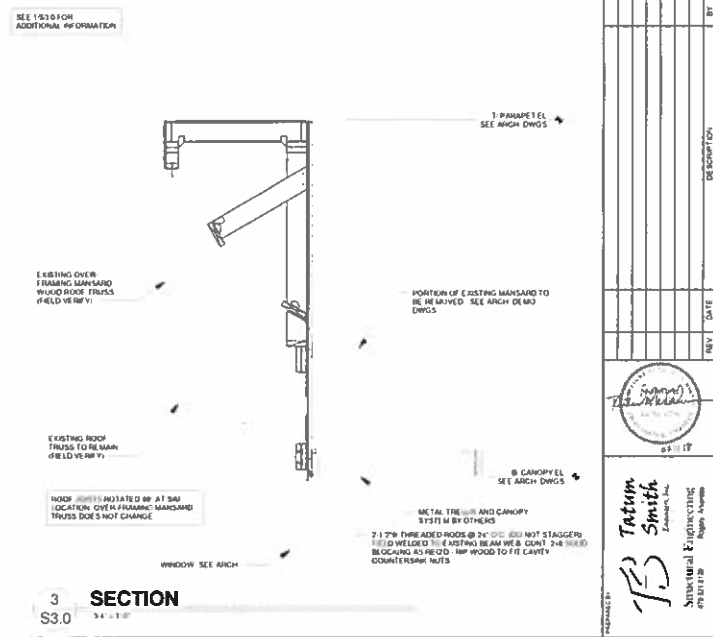
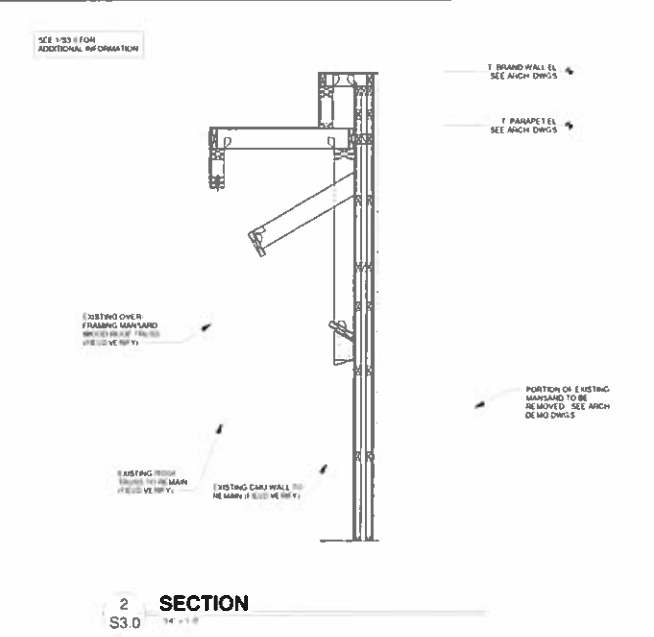
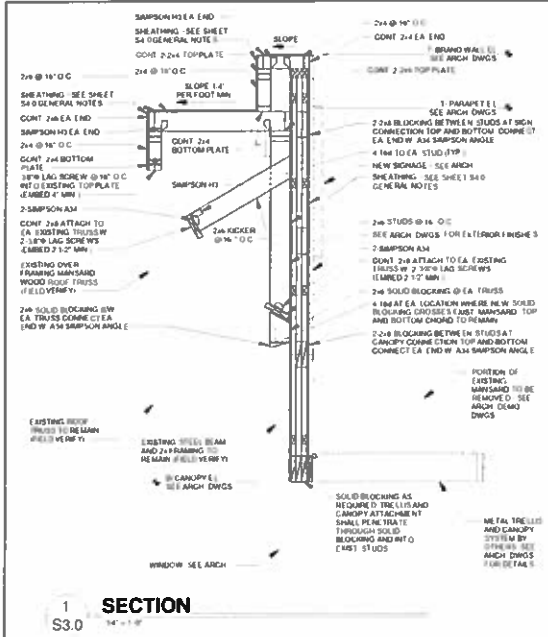
NOTE: SEE SHEET S4 FOR GENERAL STRUCTURAL NOTES. INDICATES NEW MEMBER W/ (S) WALL

1
S11
FRAMING PLAN

11/17/17 11:41 AM
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<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>	<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>	<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>	<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>	<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>	<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>
<p>PROJECT NO. 13284</p>	<p>DATE 11/17/17</p>	<p>DESCRIPTION CORE 15 200</p>	<p>REV 1</p>	<p>DATE 11/17/17</p>	<p>DESCRIPTION CORE 15 200</p>
<p>McDonald's USA, LLC 215 THE CIRCLE CENTER 10000 WOODBRIDGE BLVD WOODBRIDGE, VA 22192 (703) 441-1111</p>					
<p>TALAM SMITH ENGINEERS, INC. Structural Engineering 479 S 111 ST Rye, VA 24169</p>					
<p>Company Name Talam Smith Engineers, Inc. State of Virginia Code No. 0407-00422 Expires 12/31/2019</p>					
<p>S1.1 FRAMING PLAN</p>					

DATE: 01/14/15
BY: J.L.M.
CHECKED: J.L.M.
SCALE: 1/8" = 1'-0"



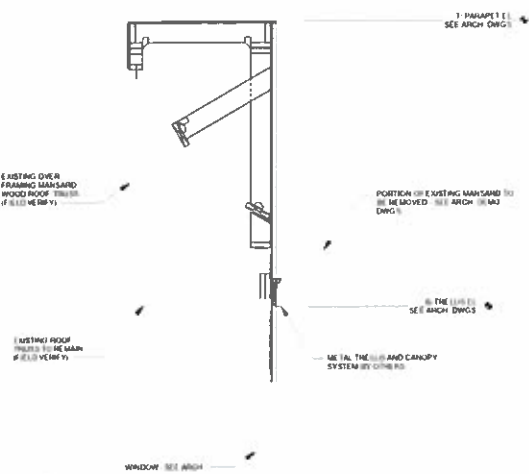
Company Name: **Tatum Smith Engineers, Inc.**
State of Virginia GCA NO. 0409-000225
Expires: 12/31/2016

SYMBOL	DESCRIPTION
	DATE
	REV
	BY
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PROJECT NAME	MBP PROGRAM LV CORE IS 2.0
DATE	JAN 2015
DRAWN BY	JEV
CHECKED BY	JEV
DATE	12/31/14
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BY: J.L.M.
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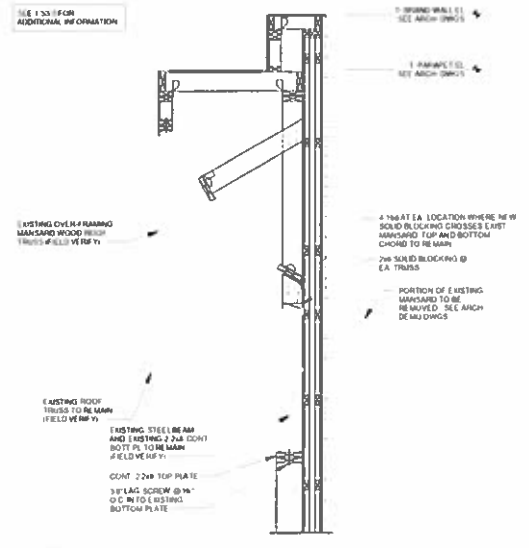
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 3/14/2016 1:45:23 PM
 13.334 21.442 30.442 30.442

SEE 1-33.0 & 1-33.0 FOR
 ADDITIONAL INFORMATION



1 SECTION
 S3.1 3/4 x 5/8"

SEE 1-33.1 FOR
 ADDITIONAL INFORMATION



2 SECTION
 S3.1 3/4 x 5/8"

DATE: 12/21/16
 DRAWING NO: S3.1
 PROJECT NO: 16-0000-1114

Tatum Smith
 Structural Engineering
 175 BELLE ST.
 RICHMOND, VA 23220
 (804) 781-1111

PROJECT: **McDonald's USA, LLC**
 SHEET: **S3.1**

13.334 21.442 30.442 30.442
 3/14/2016 1:45:23 PM
 13.334 21.442 30.442 30.442

Company Name: **Tatum Smith Engineers, Inc.**
 State of Virginia Code: **86-1**
 License No.: **64700**
 Expires: **12/31/2016**

PROJECT: **MRP PROGRAM LV CORE 16.2.0**
 SHEET: **S3.1**

DATE	12/21/16
DRAWN BY	JLW
CHECKED BY	JLW
DATE	12/21/16
PROJECT NO.	16-0000-1114
SHEET NO.	S3.1
PROJECT TITLE	MRP PROGRAM LV CORE 16.2.0
SCALE	AS SHOWN
PROJECT LOCATION	175 BELLE ST. RICHMOND, VA 23220
PROJECT DESCRIPTION	McDonald's USA, LLC
PROJECT STATUS	CONSTRUCTION
PROJECT OWNER	McDonald's USA, LLC
PROJECT MANAGER	McDonald's USA, LLC
PROJECT ARCHITECT	McDonald's USA, LLC
PROJECT ENGINEER	Tatum Smith Engineers, Inc.
PROJECT CONTRACTOR	McDonald's USA, LLC
PROJECT SUBCONTRACTOR	McDonald's USA, LLC
PROJECT CONSULTANT	McDonald's USA, LLC
PROJECT SPECIALIST	McDonald's USA, LLC
PROJECT OTHER	McDonald's USA, LLC

15734 - 08-07-2016 - 10:00 AM - 10:00 AM
 15734 - 08-07-2016 - 10:00 AM - 10:00 AM
 15734 - 08-07-2016 - 10:00 AM - 10:00 AM

STRUCTURAL GENERAL NOTES:

DESIGN AND LOADING

- 1. THE STRUCTURAL DESIGN OF THIS BUILDING WAS BASED ON THE DESIGN CRITERIA LISTED BELOW.
- A. BUILDING CODE: VIRGINIA UNIFORM STATEWIDE BUILDING CODE INCORPORATING 2012 INTERNATIONAL BUILDING CODE
- B. FLOOR LOADS: UNIFORM FLOOR LIVE LOAD: 40 PSF
- C. WIND: GROUND LOAD: 15 PSF
FLAT ROOF LOAD: 10 PSF
WIND EXPOSURE: C-1
IMPORTANCE FACTOR: 1.0
THE WIND COEFFICIENT (C_e) IS 1.011 @ CANOPY S
- D. WIND: ULTIMATE WIND SPEED: 115 MPH (SECOND CAUSE)
BASE WIND SPEED: 95 MPH
NEAR CATEGORY: B
WIND EXPOSURE: C
PRESSURE PER ASCE 7
- E. SEISMIC: OCCUPANCY CATEGORY: II
IMPORTANCE FACTOR: 1.0
SITE CLASS: D
PRESSURE PER IBC SECTION 1613.7.2
S₁ = 0.75, S_s = 0.85
S₁ = 0.72, S_s = 0.75
SEISMIC CATEGORY: C
- F. FLOOD LOAD: NA
- G. SPECIAL LOADS: NA

FOUNDATION NOTES

- 1. THE FOUNDATION DESIGN OF THIS BUILDING WAS BASED ON THE FOLLOWING CRITERIA:
 - A. MAXIMUM ALLOWABLE SOIL BEARING CAPACITY: 1000 PSF (PER ASCE 1018.2.1)
- 2. ALL EXTERIOR FOOTINGS SHALL EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST.
- 3. ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY A SOIL TESTING LABORATORY PRIOR TO PLACEMENT OF CONCRETE.

CONCRETE AND REINFORCING

- 1. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE BUILDING CODE AND WITH THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND THE LATEST EDITIONS.
- 2. ALL NORMAL WEIGHT CONCRETE (44% PCI) SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI (206.9 PSI FOR SLABS).
- 3. ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINMENT ACCORDING TO ASTM C 754.
- 4. TEST CYLINDERS SHALL BE MADE AND TESTED AS OUTLINED IN CHAPTER 16 OF ACI 308.
- 5. REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BULLET STEEL CONFORMING TO ASTM A 615, GRADE 60 WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 101. ALL REINFORCING AND ACCESSORIES SHALL BE DETAIL AND PLACED IN ACCORDANCE WITH AS STAMPED 315 AND 315S.
- 6. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT POSITIONS SHOWN ON THE PLANS AND DETAIL. PLASTIC COATED ACCESSORIES SHALL BE USED ON ALL EXPOSED CONCRETE WORK.
- 7. THE GENERAL CONTRACTOR SHALL CHECK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THE SUB CONTRACTORS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, INSERTS, SLAB CURB SHIMS AND OTHER ITEMS RELIANT TO THE CONCRETE WORK AND SHALL ASSUME RESPONSIBILITY FOR THEIR PROPER LOCATION.

SAWN LUMBER

- 1. ALL GRADES OF LUMBER SHALL BE RATED BY THE SOUTHERN PINE ASSOCIATION (SOUTH PINE), THE WESTERN WOOD PRODUCT ASSOCIATION (WESTERN), THE NATIONAL LUMBER GRADE AUTHORITY (NORTH PINE) OR THE WEST COAST LUMBER WORKERS BUREAU (WCLB). LUMBER GRADE SHALL BE AS FOLLOWS, WITH A MAXIMUM MOISTURE CONTENT OF 19%:
 - A. SOUTHERN PINE: No. 1
 - B. TEXAS LUMBER: No. 1
 - C. WEST COAST LUMBER: No. 1
- 2. JOIST HEADS AND NAIL BEARINGS ON WOOD SHALL BE PROVIDED WITH STANDARD TREATMENT. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVED TREATED.
- 3. MINIMUM NAILED CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE OR TABLE 7-04.9.1 OF THE INTERNATIONAL BUILDING CODE, IF NO OTHER CRITERIA IS GIVEN.
- 4. CONNECTIONS SHOWN ON THE DETAIL SHALL MANUFACTURED BY SIMPSON WITH FULL LABEL AND SIZE OF NAILS. NO SUBSTITUTIONS PERMITTED.

ROOF & WALL SHEATHING

- 1. ALL SHEATHING SHALL CONFORM TO AMERICAN PLYWOOD ASSOCIATION (APA) DESIGN SPECIFICATIONS, LATEST EDITION. SHEATHING SHALL BE CONTINUOUS OVER THREE ADJACENT SPANS MINIMUM.
- 2. WALL SHEATHING SHALL BE 1/2" 30 MINIMUM APA RATED SHEATHING, EXPOSURE 1. 3/4" ALL WALL SHEATHING SHALL BE FASTENED TO SUPPORTING MEMBERS WITH COMMON NAILS 16" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS IN THE PANEL FIELD.
- 3. ROOF SHEATHING SHALL BE 1/2" 30 MINIMUM APA RATED SHEATHING, EXPOSURE 1. 3/4" ALL ROOF SHEATHING SHALL BE FASTENED TO SUPPORTING MEMBERS WITH COMMON NAILS 16" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS IN THE PANEL FIELD.

SHOP DRAWINGS

- 1. SHOP DRAWING SUBMITTALS SHALL BE SUBMITTED ELECTRONICALLY.
- 2. SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTALS IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT/ENGINEER.
- 3. DRAWINGS CREATED BY THE McDONALD'S CORPORATION CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.
- 4. SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 - A. CONCRETE BAR DESIGN
 - B. SEALED TIE LUG SYSTEM & CALCULATIONS BY OTHERS

SPECIAL INSPECTIONS

- 1. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 1709 OF IBC AND THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPE OF WORK LISTED UNDER SECTION 1709. THE LIST COVERING AREAS OF WORK BE COMPLY SPECIAL INSPECTIONS IN ACCORDANCE WITH THE LISTED 2012 IBC SECTIONS LOCATIONS:
 - A. SOILS: SECTION 1709.9 PER TABLE 1709A
 - B. CONCRETE: SECTION 1709.3 PER TABLE 1709.3
 - C. WOOD: SECTION 1709.5
- 2. SPECIAL INSPECTIONS MAY BE WAIVED CONSIDERING THE LIMITED SCOPE OF STRUCTURAL MODIFICATIONS PRIOR WRITTEN APPROVAL OF THE CODE OFFICIAL.

MISCELLANEOUS

- 1. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BY THE GENERAL CONTRACTOR AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- 2. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY UNDER REVIEW OF SHOP DRAWINGS OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS FOR FABRICATION, PHASE ONE AND CONSTRUCTION TECHNIQUES, AND FOR SAFE CONDITIONS ON THE JOB SITE.
- 3. DO NOT SCALE THE DRAWINGS.

EXISTING STRUCTURE

- 1. THE CONSTRUCTION DOCUMENTS REQUIRE PREPARE DETAILED PHOTOGRAPHS AND ARCHITECTURAL/STRUCTURAL OBSERVATIONS BY OTHERS' TATUM SMITH ENGINEERS, INC. HAS NOT CONDUCTED A STRUCTURAL SITE OBSERVATION BUT HAS REVIEWED THE ORIGINAL CONSTRUCTION STRUCTURAL PLANS (McDONALD'S CORP. ISSUE AUGUST 1998 THAT APPEARS BEFORE THE CITY OF THE EXISTING CONCRETE OBSERVED AND CONCRETE ON THE ARCHITECTURAL FIELD VERIFICATION ALL STRUCTURAL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- 2. DURING CONSTRUCTION, EXISTING CONDITIONS WHICH ARE NOW NOT SHOWN OR AT A VARIANCE WITH THE CONSTRUCTION DOCUMENTS SHALL BE INDICATED AND NOTED BY THE ARCHITECT. IF ALL CONDITIONS THAT VARY FROM THE CONSTRUCTION DOCUMENTS (EXAMPLES INCLUDE):
 - SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN
 - DAMAGE OR DETRIORATION TO MAINTENANCE COMPONENTS
 - CONDITIONS OF WEARABILITY OR LACK OF SUPPORT
 - ITEMS NOT IDENTIFIED AS EXISTING ON THE DRAWINGS BUT NOT FOUND IN THE FIELD
- 3. PREPARE DIMENSIONAL DRAWINGS OF ALL DISCOVERED ITEMS MAKE AN ALLOWANCE FOR THE RE-EVALUATION OF SUCH DISCOVERIES IN THE CONSTRUCTION SCHEDULE.

NO.	DATE



Tatum Smith
Engineers, Inc.
Structural Engineering
17311 E. 10th
Tulsa, Oklahoma 74116

McDonald's USA, LLC
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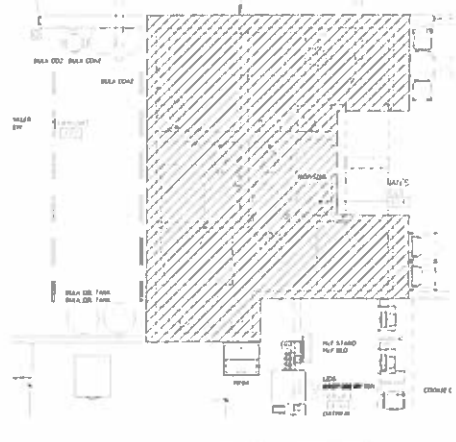
DATE: 08/07/2016
DRAWN BY: [redacted]
CHECKED BY: [redacted]
SCALE: 1/8"=1'-0"

WPP PROGRAM LV
CORE 16 20
2016

S4.0
GENERAL NOTES

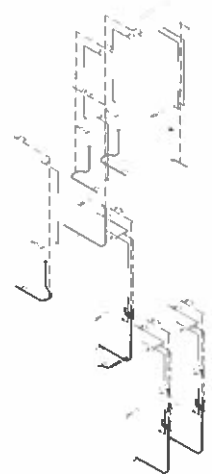
Company Name
Tatum Smith Engineers, Inc.
State of Virginia, CA
INC 0807-0004070
Expires 12/31/2016

REMOVE 2" THICK PLUMBING CHASES AND ALL ASSOCIATED PIPING NOT BEING REUSED CAP EXISTING PERIOD AP TIGHT

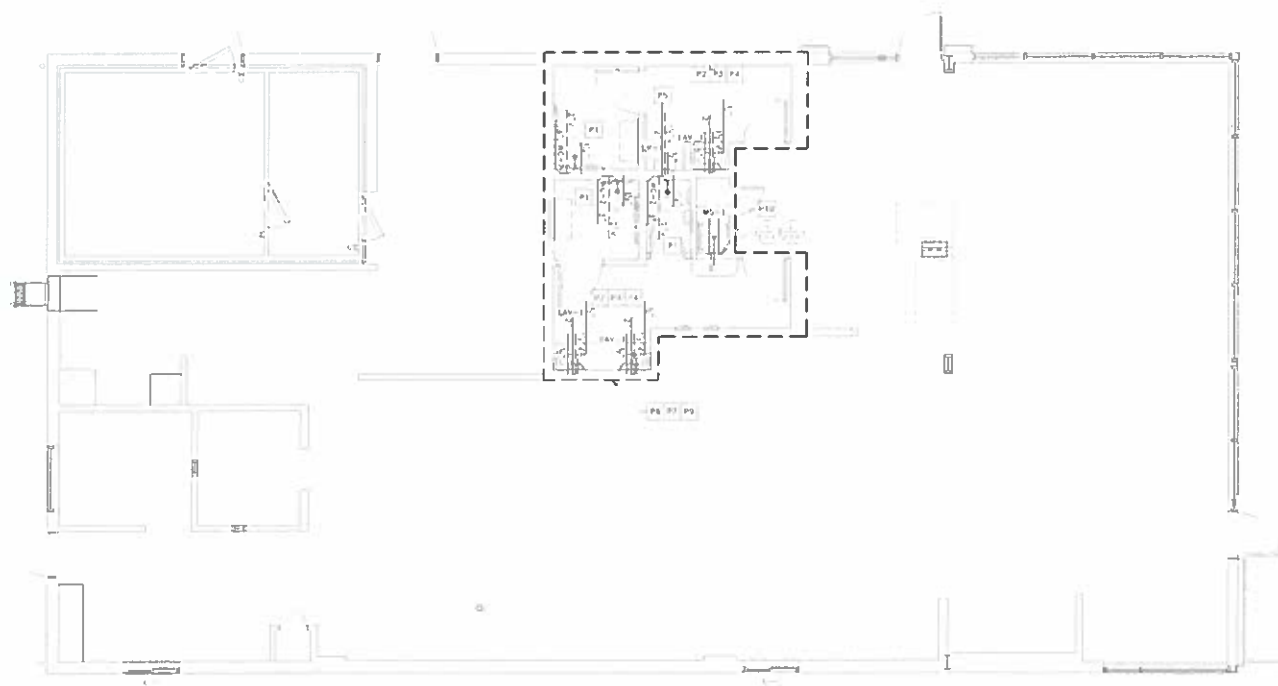


NOTE: VERIFY LOCATION OF WORK WITH PROJECT MANAGER BEFORE BEGINNING DEMONITION

DOMESTIC WATER, WASTE, & VENT PIPING DEMO PLAN



DOMESTIC WATER, WASTE & VENT ISO



DOMESTIC WATER, WASTE, & VENT PIPING

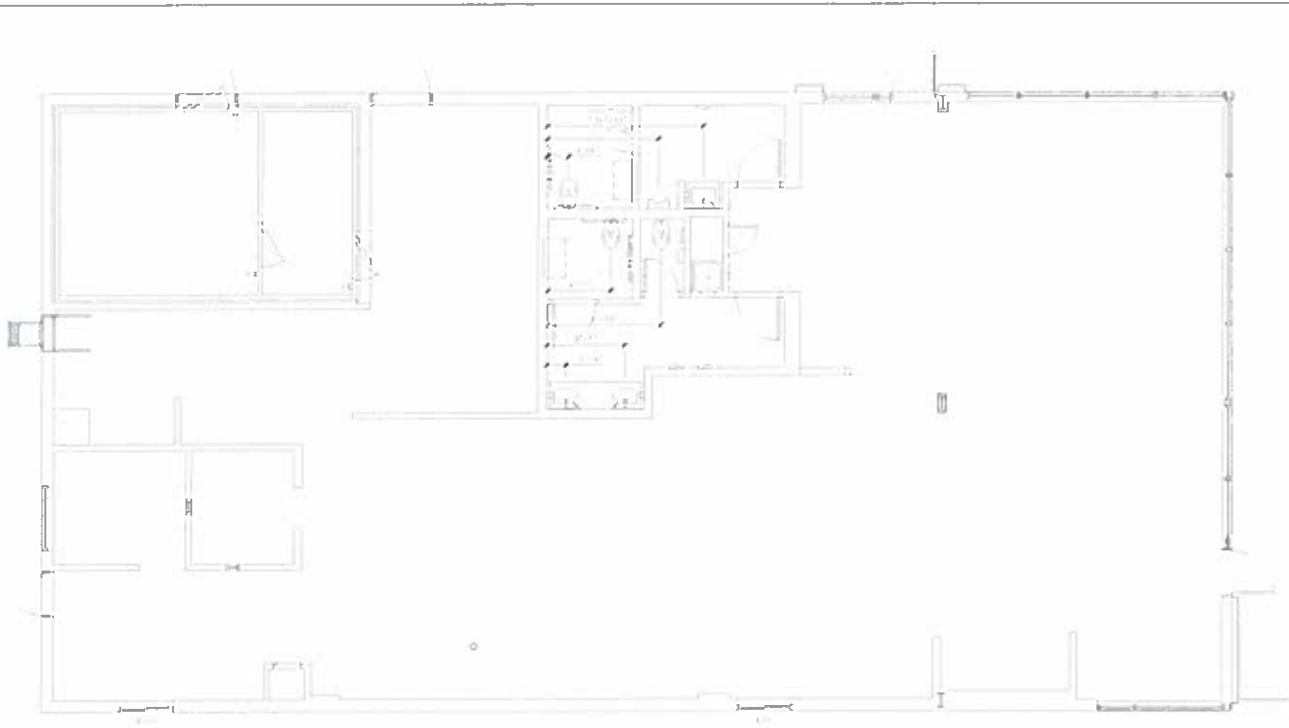
DRAWING NOTES

- 1 ALL EXISTING PIPING LOCATIONS AND SIZES SHALL BE FIELD VERIFIED PRIOR TO BEGINNING WORK
- 2 PIPING NOTES ARE GENERAL AND MAY VARY DUE TO FIELD CONDITIONS (COORDINATE ALL PIPE ROUTES WITH OTHER TRADES)
- 3 ALL WATER DISTRIBUTION PIPING SHALL BE INSULATED. INSULATION NOT SHOWN FOR CLARITY. SEE PLUMBING NOTES FOR INSULATION REQUIREMENTS
- 4 SEE DRAWING P&D FOR PLUMBING SCHEDULE, LEGEND AND ABBREVIATIONS
- 5 VERIFY ALL SINK, WASH, WATER WASTES, SINKS AND RECEIVING PANS WHEN A NEW SUPPORT WAREHOUSE WILL BE INSTALLED, TO VERIFY HOT WATER DEMAND A RATED "90 MIN. (EAS) DR 3/4" PIPER (EAS) WATER HEATER MAY BE NECESSARY. SEE PHOTOGRAPH WATER HEATER SCHEDULE ON SHEET P&D

KEYED NOTES

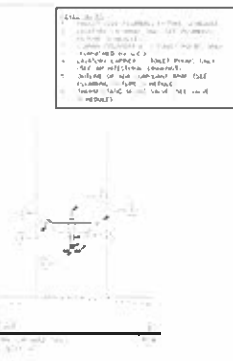
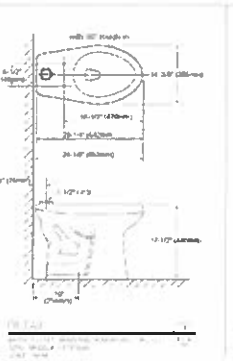
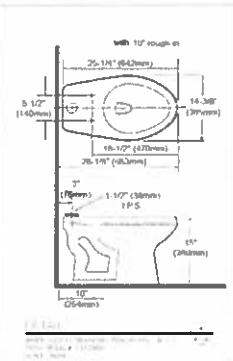
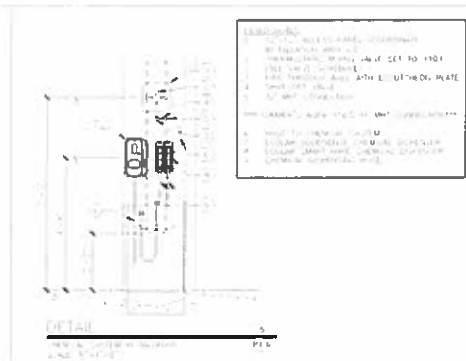
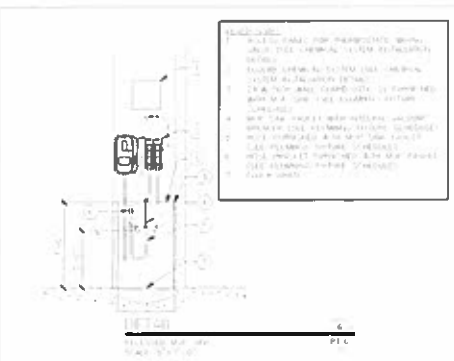
- P1 EXISTING WATER CLOSURE TO BE REMOVED AND NEW WATER CLOSURE TO BE INSTALLED IN SAME LOCATION. CONNECT 1/2" DIA. 1/2" DIA. RISE TO 1/2" DIA. 1/2" DIA. RISE TO EXISTING COLD WATER AND SANITARY WASTE BUILDING LINES. FIELD VERIFY EXACT LOCATIONS AND EXISTING CONDITIONS
- P2 EXISTING LAVATORY AS IT DEMONISHED AND NEW LAVATORY TO BE INSTALLED IN SAME LOCATION. CONNECT 1/2" DOMESTIC HOT & COLD WATER AND 2" SANITARY PIPING TO EXISTING HOT AND COLD WATER AND SANITARY WASTE BUILDING LINES. FIELD VERIFY EXACT LOCATIONS. LINES UNDER BUILDING SHALL BE COPPER
- P3 ALL P.P.H.U. UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER ADA REQUIREMENT (IF APPLICABLE)
- P4 SEE DETAIL 2 ON DRAWING P&D FOR MIXING VALVE INSTALLATION DETAILS
- P5 EXISTING URINAL TO BE REMOVED AND NEW URINAL TO BE INSTALLED IN SAME LOCATION. CONNECT 1/2" DOMESTIC COLD WATER AND 2" SANITARY PIPING TO EXISTING COLD WATER AND SANITARY WASTE BUILDING LINES. FIELD VERIFY EXACT LOCATIONS AND EXISTING CONDITIONS
- P6 CAP AND TIGHTEN ANY REMOVED OR RELOCATED PLUMBING EXISTING WATER WASTE AND VENT LINES AS TO BE EXISTING WATER, WASTE, AND VENT LINES TO REMAIN INTACT TO REMAIN AS TO BE EXISTING EXISTING CONDITIONS
- P7 PROPERTIES SEAL ALL PRE PENETRATIONS THROUGH DRAFT STOP WALL (IF APPLICABLE)
- P8 NOT USED
- P9 REINSTATE EXISTING FLOOR FRAMES AS REQUIRED, IMPACT WITH NEW IF NECESSARY FOR CONNECTION TO F.I.E. VERIFY EXACT LOCATION
- P10 CONNECT NEW 3" GREASE WASTE, 2" VENT LINE 3/4" HOT AND COLD WATER FOR THE NEW WOP SHIP TO EXISTING BUILDING GREASE WASTE, VENT, HOT AND COLD BUILDING LINES. FIELD VERIFY EXACT LOCATIONS

CORE STATES GROUP	
McDonald's USA, LLC PROJECT: [REDACTED] SHEET: P1.0	
DATE: [REDACTED] DRAWN BY: [REDACTED] CHECKED BY: [REDACTED]	PROJECT MANAGER: [REDACTED] DATE: [REDACTED]
P1.0	

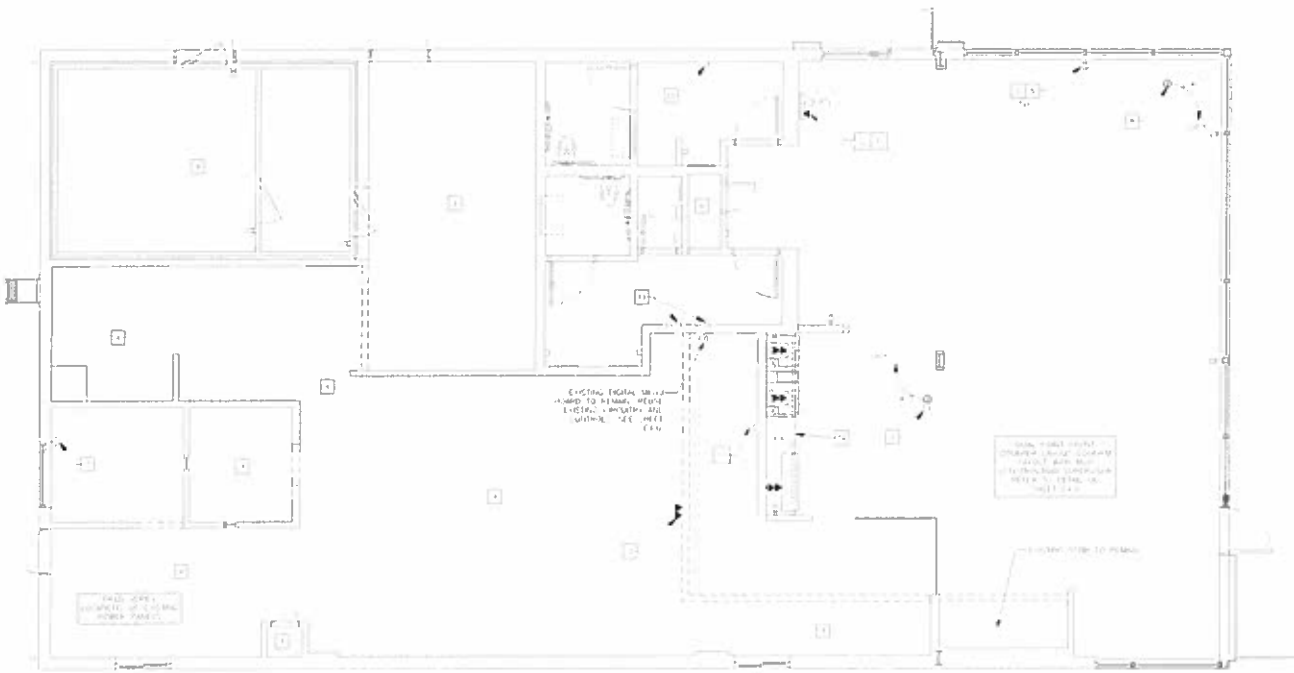


OVERHEAD/UNDERGROUND ROUGH-IN

NOTE:
SEE SHEET P1.6 FOR PLUMBING FIXTURE SCHEDULE
AND DETAILS.



<p>McDonald's USA, LLC</p>	
<p>7-13-18</p>	
<p>CORE STATES</p>	
<p>P1.6</p>	



ELECTRICAL POWER PLAN

ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AT ALL TIMES. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AT ALL TIMES. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE CLIENT.

- GENERAL NOTES**
- 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AT ALL TIMES. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE CLIENT.
- DEMOLITION NOTES**
- 1. ALL EXISTING ELECTRICAL WORK TO BE DEMOLISHED SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AT ALL TIMES. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE CLIENT.
- KEY NOTES**
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AT ALL TIMES. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE CLIENT.

SYMBOLS AND ABBREVIATIONS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	1-1/2" RIGID CONDUIT	1	1-1/2" RIGID CONDUIT
2	2" RIGID CONDUIT	2	2" RIGID CONDUIT
3	3" RIGID CONDUIT	3	3" RIGID CONDUIT
4	4" RIGID CONDUIT	4	4" RIGID CONDUIT
5	5" RIGID CONDUIT	5	5" RIGID CONDUIT
6	6" RIGID CONDUIT	6	6" RIGID CONDUIT
7	7" RIGID CONDUIT	7	7" RIGID CONDUIT
8	8" RIGID CONDUIT	8	8" RIGID CONDUIT
9	9" RIGID CONDUIT	9	9" RIGID CONDUIT
10	10" RIGID CONDUIT	10	10" RIGID CONDUIT
11	11" RIGID CONDUIT	11	11" RIGID CONDUIT
12	12" RIGID CONDUIT	12	12" RIGID CONDUIT
13	13" RIGID CONDUIT	13	13" RIGID CONDUIT
14	14" RIGID CONDUIT	14	14" RIGID CONDUIT
15	15" RIGID CONDUIT	15	15" RIGID CONDUIT
16	16" RIGID CONDUIT	16	16" RIGID CONDUIT
17	17" RIGID CONDUIT	17	17" RIGID CONDUIT
18	18" RIGID CONDUIT	18	18" RIGID CONDUIT
19	19" RIGID CONDUIT	19	19" RIGID CONDUIT
20	20" RIGID CONDUIT	20	20" RIGID CONDUIT
21	21" RIGID CONDUIT	21	21" RIGID CONDUIT
22	22" RIGID CONDUIT	22	22" RIGID CONDUIT
23	23" RIGID CONDUIT	23	23" RIGID CONDUIT
24	24" RIGID CONDUIT	24	24" RIGID CONDUIT
25	25" RIGID CONDUIT	25	25" RIGID CONDUIT
26	26" RIGID CONDUIT	26	26" RIGID CONDUIT
27	27" RIGID CONDUIT	27	27" RIGID CONDUIT
28	28" RIGID CONDUIT	28	28" RIGID CONDUIT
29	29" RIGID CONDUIT	29	29" RIGID CONDUIT
30	30" RIGID CONDUIT	30	30" RIGID CONDUIT

McDonald's USA, LLC

PROJECT INFORMATION

PROJECT NAME: [REDACTED]

PROJECT NUMBER: [REDACTED]

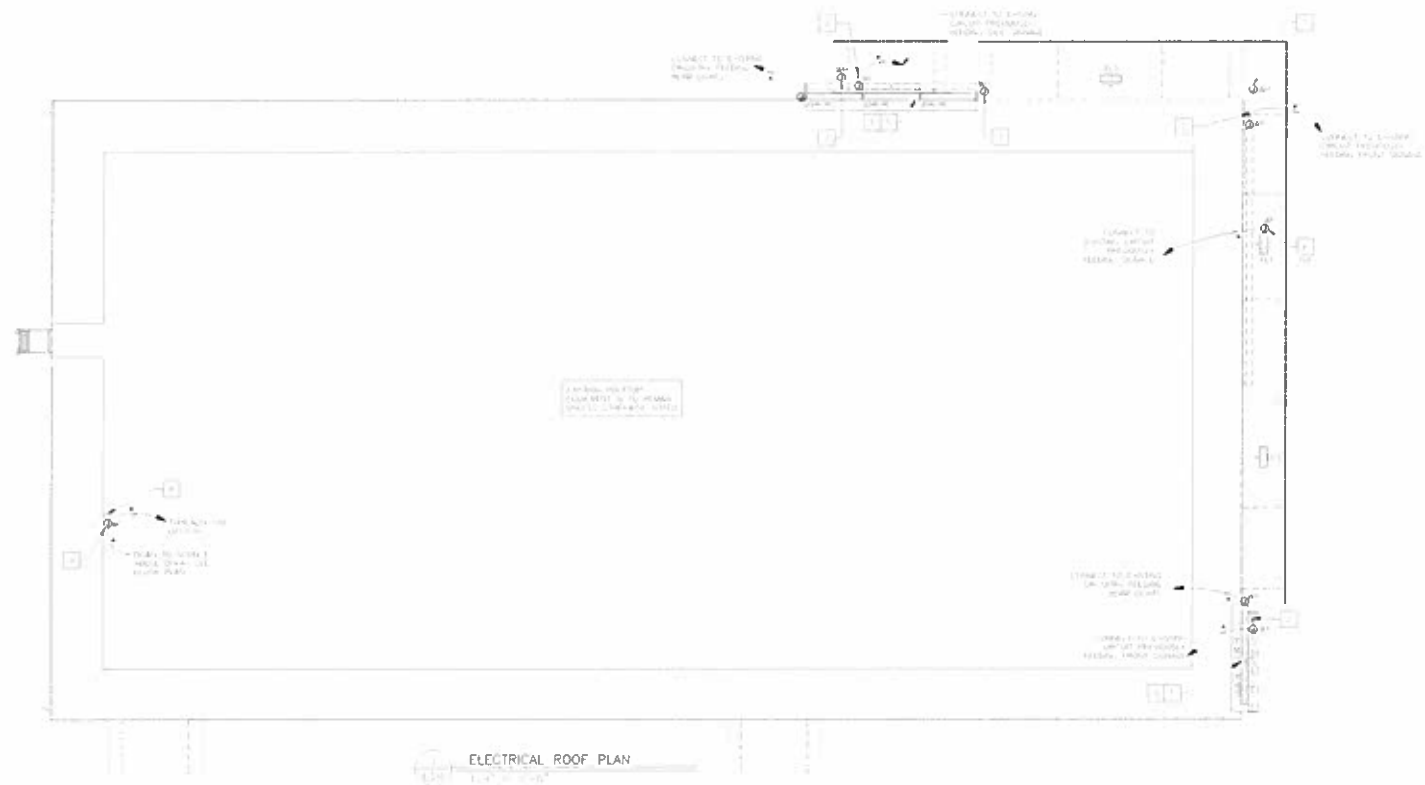
PROJECT LOCATION: [REDACTED]

PROJECT DATE: [REDACTED]

REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/2023	ISSUED FOR PERMIT
2	11/15/2023	ISSUED FOR CONSTRUCTION
3	11/15/2023	ISSUED FOR AS-BUILT

E1.1



ELECTRICAL ROOF PLAN

KEY NOTES

1. CONCRETE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
6. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

LIGHTING

1. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
3. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
4. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
5. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
6. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
7. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

SEE DRAWING E10 FOR LIGHTING FIXTURE SCHEDULE AND GENERAL NOTES.

INSTALLATION METHODS

1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
6. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

SPECIALTY LIGHTING

1. ALL SPECIALTY LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

NO.	DESCRIPTION	DATE



McDonald's USA, LLC

McDonald's USA, LLC
 1155 West 57th Street, Suite 200
 Tulsa, Oklahoma 74103
 (918) 487-4000
 www.mcdonalds.com

NO.	DESCRIPTION	DATE

E3.0

Abingdon, Virginia



IMPORTANT NOTE:

The complete application along with \$50.00 administrative fee must be filed with the Town of Abingdon's Office of Planning & Zoning no later than the Second Tuesday of the month to be heard at that month's Planning Commission meeting. Applications received after the Second Tuesday of the month will be heard at the following month's meeting. If an application is not **complete**, it will not be included on the meeting agenda. To avoid delays, it is recommended that applicants meet with staff **before the deadline** to review the COA application.

APPLICATION FOR ENTRANCE CORRIDOR, CERTIFICATE OF APPROPRIATENESS Town of Abingdon, Virginia

Town of Abingdon Planning Commission
133 East Main Street • Abingdon, VA 24212
Phone: (276) 628-3167 • Fax: (276) 698-3412

Location of Property	East of Green Spring Road	Zoning District	AFOS
Business Name	Town of Abingdon	Tax Map No:	105-A-39

Applicant/Property Owner Name (PRINT)	Matt Bolick	Representative Agent(s) Name	Stephen Steele
Signature		Firm	CHA Consulting, Inc.
Mailing Address	P.O. Box 789	Mailing Address	1341 Research Center Drive
City	Abingdon	City	Blacksburg
State/Zip	VA 24212	State/Zip	VA 24060
Phone/Fax Number:	276 628 3167	Phone/Fax Number:	540 552 5548
Email:	mbolick@abingdon-va.gov	Email:	ssteele@chacompanies.com

(Check the Appropriate Boxes - Check all that Apply)

<input type="checkbox"/>	Exterior Change	<input type="checkbox"/>	Addition	<input type="checkbox"/>	Relocation
<input checked="" type="checkbox"/>	Wall/Fence	<input type="checkbox"/>	Deck/Porch	<input type="checkbox"/>	Demolition
<input checked="" type="checkbox"/>	Driveway/Parking Area	<input checked="" type="checkbox"/>	New Structure/Building	<input checked="" type="checkbox"/>	Grounds/Landscaping
<input type="checkbox"/>	Dumpster/HVAC Screen, etc.	<input type="checkbox"/>	Other _____	<input type="checkbox"/>	Other _____

The above named person(s)/firm has permission to represent me regarding this request for site plan and architectural review. I understand that I or my representative agent(s) must be present at the Planning Commission Meeting on the date assigned by staff, typically the 4th Monday of the month, to present my proposal and that failure to attend may result in the denial of my proposal by the Commission due to insufficient information. No material change in the appearance of my property, that is viewable from any public street, shall be performed before receiving a Certificate of Appropriateness. I further understand that approval by the Planning Commission for any modifications to homes, buildings, landscaping, or grounds including fences, driveways, and parking areas shall expire 12 months from the date of approval. I hereby authorize town staff and/or members of the Planning Commission the right to enter onto my property during normal business hours for the purposes of investigating my request for a Certificate of Appropriateness. I further authorize Town staff to notify any adjoining property owners of this application for Certificate of Appropriateness.

Signed  Date 8/15/18

PLEASE READ:

Applicants are encouraged to submit complete applications with sufficient information to enable a clear understanding of the proposal by Planning Commission members and Planning Department staff. Applications that do not clearly communicate the proposed new construction, alterations or changes will result in delays. Planning Department staff will periodically inspect properties for compliance with the COA. Failure to comply may also result in delays in the issuance of a Certificate of Occupancy, fines, or other enforcement actions.

FULL DESCRIPTION OF PROPOSAL:

Request for Certificate of Appropriateness with regard to the materials that are proposed for the facades of the enclosed buildings. These buildings are being proposed for the Abingdon Sports Complex and have been presented to the Planning Commission for preliminary review and comment.

REQUIRED INFORMATION TO BE SUBMITTED WITH APPLICATION:

Each item submitted is to be INITIALED by the applicant. If you are not submitting any of the requested information, please indicate not applicable and explain in the space provided why it is not necessary for this project.

Sketch, drawing and/or elevations showing the proposed changes or improvements

Site plan or plat of property

Photographs showing property, work in question, and the area of the proposed project

A list of materials that identifies the type and quality of materials to be used in the Proposed Project

Other (please list)

\$50.00 application fee

Applicants may refer to typical submissions kept at the Department of Planning and Zoning of the Town of Abingdon, on the Lower floor of Town Hall, located at 133 East Main Street for illustrations of how to present the required information.

To be Completed by Planning Department Staff (please Initial)

COA application has been reviewed and deemed to be complete.

List of adjoining property owners notified of this COA application has been attached to this application.

An administrative fee of \$50.00 is attached with this application

All modifications requiring further review: \$25.00

Code: 011/Budget line item: 100-3-13-030-0400



NOTICE OF MEETING
for the
Town of Abingdon Planning Commission

A request for modifications to a property located at within the Historic District Entrance Corridor Overlay has been filed with the Town of Abingdon's Planning Commission. The request is described below:

Location: Town of Abingdon Meadows Property

Proposal: Final Architectural Design of Proposed Structures for Sports Complex

Applicant: Town of Abingdon

Applicant's Contact: Matthew Bolick, Town of Abingdon, 276-628-3167

You are receiving this notice because public records indicate that you own property near or adjacent to the property listed in this request, which has been scheduled for a hearing before the Planning Commission. Recipients of this notice may wish to share it with their neighbors whose property is nearby the above noted location.

The purpose of the meeting is to allow citizens to comment regarding potential impacts the proposed changes would have on their properties or on the area in general, and to identify issues or concerns related to the appropriateness of the request. The meeting is not the appropriate setting to learn about a proposal for the first time. It is difficult to gain understanding of a proposal and offer well thought out comments during the relatively short time of the meeting.

If you would like more information about this request, you could contact the Town of Abingdon Planning Department at (276) 628-3167 prior to the meeting. You may also contact the applicant's contact person listed above.

PLANNING COMMISSION MEETING

MEETING DATE: August 27, 2018 TIME: 5:30 PM

LOCATION: Town of Abingdon Town Hall, 133 W. Main St., Arthur Campbell Room – 1st Floor

The meeting facilities of the Town of Abingdon are accessible to people with disabilities. Anyone needing special accommodations should call 276-628-3167.

W D S Y INC
P O BOX 772
SAINT PAUL, VA 24283

SIMON, TERRY L & PASICK
SUSANNE L
460 GREEN SPRING RD
ABINGDON, VA 24210

WRIGHT, CLARENCE W JR ESTATE
456 SW 140 AVE
OCALA, FL 34481

HAGY, LEWIS HAMILTON
454 GREEN SPRING RD
ABINGDON, VA 24210

SIERRA LAND LLC
24148 WALDEN RD
ABINGDON, VA 24210

WRIGHT, CLARENCE W JR ESTATE
456 SW 140 AVE
OCALA, FL 34481

PATTERSON, CINDY M HOCKETT
410 GREEN SPRING RD
ABINGDON, VA 24210

THOMAS, NANCY
26476 OLD SALTWORKS RD
MEADOWVIEW, VA 24361

HYLTON, WALTER E
P O BOX 277
CASTLEWOOD, VA 24224

KEOHANE, MARY ELIZABETH
SPIVA
478 GREEN SPRING RD
ABINGDON, VA 24210

HARMAN, NAN ARRINGTON
P O BOX 841
ABINGDON, VA 24212

COOK, DALE
19954 BENHAMS RD
BRISTOL, VA 24202

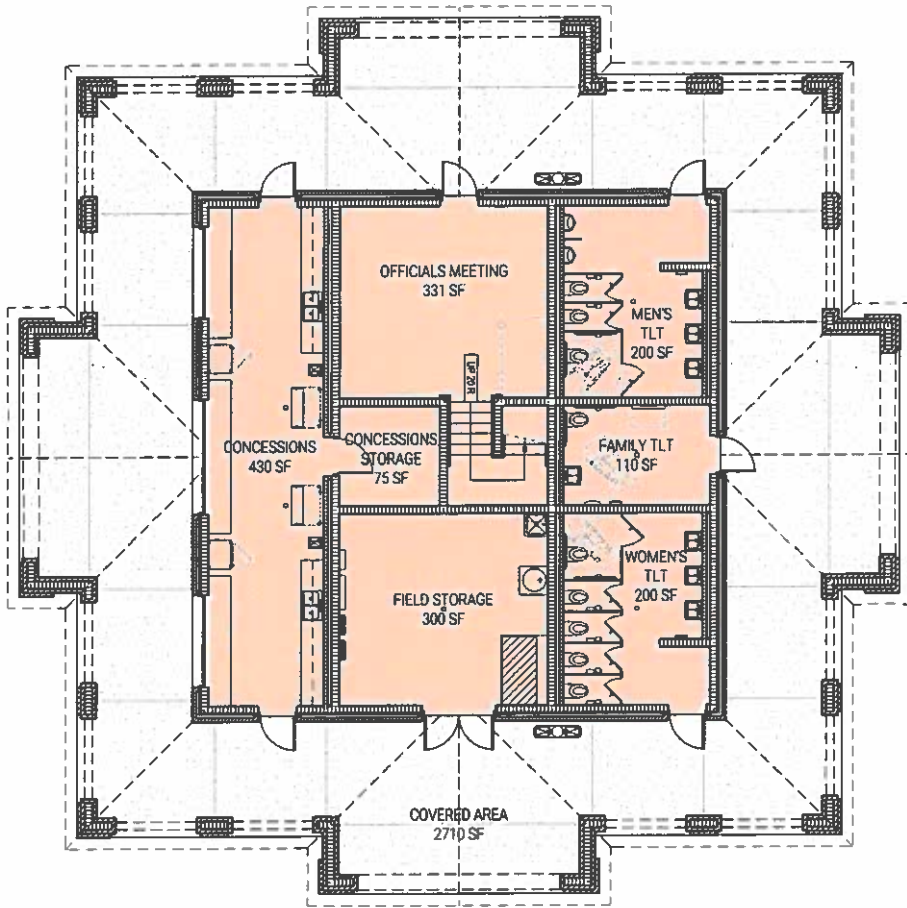
GRUNDY NATIONAL BANK
P O BOX 2080
GRUNDY, VA 24614

PROCTOR, WILLIAM W & BERTIE C
540 NICHOLAS ST
ABINGDON, VA 24210

C & C RENTALS LLC
P O BOX 367
ABINGDON, VA 24212

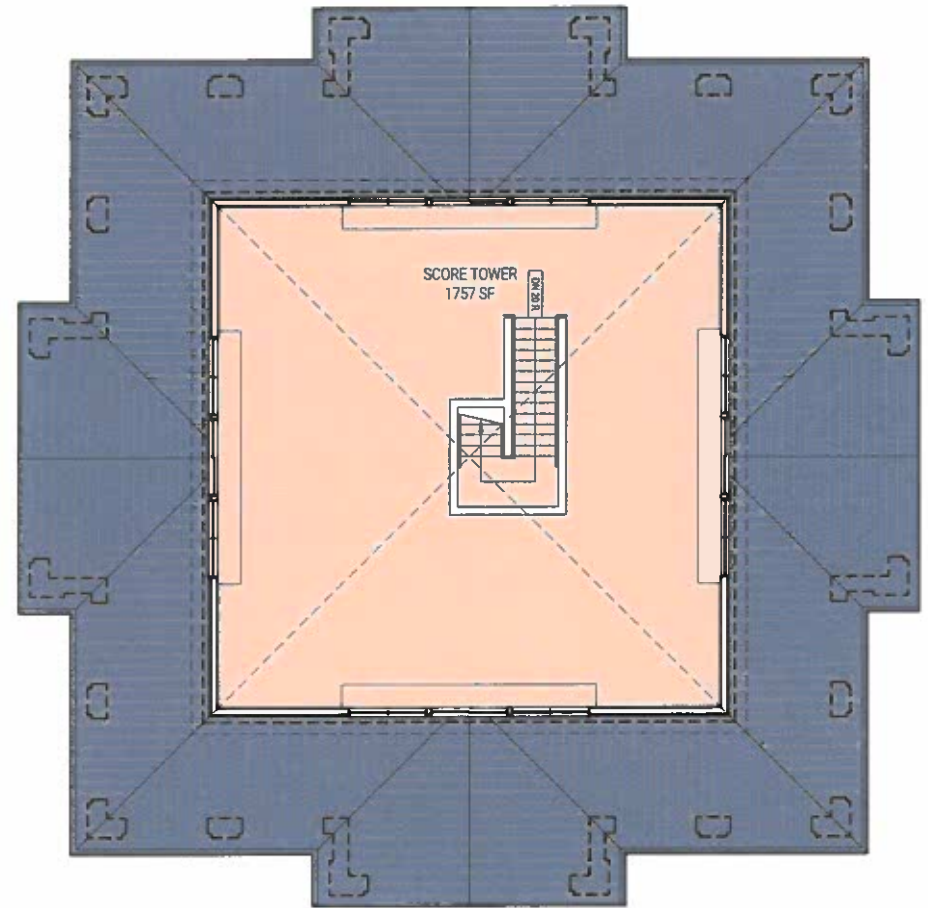


A. Entry Drive B. Parking Lot C. Sidewalks D. Retaining Wall E. 225' Baseball/Softball Field F. 300'/350' Baseball Field G. 225' Baseball Field H. 300' Baseball/Softball Field I. 210'x360' Multi-Purpose Field J. Concession and Restroom Building K. Maintenance Building L. Historic House M. Open Space N. Walking Trail O. Splash Pad P. Playground Q. Bleachers R. Batting Cage Building S. Stormwater



[LEVEL 1] BUILDING "J"

Main Concessions | scale: 1/16" = 1'-0"



[LEVEL 2] BUILDING "J"

Main Concessions | scale: 1/16" = 1'-0"

SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON

ABINGDON, VIRGINIA
 AUGUST 14, 2018



BUILDING "J" - OPTION A

Main Concessions | Elevation & Perspective Views

**SIDING AREA CALCULATION = +/- 750 SQ FT



SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
ABINGDON, VIRGINIA
AUGUST 14, 2018



BUILDING "J" - OPTION B

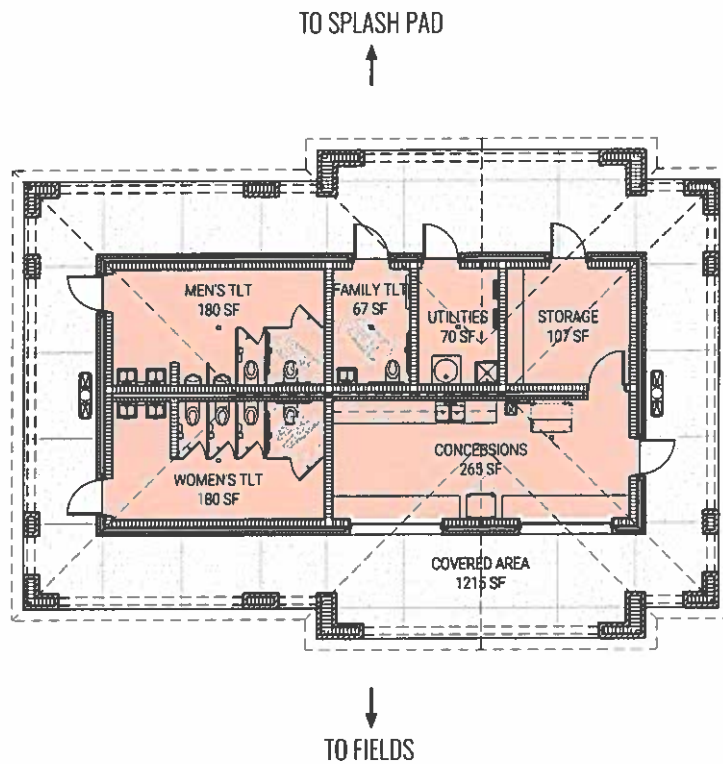
Main Concessions | Elevation & Perspective Views

**SIDING AREA CALCULATION = +/- 208 SQ FT



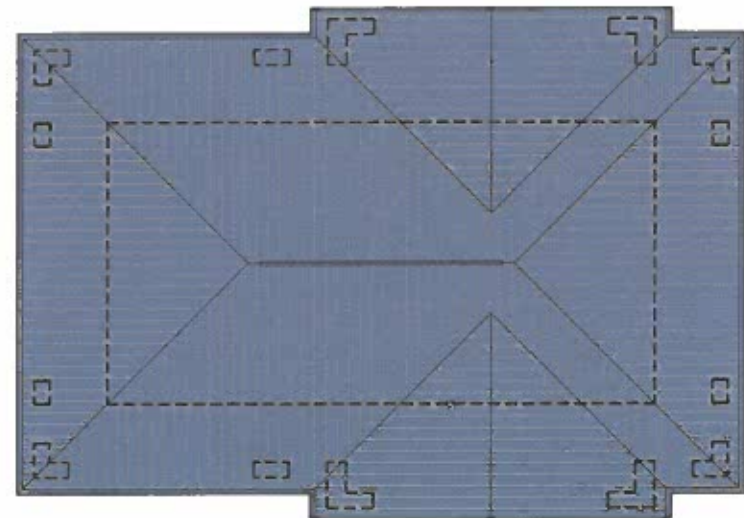
SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON

ABINGDON, VIRGINIA
AUGUST 14, 2018



[LEVEL 1] BUILDING "I" - OPTION B

Toilet Facilities | scale: 1/16" = 1'-0"



[ROOF] BUILDING "I" - OPTION B

Toilet Facilities | scale: 1/16" = 1'-0"

SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
 ABINGDON, VIRGINIA
 AUGUST 14, 2018



BUILDING "I" - OPTION B
Toilet Facilities | Elevation & Perspective Views



SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
ABINGDON, VIRGINIA
AUGUST 14, 2018

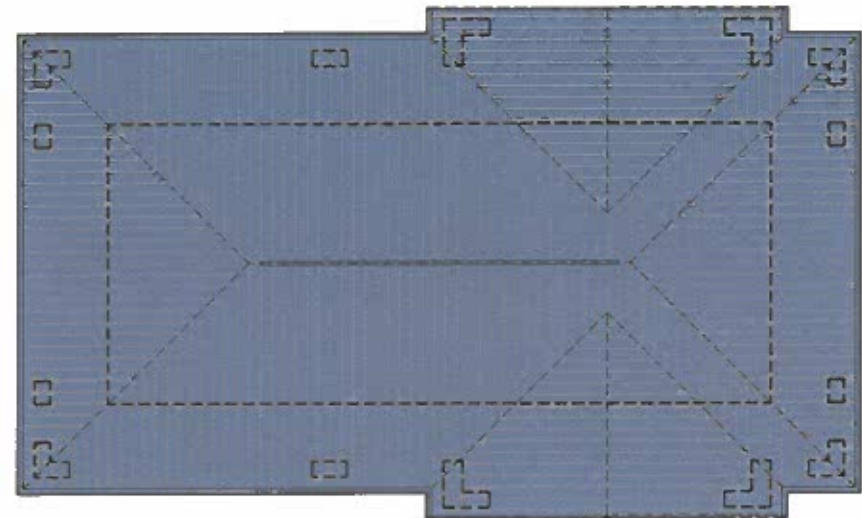
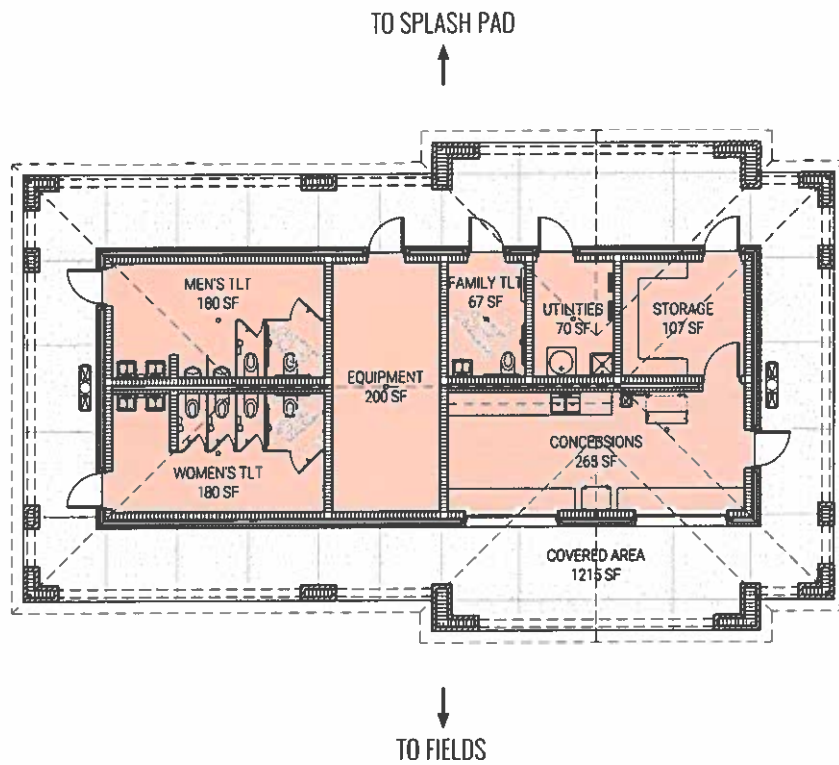


BUILDING "I" - OPTION B w/ siding
Toilet Facilities | Elevation & Perspective Views

**SIDING AREA CALCULATION = +/- 207 SQ FT



SCHEMATIC DESIGN: OPTION 2
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ABINGDON, VIRGINIA
AUGUST 14, 2018



[LEVEL 1] BUILDING "I" - OPTION B.1

Toilet Facilities | scale: 1/16" = 1'-0"

[ROOF] BUILDING "I" - OPTION B.1

Toilet Facilities | scale: 1/16" = 1'-0"



BUILDING "I" - OPTION B.1
Toilet Facilities | Elevation & Perspective Views



SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
ABINGDON, VIRGINIA
AUGUST 14, 2018

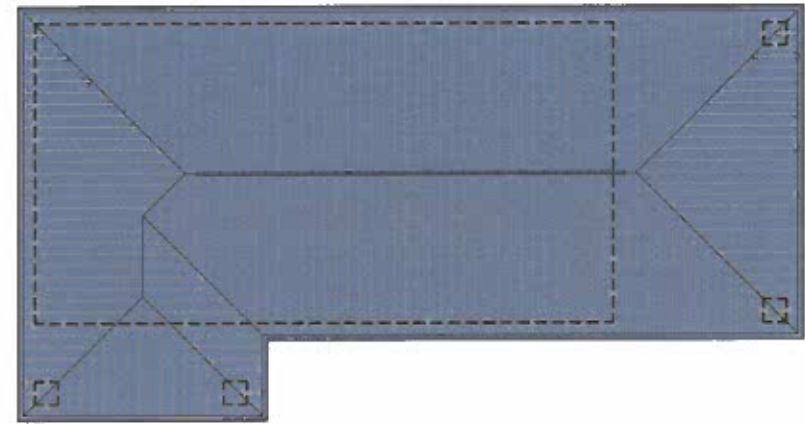
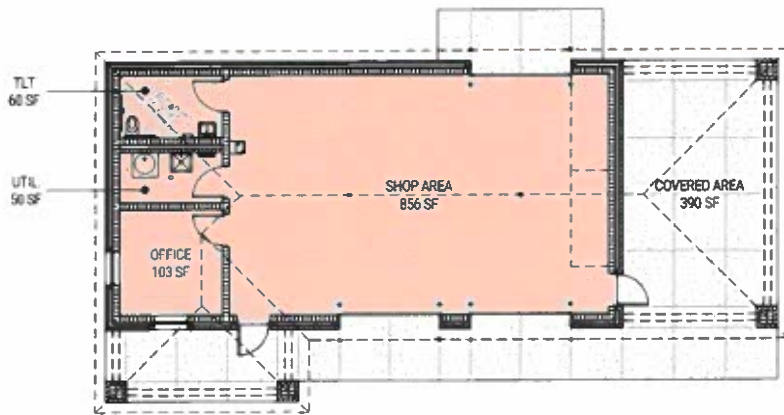


BUILDING "I" - OPTION B.1 w/ siding
Toilet Facilities | Elevation & Perspective Views

**SIDING AREA CALCULATION = +/- 207 SQ FT



SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
ABINGDON, VIRGINIA
AUGUST 14, 2018



[LEVEL 1] BUILDING "K"
 Maintenance Shop | scale: 1/16" = 1'-0"

[ROOF] BUILDING "K"
 Maintenance Shop | scale: 1/16" = 1'-0"

SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
 ABINGDON, VIRGINIA
 AUGUST 14, 2018



BUILDING "K"
Maintenance Shop | Elevation & Perspective Views



SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
ABINGDON, VIRGINIA
AUGUST 14, 2018



BUILDING "K" w/ siding
Maintenance Shop | Elevation & Perspective Views

**SIDING AREA CALCULATION = +/- 73 SQ FT



SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON
ABINGDON, VIRGINIA
AUGUST 14, 2018



Dicketts Lane Elementary School, Abingdon, Virginia | Architect: HOK | Product: Citadel® | Color: Custom



Dicketts Lane Elementary School, Abingdon, Virginia | Architect: HOK | Product: Citadel® | Color: Custom



Abingdon Multi-Use Complex, Abingdon, Virginia | Architect: HOK | Product: Citadel® | Color: Custom



Abingdon Multi-Use Complex, Abingdon, Virginia | Architect: HOK | Product: Citadel® | Color: Custom

Classic and timeless, Citadel® Building Stone lends a traditional charm to commercial and institutional designs. An authentic tumbled finish suggests comfort and permanence.

- Four stone sizes
- Four bond patterns
- Ten standard Colors



Finish: Tumbled



Hickory Bark

Cranberry



Desert Brown

Driftwood



French Country

Kelsey



Monticello Mill

Monticello Sand



Traditional Gray

Wilkey Brown

SCHEMATIC DESIGN: OPTION 2
ABINGDON MULTI-USE COMPLEX | CITY OF ABINGDON

ABINGDON, VIRGINIA
 AUGUST 14, 2018